

# No.36 Second Avenue, Frinton-on-Sea, Essex, CO13 9ER

## Planning and Heritage Statement.

Ground and first floor extensions to provide an additional bedroom, a utility room and an improved kitchen/living/dining layout porch and boundary wall.

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### **1.0 Introduction**

1.1 This joint Planning and Heritage statement is submitted in support of a planning application for the ground and first floor extensions to provide an additional bedroom, a utility room and an improved kitchen/living/dining layout at No.36 Second Avenue, Frinton-on-Sea, Essex, CO13 9ER.

1.2 This statement should be treated as forming part of the application, and includes details on the site and its surroundings, the intended scheme and how it relates to adopted and emerging planning policies. It is considered that the statement accords with the advice contained within the National Planning Practice Guidance (launched in 2014) and The Town & Country Planning (Development Management Procedure) (England) Order 2015 (as amended).

### **2.0 Context of Site**

2.1 No.36 is a three-bedroom detached dwelling on the eastern side of Second Avenue at the junction with Holland Road to the north. In terms of scale, No. 36 is two-storeys and is externally finished in facing red brickwork in a stretcher bond with concrete roof tiles. On the front elevation there is a monopitch porch extending to the attached garage to the south supported by three white column pillars, matching the white uPVC

doors and windows, including two small bay windows on the ground floor of the front elevation. Surrounding properties are of a more common appearance for the character and of the Avenues, with the interesting architectural detail absent at No.36.

- 2.2 The dwelling faces the highways with a private drive serving the single garage. Parking is also available on the front driveway. Existing boundary treatments are limited to a stacked stone walling confining the western and northern boundaries at a height respective of the slight sloping topography toward the west. The internal layout is common for dwellings built in the late twentieth century with the kitchen, dining and sitting areas.
- 2.3 No.36 Second Avenue is within the defined settlement boundary for Frinton, Kirby Cross and Great Holland, as well as the Frinton and Walton Conservation Area and The Avenues Area of Special Character.

### **3.0 Relevant Planning History**

- 3.1 There is no relevant planning history relating to No.36 Second Avenue, Frinton-on-Sea.

### **4.0 Policy Context**

#### National Planning Policy and Guidance

- 4.1 The NPPG defines a conservation area as area which has been designated because of its special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Paragraph 003 states that plan-making should identify specific opportunities within their area for the conservation and enhancement of heritage assets, including their setting. This could include, where appropriate, the delivery of development that will make a positive contribution to or reflect and

enhance local character and distinctiveness with particular regard given to the prevailing styles of design and use of materials in a local area.

#### National Planning Policy Framework (2023)

- 4.2 Section 16 of the NPPF addresses the need to conserve and enhance the historic environment. At paragraph 192 the NPPF requires the applicant to describe the heritage asset affected and the potential impact of the proposal on their significance. Details provided should be proportionate to the importance of the asset. Local planning authorities must carry out their own assessment of an asset's significance and take account of this assessment when considering a proposal's potential impact on a heritage asset to minimise conflict between the asset's conservation and any aspect of the proposal (para.195).
- 4.3 Paragraph 206 of the NPPF states that proposals that preserve elements of heritage asset's setting and make a positive contribution to the asset should be treated favourably. Paragraph 207 makes clear that not all elements of a conservation area will necessarily contribute to its significance. Loss of an element which makes a positive contribution to the significance of the conservation area should be treated as either less than substantial harm under paragraph 201 or substantial harm under paragraph 200, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area.

#### Local Planning Policies

- 4.4 Policy SPL3 of the Tendring District Local Plan (2022) contains an exhaustive list of criteria which proposals must be assessed against in order to achieve sustainable design. Those specific in this instance are as follow:

***Part A: Design.*** *All new development (including changes of use) should make a positive contribution to the quality of the local environment and protect or enhance local character. The following criteria must be met:*

*a. new buildings, alterations and structures are well designed and maintain or enhance local character and distinctiveness;*

*b. the development relates well to its site and surroundings particularly in relation to its siting, height, scale, massing, form, design and materials;*

*c. the development respects or enhances local landscape character, views, skylines, landmarks, existing street patterns, open spaces and other locally important features;*

*d. the design and layout of the development maintains or enhances important existing site features of landscape, ecological, heritage or amenity value; and*

*e. boundary treatments and hard and soft landscaping are designed as an integral part of the development reflecting the function and character of the development and its surroundings. The Council will encourage the use of locally distinctive materials and/or locally occurring and characteristic hedge species.*

**Part B: Practical Requirements.** *New development (including changes of use) must meet practical requirements. The following criteria must be met:*

*c. the development incorporates or provides measures to minimise opportunities for crime and anti-social behaviour; and*

*e. buildings and structures are designed and orientated to ensure adequate daylight, outlook and privacy for future and existing residents;*

**Part C: Impacts and Compatibility.** *New development (including changes of use) should be compatible with surrounding uses and minimise any adverse environmental impacts. The following criteria must be met:*

*a. the development will not have a materially damaging impact on the privacy, daylight or other amenities of occupiers of nearby properties.*

4.5 Policy PPL8 (Conservation Areas) states that *new development within a designated Conservation Area, or which affects its setting, will only be permitted where it has regard to the desirability of preserving or enhancing the special character and appearance of the area, especially in terms of:*

*a. scale and design, particularly in relation to neighbouring buildings and spaces;*

- b. materials and finishes, including boundary treatments appropriate to the context;*
- c. hard and soft landscaping; and*
- d. the importance of spaces and trees to the character or appearance.*

*Proposals should be explained and justified through an informed assessment and understanding of the significance of the heritage asset (including any contribution made to that significance by its setting). Where a proposal will cause harm to a Conservation Area, the relevant paragraphs of the NPPF should be applied dependent on the level of harm caused.*

- 4.6 The Frinton & Walton Conservation Area was first designated in 1975 to protect the area from harmful development which neither enhances nor preserves the character of the Conservation Area. Policy PPL11 was specifically curated for The Avenues area of special character at Frinton-on-Sea. The supporting text states that the designation relates to the outstanding Arcadian character, with wide straight tree and hedge lined avenues, grass verges and large, spacious detached houses set in mature gardens. It states that this residential character forms an important quality of this part of the conservation area. The policy text itself states that *within ‘The Avenues’ area of Frinton-on-Sea, new development must preserve or enhance the special character and appearance of the Conservation Area. Proposals must respect the special character and appearance of the area, including the scale, aspect and design of adjoining buildings and the density of existing development.*
- 4.7 The policy text for Policy PPL11 states that *within ‘The Avenues’ area of Frinton-on-Sea, new development must preserve or enhance the special character and appearance of the Conservation Area. Proposals must respect the special character and appearance of the area, including the scale, aspect and design of adjoining buildings and the density of existing development. To ensure that this special character is safeguarded new development must:*

- a. conforms to the spacious residential character of development and not appear cramped or incongruous in the street scene;*
- b. does not include any flats; and*
- c. does not include any uses other than Use Class C3 'Dwelling Houses'.*

## **5.0 The Proposal**

5.1 The proposed development includes the following alterations to No.36:

1. Replace bay windows with French doors;
2. Remove covered porch and replace with rendered flat roof porch;
3. First floor extension to attached garage to serve bedroom two including an ensuite;
4. Two-storey rear extension to serve bedroom three in part and an en suite to bedroom one;
5. Flat roof side extension to serve open plan kitchen/living/dining room;
6. Improved internal layout;
7. New windows to be white uPVC casement style;
8. New steps from the driveway and footway to the dwelling;
9. 1.2m high replacement brick wall to northern and western boundaries; and
10. Full hard and soft landscaping scheme to soften and screen the development.

5.2 It is proposed to replace the existing small bay windows at ground floor with French doors between half side windows in a casement style. This would match the existing small pane style, highlighted within the Place Service's Frinton and Walton Conservation Area Character Appraisal and Management Plan (2022) as positive contributions to the conservation area. The casement style is largely maintained throughout where additional openings are proposed. Further on the front elevation, it is proposed to remove the canopy and replace this with a porch to the front door. This would be of a flat roof construction finished in light coloured render.

- 5.3 In terms of extensions, it is proposed to remove the existing roof to the attached garage which currently continues from the canopy. This would have a pitched roof and be set back from the principal elevation of No.36 as well as being lower in ridge height. The existing garage's location would not be altered but instead would have a monopitch roof. All proposed rooflines would be finished in concrete tiles to match the existing dwelling. This would facilitate one of two first-floor extensions to improve the existing layout; in this instance, an additional bedroom with ensuite.
- 5.4 The extension to the eastern elevation comprises a two-storey element extending 2.5m rear of the host dwelling and is approximately 8.5m long. This facilitates in part the proposed open plan kitchen/living/dining room area and utility room on the ground floor and an enlargement of a bedroom and an ensuite to the master bedroom at first floor. The roofline would form a double pitch with tiles to match the existing and finished in light coloured render with windows at ground floor level only so there is no opportunity for overlooking into the property to the rear.
- 5.5 The final proposed extension is a single storey high performance flat roof element to the north elevation and measures 3.6m in width and 7m in length. This facilitates around 40% of floorspace of the new open plan kitchen/living/dining room. The dining room and kitchen uses would be moved from the southern side of the dwelling to the northern and the lounge from north to south. The existing utility room would become a study and the utility room would move to the southern elevation as part of the two-storey rear extension. This allows for an improved and enhanced internal open plan layout, rather than the existing extensive partition wall arrangement. This is only achievable with the proposed extensions, which have been restricted in dimension as to reduce any potential impacts within the conservation area.
- 5.6 The open plan area would be served by dark grey powder coated bifold doors to the terraced private amenity space as would the French doors to the sitting room and lounge. This was designed as the existing dwelling has limited rear garden, which faces east and is perpetually in shade. This proposal, along with the planting scheme,

provides a private amenity space to the front garden facing south, providing far greater sunlight than the existing arrangement, as well as producing a biodiversity net gain, as discussed in the landscaping section below.

- 5.7 It is considered that the extensions would not appear overbearing in the plot and would follow design principles of surrounding sympathetic dwellings of an earlier date. The provision of one additional bedroom, a utility room and an improved kitchen/living/dining layout would be modest in scale and appropriate in detailing. The front elevation most visible would remain relatively simple but with some variation to add interest and prevent it from remaining uncharacteristically monolithic. To further screen and soften the proposal, the applicant has worked with Mr. Paul Baines, an experienced landscape architect local to Frinton-on-Sea.

#### Hard and Soft Landscaping Scheme

- 5.8 In terms of hard landscaping, it is proposed to implement paved pedestrian stairs from the footway to the front door and from the driveway at the garage door to the front door as shown on the submitted landscaping plan and layout plan. Before the entranceway, there would be an area of terrace which would serve the French doors and bifold doors. The driveway would remain unchanged at its connection with the highways however will be altered with the removal of the existing retaining wall, introduction of setts followed by a resin bound gravel driveway.

- 5.9 It is proposed to replace the existing stacked stone wall boundary treatment with a 1.2m high Wienerberger Krypton Grey Multi brick wall. This would be to the western and northern boundaries and southern in part. Piers would be situated at suitable centres.



- 5.10 In terms of soft landscaping, it is proposed to plant yew hedgerow to all publicly visible boundaries behind the proposed brick wall. The landscaping scheme shows



trees of a large stock size to be planted. Along most of the northern boundary and both sets of stairs, it is proposed to implement large planting areas which will soften the appearance of the hard landscaping and extensions. The existing curved pavement would be set to lawn. Finally, it is proposed to introduce a gravel garden inspired by the principles of Beth Chatto, the founder of the listed gardens in Elmstead Market to the south of the stairs from the footway to entrance.

- 5.11 When assessed with the surrounding properties and their curtilage, No.36 has little in the way of planting in both quantity and variety. The introduction of this level of planting is more inkeeping with the existing character of the conservation area, as well as a key element of importance to improve within the Avenues, as highlighted by Place Services.

## **6.0 Heritage Statement**

- 6.1 Paragraph 7.10.1 of the adopted Local Plan outlines the specific current and historic landscape character of The Avenues in Frinton-on-Sea:

*‘The Avenues’ to the west of Connaught Avenue shopping centre and north of the Esplanade, form a sedate residential area of outstanding Arcadian character, with wide, straight, tree and hedge lined avenues, grass verges and large, spacious detached houses set in mature gardens. This residential character forms an important quality of this part of the Frinton and Walton Conservation Area where new development affecting its character or appearance is subject to special scrutiny. If changes of use, subdivision to flats, or redevelopment for higher-density housing were to continue to occur, the area’s outstanding character and the quiet enjoyment of residents in the locality would be eroded and therefore this Local Plan affords additional protection. ‘The Avenues’ was laid out originally with regular plots 50ft wide; as land was sold and developed some variations occurred but a minimum plot width of 15.24m remains highly characteristic of the area.*

6.2 This report assesses the relative significance of the development and its effect upon the conservation area. It is important to highlight that the significance of the area has been based on ‘Conservation Plan’ methodology and assessed with regard to the following categories:

**Very High Significance** – elements which are fundamental to the architectural and historic significance of the area;

**High Significance** – elements which are important to the architectural and historic interest of the area;

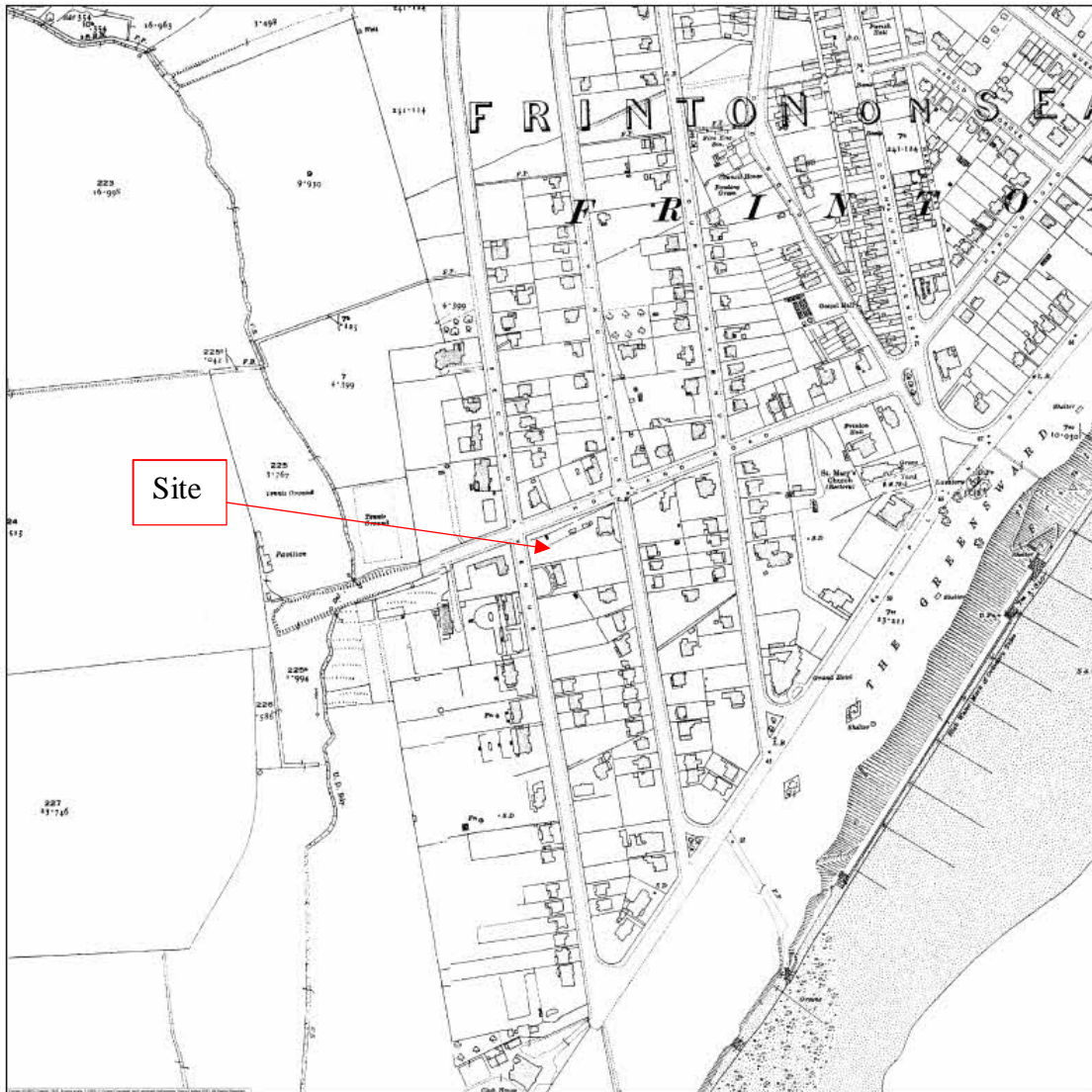
**Moderate Significance** – original elements contributing to architectural and historic interest; but which may have been subject to considerable alteration diminishing their interest;

**Low Significance** – original elements of little significance (or significantly altered such that original character has been lost); and later features which broadly support the architectural interest or character of the locality;

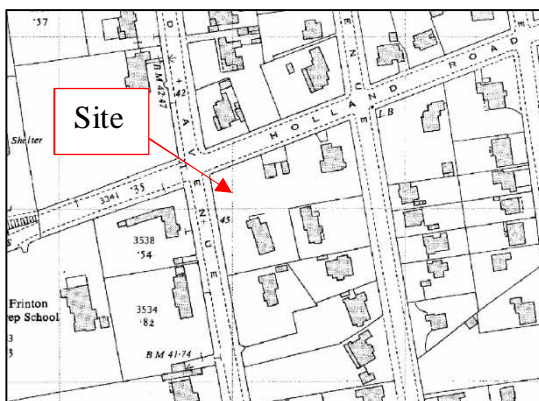
**No Significance** – Later elements making no contribution to the architectural or historic interest of the area.

6.3 Using the historic Ordnance Survey maps to determine the stages of development within the locality, conservation area boundary and the Essex Historic Environment Record, the proposed development has been assessed using the categories of significance as an area of Low to Moderate significance.

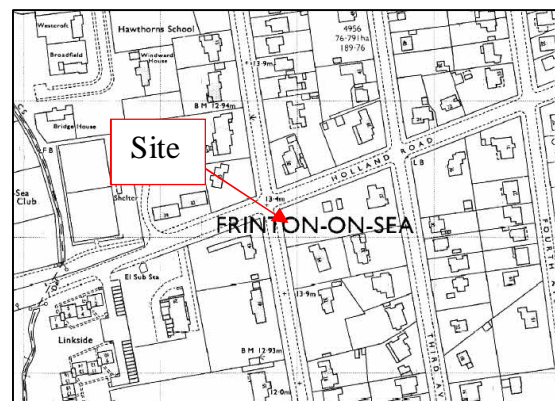
6.4 Whilst evidence of Third and Fourth Avenue can be found on the Ordnance Survey of 1898, Second Avenue first appears in detail in the 1923 Ordnance Survey plan. However, the plot where No.36 now stands appears as part of No.37 Third Avenue’s rear garden, now occupied also by No. 23 and No.25 Holland Road. Prior to this date, the area was largely farmland forming the fringe of Frinton-on-Sea.



6.5 Neither the 1958 nor 1971-1977 Ordnance Surveys show the presence of built form at the now No.36 Second Avenue. However, the surrounding area became populated with linear dwellings fronting the Avenues in a mix of exemplar early and mid-nineteenth century architectural styles, such as The Homestead to the west, which became Grade II\* listed in 1979 (List UID: 1111531).



1958 OS Plan – 1:2500



1971-1977 OS Plan – 1:2500



*Photograph of The Homestead, Frinton-on-Sea. Western elevation c.1908.*



*Photograph of The Homestead, Frinton-on-Sea. Eastern elevation 2023.*

- 6.6 The infilling has continued throughout the past 80 years on a consistent plot basis of 15m width, now mentioned within the adopted Local Plan. It is therefore apparent that the character of the locality stems from the latter half of the 20<sup>th</sup> Century, however the appearance of the earlier constructions has influenced this character and displays the key historic features of the conservation area. This is also reflected with the extent of the conservation area boundary designated in 1975 which excludes the more recent

development in the upper avenues where development has occurred on much smaller sites.

6.7 A Frinton and Walton Conservation Area Review was undertaken on behalf of the Council in 2006 and a Management Plan prepared the following year. The review noted that Frinton as a planned resort dates from the end of the 19<sup>th</sup> century, with its heyday some 30 years later. It contains many fine examples of English domestic architecture of the period, set in a spacious residential suburb, and linked to a famous main street and an important open space on the sea front. No mention is made of the application site, although reference is made to both the beauty of The Homestead and that the modern houses in this area junctional with Holland Road '*are obviously built to a budget and lack of delightful detail of their earlier neighbours... unfortunately imported into the area*'.

6.8 More recently, Place Services have prepared the Frinton and Walton Conservation Area Character Appraisal and Management Plan (2022). The following sections are relevant in this instance:

*Holland Road slopes up to the east, affording views along it to the wider arable setting in the west. Its residential buildings are varied in architectural style and are set back from the road within generous plots, similar to those on the Avenues. There has been more noticeable loss of historic boundary treatments on this road, with many gardens bordered by high close board fencing. Trees and planting are used effectively throughout the Conservation Area and should continue to be maintained, ensuring plans for replanting where any trees are nearing maturity. The street trees are of particular importance in Frinton, where they make a considerable contribution to the character of residential streets and Connaught Avenue. There are examples where trees have been cut down and not replaced, particularly along Connaught Avenue and Holland Road; there is opportunity to reinstate these. To the east, the Second Avenue is the first to span the full length from Esplanade to Ashlyn's Road. It is a grand street, with wide grass verges, street trees, and strong boundary treatments which separate the pavement from*

*large plots within which are a range of detached housing. Front gardens are often visible from the street, and contain mature planting and hedgerows, which contribute to the verdant character of the street. The grand residential buildings along the street appear isolated within green spaces, the rooflines interspersed by trees and sky.*

*At the midpoint of the road, on the junction with Holland Road, is the only listed building within the area; the grade II\* listed Charles Francis Annesley Voysey's homestead, constructed in 1905-6. It is a two-storey building in rough rendered brick, with a green slate roof and offset chimney turret. The building is set behind a low stone wall with substantial shrub border planting and dispersed garden trees.*

- 6.9 The Homestead is located approximately 30m west of No.36. The Official List entry reads:

FRINTON AND WALTON SECOND AVENUE, TM 21 NW FRINTON-ON-SEA 8/47 No. 43, The Homestead 18.5.79 II\* House. Circa 1905-6. C.F.A. Voysey for A.C. Turner. Rough rendered brick. Stone window surrounds and mullions. Green slate roofs. L-plan. 2 storeys with attics to gables. The east face to Second Avenue with a chimney turret off centre left, this with left and right windows to each floor. Three, 3 light windows to first floor. 4 vari-light windows to ground floor, all windows square leaded, tiled pentices over. North face to Holland Road. Tall double gable to left, 2 feature gables to right. Off centre and right external rough rendered chimney stacks. Attic window to left gable. 2:1:1 first floor vari-light windows, 1:6 vari-light ground floor windows similar to east face. Pilaster to left of 6 light window. Flag stone path approach to the red tiled round headed porch arch, 3 steps within the porch, nailed vertically boarded door. Wooden gutters supported by iron brackets. Single storey extension to right with roof hipped to right, vertically boarded door.

- 6.10 This List entry shows that the external materials are the defining factor of its notoriety and architectural merit. In order to ensure that the proposal at No.36 does not

compete, or detract from The Homestead, facing brickwork has largely been retained with elements of light-coloured render as a nod to The Homestead. The existing boundary stone stack wall was attempting to replicate the dry-stone wall at The Homestead. The proposed amendments to the boundary treatment would no longer be competing but compliment the setting of The Homestead. A mix of planting directly behind the dry-stone wall enhances both the setting of the listed building as well as the wider conservation area. This is absent at No.36, thus was a key priority with this proposal.

- 6.11 The reviews of the conservation area highlight that the existing features of No.36 are not found to be inkeeping in terms of architectural detail, landscaping, or boundary treatments, in an area highlighted as intensifying the impact on the conservation area. The proposal aims to ameliorate the character and appearance of a prominent plot bound by both Second Avenue and Holland Road. The design scheme is well proportioned and reflects the form and character of the immediate neighbours. It will not appear cramped or contrived. The proposed additions maintain appropriate spacing between respective dwellings. This will not detract from the spacious character of the area. Equally, the views into and out from the conservation area are not likely to be compromised by the proposed development. Therefore, it is deemed that the proposal would be of a low significance due to the existing arrangement having no original elements as a modern construction. The proposed features would broadly support the architectural interest or character of the locality. It can be concluded that the proposed alterations to No.36 are in accordance with both local and national planning policies.