

1. Do not scale dimensions off drawings.
2. All contractors to check site dimensions prior to starting work or fabrication.
3. Contractor must assure themselves to the full intent and purpose of the drawing specification.
4. All materials and workmanship to comply with the relevant British Standards & Codes of Practice.
5. Do not diverge from drawings or specification without notifying the Architect.
6. All building works to comply with Buildings (Scotland) Regulations 2023.

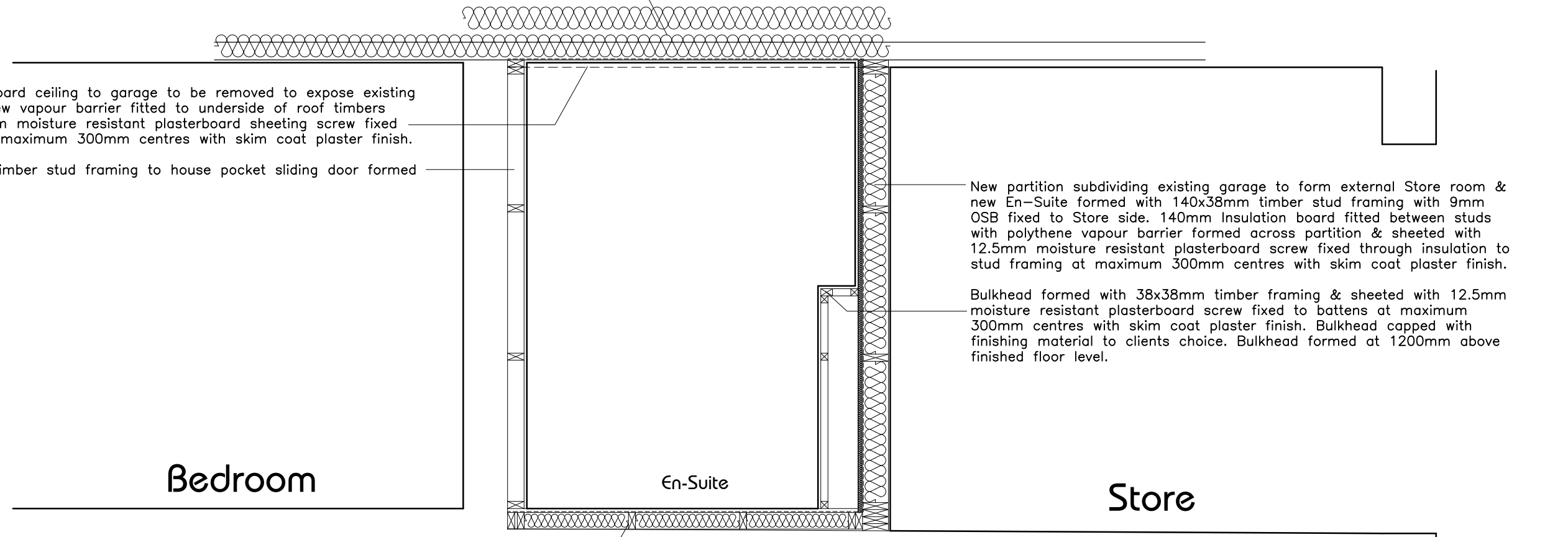
New insulation formed over proposed En-Suite to overlap existing house insulation. Top layer of insulation cross laid over layer below.

Existing plasterboard ceiling to garage to be removed to expose existing rood timbers. New vapour barrier fitted to underside of roof timbers with new 12.5mm moisture resistant plasterboard sheeting screw fixed to underside at maximum 300mm centres with skim coat plaster finish.

New 89x38mm timber stud framing to house pocket sliding door formed to wall.

New partition subdividing existing garage to form external Store room & new En-Suite formed with 140x38mm timber stud framing with 9mm OSB fixed to Store side. 140mm Insulation board fitted between studs with polythene vapour barrier formed across partition & sheeted with 12.5mm moisture resistant plasterboard screw fixed through insulation to stud framing at maximum 300mm centres with skim coat plaster finish.

Bulkhead formed with 38x38mm timber framing & sheeted with 12.5mm moisture resistant plasterboard screw fixed to battens at maximum 300mm centres with skim coat plaster finish. Bulkhead capped with finishing material to clients choice. Bulkhead formed at 1200mm above finished floor level.



**GROUND FLOOR :**  
 22mm T&G Moisture resistant chipboard flooring on polythene vapour control layer on 89x38mm timber floor battens formed at maximum 600mm centres with 90mm RECTICEL Eurothane GP insulation board fitted between battens on leveling shims formed under battens on 150mm wide DPC strip on existing concrete floor slab.

# Section

Client	Mrs. M. McLachlan	Drwg. Title:	As Proposed	
Project	Alterations to House at: 35, Balfour Avenue, Beith. KA15 1AW	Scale	1:25	Drwg No: 1692
		Paper Size	A3	
		Date	11. 23.	BW 05

Revisions		<b>James Harper Architect</b> The Langsle, Langstilly Road, Lochwinnoch, Renfrewshire, PA12 4DR. Telephone / Fax: 01505 843007 E-mail: mail@harperarchitect.co.uk