

# PLANNING DESIGN & ACCESS STATEMENT

Proposed Extension to The Anchorage, 21 Lyndon Road, North Luffenham



In Support of a Householder Planning Application and Demolition Within a Conservation Area for the Extension to The Anchorage, 21 Lyndon Road, North Luffenham, Rutland, LE15 8JZ

## 1.00 Project Introduction

1.01 This statement has been prepared by Corporate Architecture Limited in support of a Householder Planning and demolition within a conservation area application for the ground and first floor extension to the East of the Anchorage, home to Annie Hairsine and Emma Longers.

The Planning Compulsory Purchase Act (2004) (Section 42) requires a design and access statement to accompany applications for planning permission of this nature. Due to its location within the conservation area.

Paragraph 17 of the National Planning Policy Framework advises that securing high quality design is one of the core principles underpinning planning. National planning practice guidance also places great emphasis on the importance of good design noting that this is an integral part of sustainable development. Good design is about creating places, buildings, or spaces that work well for everyone, look good, last well and will adapt to the needs of future generations.

This statement has been prepared in accordance with the requirements of sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, which states that special regard must be given by the authority in the exercise of planning functions to the desirability of preserving or enhancing Listed Buildings and Conservation Areas. Its purpose is to explain the design principles and concepts that have been applied to the proposed works by Corporate Architecture LTD on behalf of our client.

It is important to assess the affect that any development will have on the surrounding buildings and residents to ensure that there are no adverse effects on the residential amenity or the local character.

This attractive detached stone cottage is situated on the edge of the much sought after village of North Luffenham with views down the magnificent Chater Valley and only a short distance from Rutland Water.

The development site is roughly 732m<sup>2</sup> with a walled front garden and a fenced rear garden with a patio and lawn area to the rear (south). The front garden is edged with flower beds and mature shrubs with apple trees within the lawn area to the front of the cottage.

The Application Site sits to the south of Lyndon road at the western boundary of the small village and conservation area. North Luffenham sits south of Rutland Water in-between Edith Weston and South Luffenham.



Fig. 1A. Google Earth Ariel View of North Luffenham in Context with Edith Weston



Fig. 1B. Google Earth Ariel View of North Luffenham

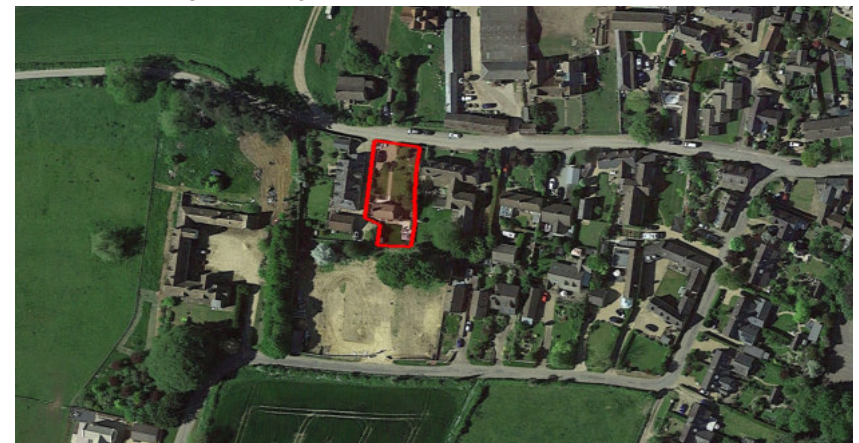


Fig. 1C. Google Earth Ariel View of The Site in Red and The Adjacent Properties<sub>2</sub>



## 2.00

### Principle of Development

2.01

The Anchorage is a traditional looking stone cottage with a large amount of front garden space in addition to its rear garden area.

The existing ground floor consists of a 10m<sup>2</sup> Kitchen area which has proved difficult to perform basic daily tasks for the clients. The path through the kitchen falls is only a meter wide. The existing kitchen also features a 420mm level change from the living room up into the kitchen.

The kitchen leads out to a 20m<sup>2</sup> walled courtyard. Developing the courtyard to be liveable space is minimally invasive to the buildings heritage and appearance as the intention is to utilise the existing materials and footprint within the proposed extension.

The proposal sees a 27m<sup>2</sup> extension to the existing 90m<sup>2</sup> external footprint of the Anchorage, utilising the 20m<sup>2</sup> internal area of the existing courtyard.

The demolition within the proposal has been kept as minimal as is reasonably possible with all demolished materials being specified to be reused elsewhere within the proposal where suitable. The Log Store is proposed to be relocated to accommodate for the proposed Boot Room extension and the vertical Kitchen Wall (east) to the courtyard is proposed to be removed to create access to the open plan kitchen area.

The clients aim to utilise the existing courtyard space to provide a social, interactive space where they can cook, dine and host at one level and with sufficient space.

It should be noted that the property itself is set back from the adjacent properties and Lyndon Road by just under 20 meters.

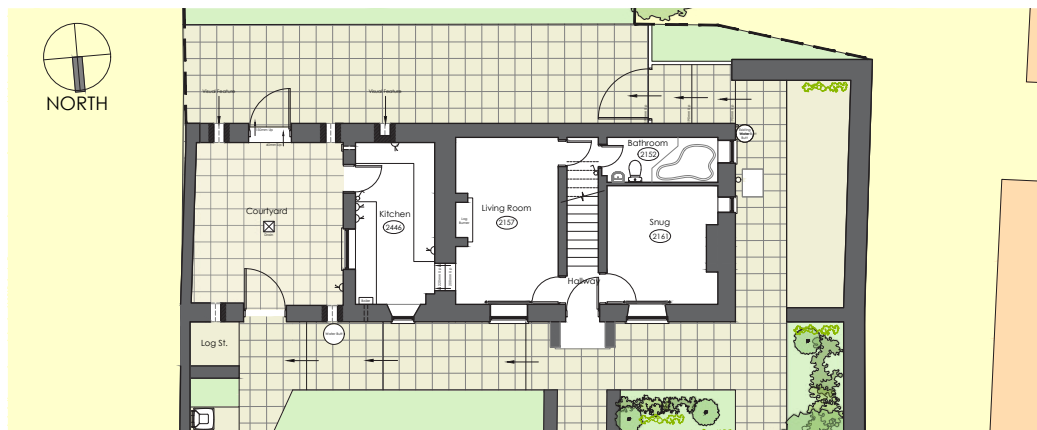


Fig. 2A. Existing Ground Floor Plan with Site Context



Fig. 2B. Existing Street View of The Anchorage Set Back from Listed Building

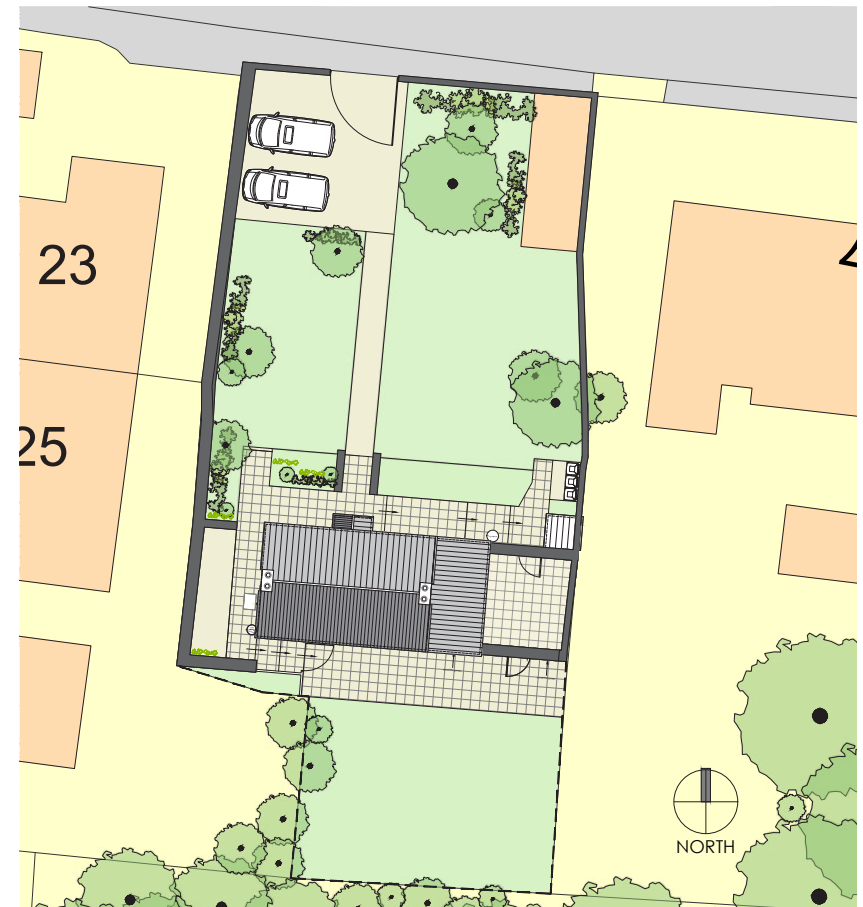


Fig. 2C. Existing Site Plan Showing 20+ Meter Set Back

### 3.00 Planning History

3.01 The Anchorage's Planning History available from Rutland County Council shows 2 previous applications to the property:

L/1994/0199 - Construction of a front entrance porch

L/1993/0219 - Reduction in height of the rear boundary wall

### 4.00 Accordance with the Development Plan

4.01 It is our understanding that the North Luffenham Parish Council are aiming to impact the planning application process for Rutland County Council with the production of the Neighbourhood Plan. The following information has been gathered using the January 2023 draft submission of the Neighbourhood Plan. The document sets out the strengths and weaknesses of the village using information collected from 2017 - 2020 in village surveys. We have directly responded to the main points that were raised within the document below.

#### **STRENGTHS -**

The strengths are noted as; the village setting and the surrounding landscape, the project is sympathetic to local materials and the maintenance/development of landscaping. Access to the countryside - The project has no impact on access after the construction process. Tranquillity of the area - The project has no impact on the tranquillity after the construction process. The primary school. The project has no impact on schools after the construction process and is remote from the school.

#### **OPPORTUNITIES -**

Safeguard rural character and local green spaces - the project aims to maintain, protect and enhance the existing heritage of the property/area. Preserve and enhance heritage and historic buildings - the project aims to maintain, protect and enhance the existing heritage of the property/area. Encourage sustainable development according to evidenced need in appropriate locations with good designs - The project proposes the use of local natural materials where possible, with the reuse of high quality materials that are being taken down for reuse as part of the proposal. Increase and improve sports and recreation facilities - The project has no impact on this area Identify suitable measures to manage/calm traffic - The contractor will provide a delivery management plan. Create a mix of housing types, including affordable housing. This Proposal consolidates and existing historical dwelling within the Village

#### **WEAKNESSES -**

The noted list of weaknesses included; a lack of robust planning controls on development, Poor public transport links. Lack of non-vehicular access to surrounding areas, a lack of parking space and inconsiderate parking, speeding in areas of the village and poor pavement management. The proposed development by its nature will not have all adverse impact on any of these points.

Pre-Submission Version 15/8/22

North Luffenham Parish Council

## Neighbourhood Plan

2022 - 2037



Pre-Submission Version

August 2022

Fig. 4A. Front Cover of The Pre Submission of The Neighbourhood Plan



## 5.00 Impact on Residential Amenity/Visual Amenity

5.01 The majority of the proposal sits to the east(left) and south(rear) of the Anchorage with trees shielding the area of development on the site from the north.

A large existing outbuilding sits at the front of the site, which will limit visibility of the proposed extension to the Anchorage on approach from the east of Lyndon Road, the route through and out of the village of North Luffenham.

The Outbuilding attached to the adjacent Luffenham Court together with a large bush further protect the view of the Anchorage from Lyndon Road.

The residential amenity of the properties on Lyndon Road including the Anchorage has already been disturbed from the Glebe Road development including the erection of 3 dwelling houses bordering the Anchorage to the south. The planning application reference for this development from Rutland County Council is 2017/0008/FUL, which was approved on Thursday 24th October 2019 and is now a complete development.

As shown in figure 5c. the Glebe Road development is significantly visible from the rear(south) garden of the Anchorage, with all three plots sitting at varying ridge lines that are in excess of the Anchorage existing and proposed Ridge Heights.

The more mature surrounding buildings have higher ridge levels than the anchorage apart from the property to the west. Proposed changes to the property have been minimised to the west with the proposal extending to the eastern end of the Anchorage, avoiding affecting the existing visual amenity of the Adjacent property.

Within the Draft Neighbourhood Plan for North Luffenham the following figures were released; "just under 60% of comments supporting limited development specifically wanting houses to be in keeping/in similar style/traditional/stone." The Neighbourhood plan also relays that "The policy is not intended to impose stylistic copying, but to encourage locally distinctive design that takes account of the existing townscape, materials and landscape characteristics. Indeed the policy encourages creative and green design."

An interpretation of protecting the characteristic and residential amenity of the area is to develop existing buildings to suit the ever-changing height and living standards and provide a homely property that is sympathetic to its heritage and those surrounding it whilst providing an established family home for generations to come.

The proposed alterations and extensions achieve this desire within the village.



Fig. 5A. Existing Image of Front (north) Elevation



Fig. 5B. Existing Image of The Anchorage Being Shielded by Luffenham Court



Fig. 5C. Existing Image of Glebe Road Development from Anchorage (South) 5



## 6.00

### Design

6.01

#### Design Opportunities

- The Anchorage is set back 20 meters and is partially screened from Lyndon Road
- The heritage of the Anchorage has already been disturbed by previous extensions/alterations as well as development surrounding it
- The site is in flood zone 1
- The site is 730m<sup>2</sup> with plenty of space to develop both to the rear and front of The Anchorage
- There have been many recent developments surrounding the site
- Existing courtyard walls can be used and retained whilst existing materials reused.

#### Design Constraints

- The application site is within the North Luffenham Conservation Area.
- Luffenham Court and other listed buildings are within a close proximity to the site boundaries.
- Lyndon road offers minimal opportunity for road parking/access during construction although the large site can accommodate this
- The Walls to the east and west of the application site have shared boundary walls with the neighbouring properties and will need to be maintained.

#### Client Brief

Ms Hairsine and Ms Longers have a delightful village home that currently doesn't specially and functionally satisfy modern living.

The existing layout and massing does not provide space for dining, socialising and modern standards of living. The layout is disjointed and uncomfortable due to level changes , for example 440mm up from lounge to kitchen. The clients aim to establish one larger living space that sits at one level, emphasising the small, cosiness of the lounge and snug.

Ms Hairsine and Ms Longers aim to establish the attractive cottage as a comfortable long term home for them both to settle down into.

The existing Master Bedroom (bedroom 1) provides minimal storage space with just enough area to walk around the perimeter of a double bed, with little opportunity for storage throughout the rest of the dwelling. Therefore the couple intend to provide much needed storage and movement space whilst being sympathetic to the existing building hierarchy and footprint.

## 7.00

### Use

7.01

There is no change of use proposed under the application. There are also no changes to the amount of bedrooms/inhabitants.



Fig 06A. View of Existing Courtyard Door from North Looking South



Fig 06B. View of Existing Front (North) Elevation from Driveway



Fig 06C. View of Existing Courtyard Door from North Looking South

## 8.00 Amount and Layout

8.01 The key focus of designing the proposed scheme and detailed in the drawings attached to the planning application is to maintain the existing building and its setting hierarchy.

The majority of the extension sits within the existing boundary of the courtyard. The front (north) elevation attached shows the existing building line in red in direct comparison with the proposed front (north) elevation.

The existing layout of the Anchorage is not adapted much, only by extending the existing rooms of both the ground floor and first floor to establish higher head heights internally as well as more floor space downstairs.

When comparing the area of the proposed kitchen extension (12.7m<sup>2</sup>), the proposed boot room internal area (8.6m<sup>2</sup>) to the existing ground floor area (71.4m<sup>2</sup>), the proposal covers less than a third of the existing internal footprint.

Observationally, the proposal is sympathetic to the main core of the house and creates the stepped roofs as seen within many rural properties of this material and age.

## 9.00 Scale and Massing

9.01 A priority within the design process was to maintain the existing building hierarchy with the street scene, this meant keeping below the existing ridge line, utilising the existing shielding within the site from the trees and rectangular building to the north of the site from Lyndon Road.

The existing Courtyard area is relatively unused but provides space much greater than the existing kitchen.

The clients aim to create a sympathetic social space where they can comfortably cook, dine, host and socialise within the rural Rutland village location.

There is the opportunity to develop to the west of the Anchorage, however this would have a more significant impact on the building's hierarchy and the views from the neighbouring properties.

Demolition Line 



Fig 08A. Proposed Front (North) Elevation With Existing Building Line

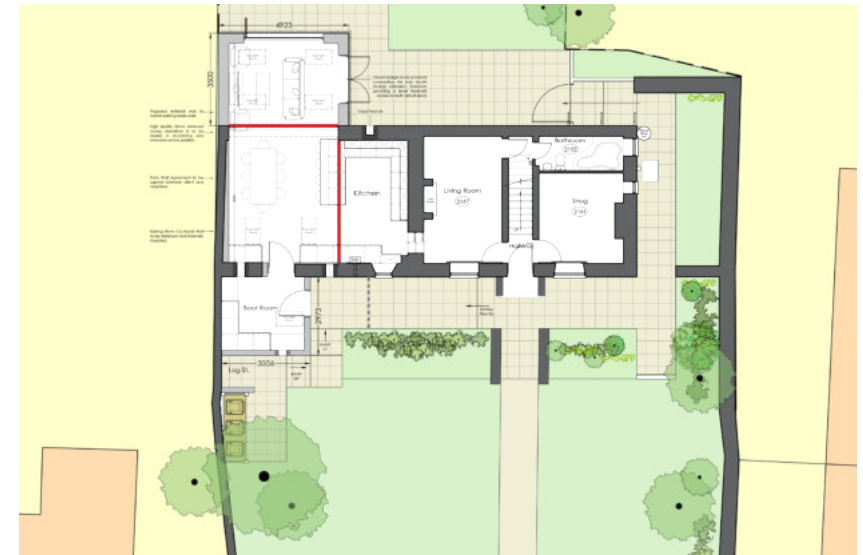


Fig 08B. Proposed Ground Floor Plan With Site Context

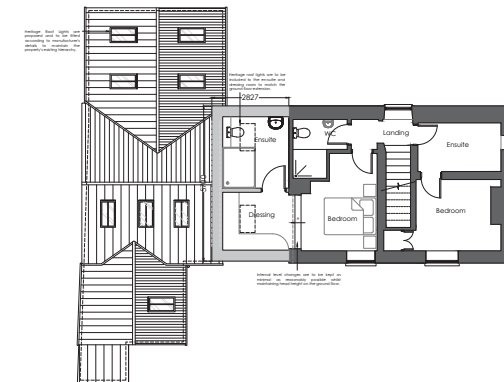


Fig 08C. Proposed First Floor Plan



## 10.00 Appearance

10.01 The proposed materials to be used in the extension are a reuse of the existing or to match those existing.

The proposed wall finish is stone, with any stone walls that are removed within the proposal being set aside, assessed and reused within the extension where possible. This will assist in blending the new stone with the existing stone as well as reducing the construction waste.

Heritage roof lights are proposed over the extended kitchen, boot-room and the master bedroom to maintain the roof line and to be in keeping with the local vernacular.

The first floor extension doesn't feature added windows as the proposed ridge level needed to fall below the existing building in order to maintain the building's hierarchy. Two heritage roof lights will add an abundance of light to what is currently a dull, dark space.

The proposed kitchen extension to the rear (south) of the property features an Oak frame full height window/bi-fold door section as seen in figures 10A through to 10E where D and E are precedent images from conservation/listed building extensions previously completed. These images show the Oak against Stone and Brickwork of cottages and homes.

The property has recently been completely internally refurbished with new double glazed traditional timber doors and windows. These being light green painted to suit the existing front door and door canopy.



Fig 10A. Clip from VIS002 of the Proposed Kitchen Extension (Rear)



Fig 10B. Proposed Front (North) Elevation showing Existing Building Demise



Fig 10C. Proposed Rear (South) Elevation showing Proposed Hierarchy



Fig 10D&E. Precedent Images Similar to the Proposed Kitchen Extension



## 11.00 Access

11.01 The Anchorage site falls on the western outskirts of the village. Lyndon Road is one of 5 Access roads into the village along with Glebe Road, Station Road, Edith Weston Road and Moor Lane .

The development site is accessed from a roughly 3.5 meter gate within a break to the stone wall that wraps around a large area of the site.

The site specific access is not affected within the proposal. There will likely be issues with construction deliveries and parking on-site, this is to be planned out prior to commencement on site. A Construction management plan is to be agreed.

## 12.00 Landscaping

12.01 The site features an elaborate driveway and lawn to the front (north) of the site with a loose stone drive area and connecting pathway up to the front entrance to The Anchorage, and a large green space of lawn with an array of trees and shrubbery planted sporadically throughout the front garden.

As with the internal layout of the cottage, the external levels have multiple steps up and down as shown within the existing and proposed drawings. These levels are to be maintained where possible in the proposal in order to further maintain the existing building and landscape hierarchy.

The proposal does not include the addition of trees blocking the north (front) elevation as this would reduce amount of the original building that is visible from the main access road (Lyndon Road).

To the west of the property is a simple walled external courtyard area with potential for development or planting. To the south is a lawned garden with timber fencing.

## 13.00 Arboricultural Matters

13.01 The existing trees and shrubs within the site have been protected where possible with the exception of T1 and T2, which have been covered under drawing number **"5561-002P1-Existing Tree Management Plan"**.

A survey of the trees affected is to be completed prior to work commencing on site to determine the root paths and that it is safe to relocate them within the lawn of the driveway to the Anchorage.

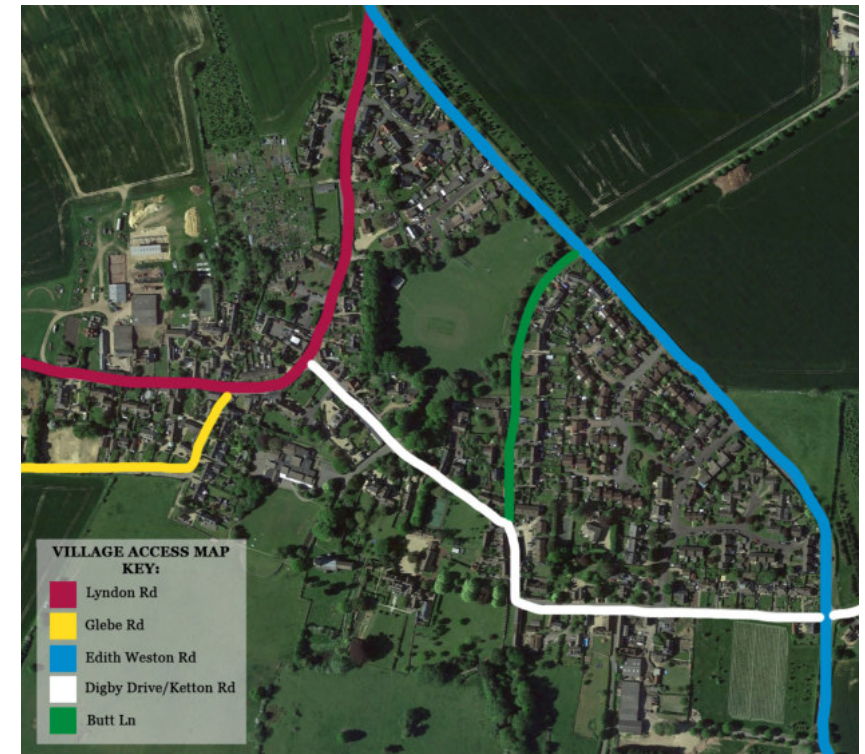


Fig 11A. Map with Key Showing Access Roads to North Luffenham



Fig 12A. Image of the Anchorage's front(north) elevation showing T1 and T2 9



## 14.00 Conservation & Heritage

14.01

The North Luffenham Conservation Area is a designated heritage asset and consequently, paragraph 128 of the NPPF requires applicants to describe the impact of proposals on the conservation area's significance to a level of detail proportionate to the asset's importance and no more than is sufficient to understand the potential of that impact.

The North Luffenham Conservation Area was declared in 1981. The council has not since undertaken a conservation area character appraisal to define the special characteristics of the area and there are no specific management policies for the designated conservation area.

Whilst the Anchorage itself is not a listed building, there are 48 English Heritage Listings within North Luffenham, these are shown on the adjacent map.

With regard to the impact on the Conservation Area, Section 72(1) of the Planning (Listed Building and Conservation Areas) Act 1990 requires that in exercising planning powers special attention should be paid to the desirability of preserving or enhancing the local character and/or appearance of the conservation area. This carries significant weight in considering planning applications.

The property directly to the east of the site holds the grade II listed building, Luffenham Court, reference 187053. Its listing states that "Luffenham Court is a late 18th Century house with coursed rubble stone featuring quoins and stone dressings with collyweston slate roofing and stone and brick end stacks. The property also features stone coped gables, 2 storeys of 5 renewed aluminium 6/6 mock-sash windows. Plain stone frames with keystones. Central 2-leaved door with over light. On the left wing of the property sits an extension with 9-pane windows and 3-pane windows with another wing falling to the right of the property."

Due to the over twenty metre set back from the roadside and the adjacent listed property The anchorage has minimal impact on the setting of Luffenham Court as The Anchorage is well screened in addition to its set back position. The two cannot be easily visually read with each other. The historic Voysey designed "The Pastures" with its rough cast render which has recently undergone a significant restoration is remote in visual and setting terms from The Anchorage and will not create any discernible harm to the listed asset.

There are many modern developments within a close proximity to the Anchorage. This includes 11A Lyndon Road, application reference 1983/0361. A Bungalow was erected in the 1980s. There are many other properties within the village's curtilage that were constructed from the 1960s throughout.



Fig 14A. Map showing the North Luffenham Conservation Area and Listings



Fig 14B. Luffenham Court Grade II Listed Building Adjacent to the Development



Fig 14C. 9 Lyndon Road Development 5 Properties Down from The Anchorage



It is clear that the surrounding development within the conservation area has caused disruption to the conservation area by the modern construction that has occurred over the last 100 years throughout the village. Specifically the Glebe Road Development that directly neighbours the development site to the south. The site has seen the construction of 3 large sales houses with modern features, including flat roof areas to the rear with large window sections.

The attached image shows where the Glebe Road 3-dwelling development is visible from the street scene to both the east and west of the Anchorage.

The 3 plots, as seen in the images attached, consist of varying heights, establish an existing hierarchy of buildings with these being partially visible from Lyndon Road.

The properties feature flat roof, contemporary rear (north) extensions that can be seen from the rear (south) garden of The Anchorage as seen in figure 14F.

It can be argued that the Anchorage proposed development poses significantly less harm to the conservation of North Luffenham and the local vernacular due to prior disturbance through the evolution of the village and its setting through to the current time.



**Fig 14D.** 2019 3 Dwelling Development adjacent to the Southern Site Boundary



**Fig 14E.** Street View Facing South of The Site - Highlighted Glebe Road Development



**Fig 14F.** View of Glebe Road Development from the Anchorage's Rear Garden

## 15.00 Summary

15.01 The Anchorage is a beautiful, Stone cottage within the established rural Rutland village of North Luffenham, south of Rutland Water. The site falls to the western border of the village along one of 5 main access roads.

The cottage is not a listed building however does fall within the North Luffenham Conservation Area, of which an official Neighbourhood Plan has not been submitted, however draft issues have been considered within this document and the design proposals.

The proposal seeks to blend in with the conservation area and its heritage. The proposals for the cottage focus on maintaining the primary of the existing building and its hierarchy with the new works whilst establishing a functional living space both to the ground and first floors of the property.

The existing internal layout of the Anchorage is tight and necessitates multiple level changes and a small, impractical kitchen. To the east of the cottage sits an underused, unsheltered courtyard, a perfect opportunity for development.

The proposal includes the use of materials like-for-like with those existing with any existing stonework that is to be removed during construction will be inspected and those of high quality are to be reused within the proposed extension to help blend the newer stone work into the existing.

The Anchorage by its set back and partially screened location as viewed from Lyndon Road causes very little harm to the Conservation Area of the setting of the Listed building Luffenham Court . It is hoped that the Local Authority will concur with this opinion and grant Planning and Listed Building/ Conservation Area Consent for the proposal.

**Malcolm Foulkes-Arnold**  
**DipArch(Leics) BA(Hons) Architecture | RIBA**  
**Dec 2023**