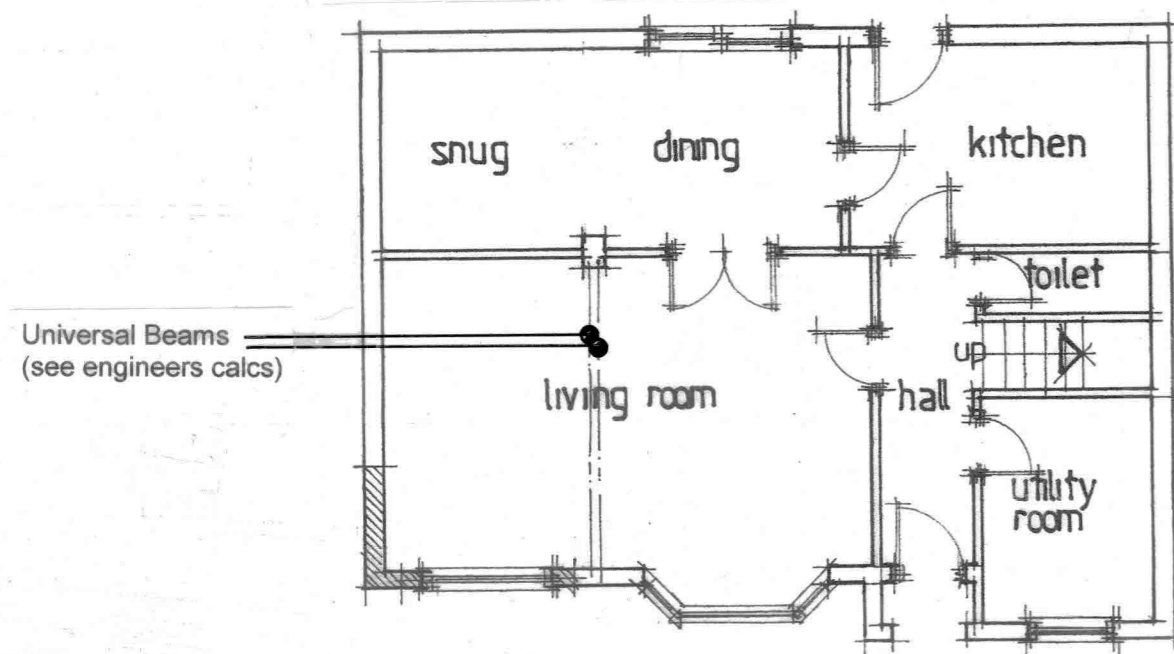


PART GROUND FLOOR / FIRST FLOOR EXT^N
 FOR: MR C. ANDERSON
 AT: N^O 8 THE OAKS
 CHURWELL
 MORLEY

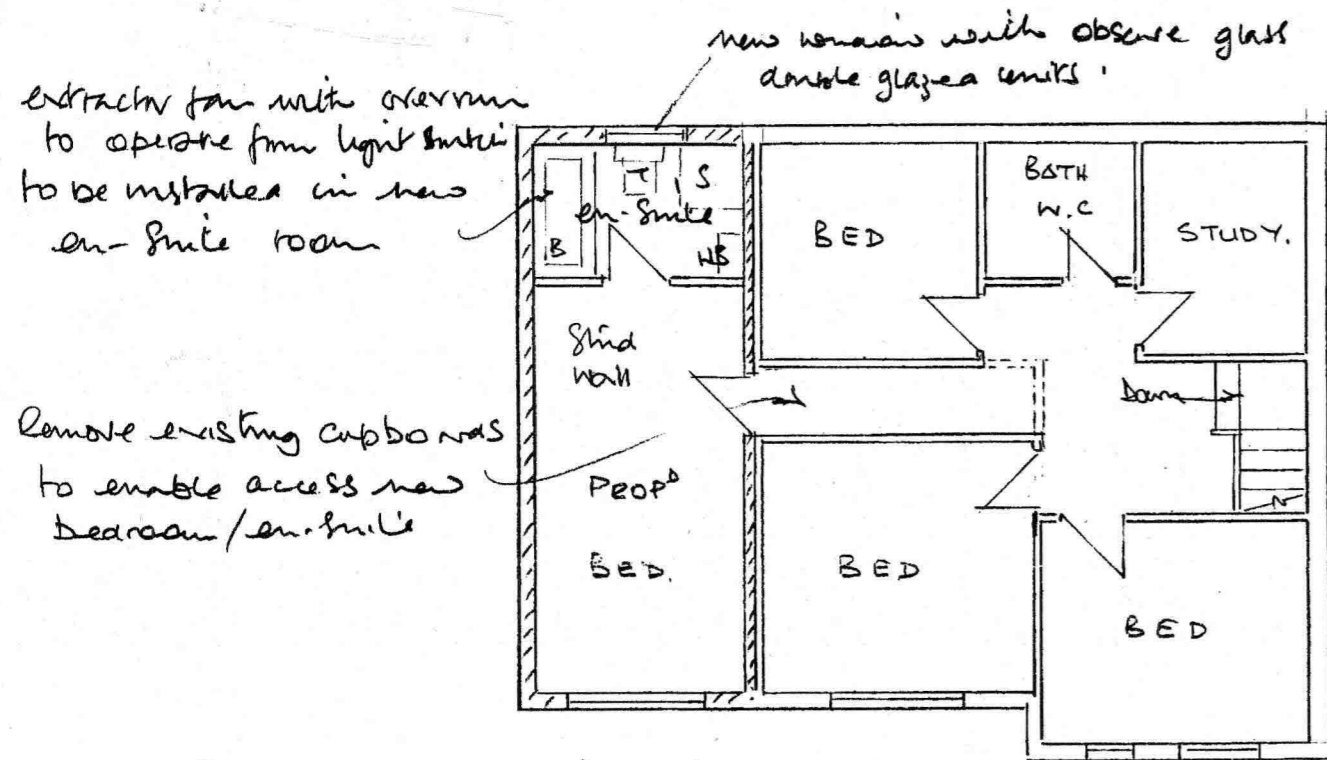
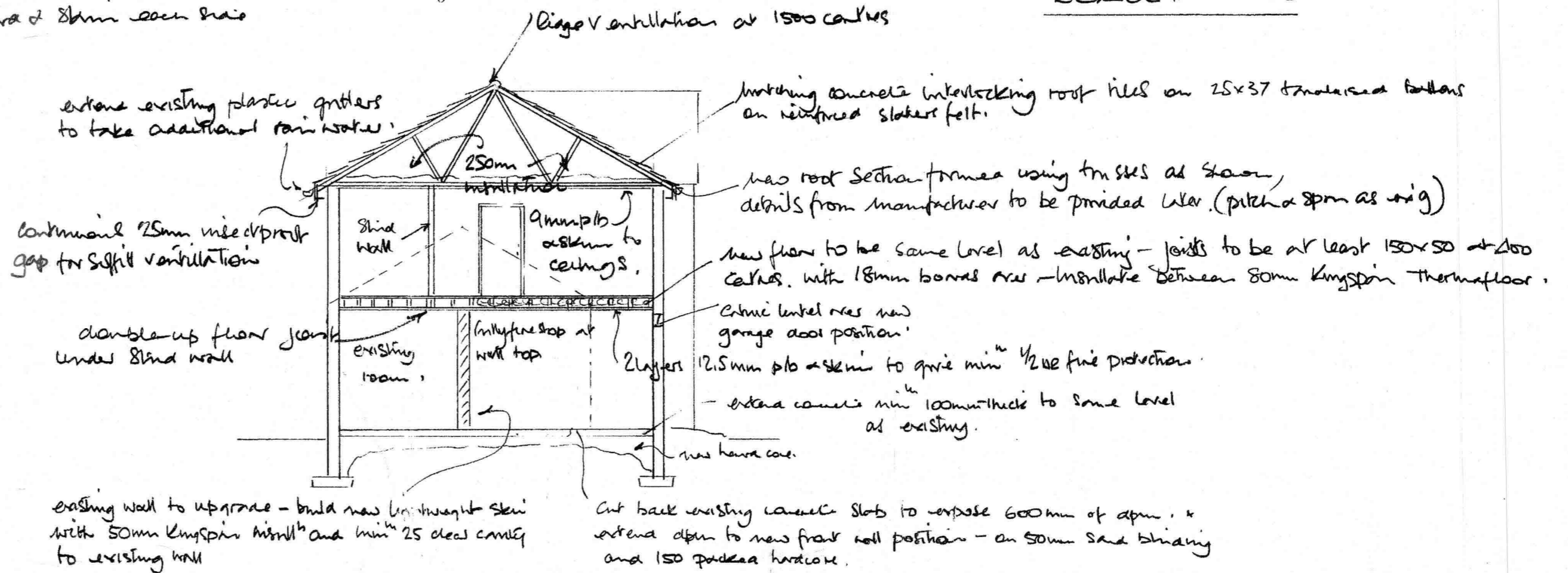
SHEET 2 OF 2.

SCALE: 1:100

Any new blind walls to be in 65mm CLS at 400 centre framework
 with 12.5mm plaster & skim each side



GROUND FLOOR PLAN



FIRST FLOOR PLAN

extractor fan with overrun to operate from light switch to be installed in new en-suite room

Remove existing cupboards to enable access new bedroom/en-suite

Remove outer brickwork skin at new 1st floor level to maximise room use etc.

All new internal surfaces to be dry lined 9mm plaster & skim

Note: Existing brickwork being removed can be cleaned and re-used.

General Specifications:

Foundations taken down to existing concrete foundation - at least 600 below ground level drill existing foundation 25mm dia x 150 deep, & fix steel bars with epoxy, 450 long to hit new concrete to existing (approx 600 centres). New foundation to be at least 600 wide and finish at same level as orig. (minimum thickness to be 200mm).

Build up to orig dpc level in 100mm face brick, clear cavity to 100mm breeze. dpc to be continuous with existing dpc and new apron under extended concrete garage base.

Brick/blockwork above dpc to be in matching face brick, tied every course into orig min 25mm cavity to 50mm Kingspan Thermawall cavity batts fixed to min 100mm breeze block via double tringle stainless steel wall tie - spaced at 750H/450V. and every block course at corners/returns.

All new windows to have installed apts.

All cavities must be continuous and clear of obstructions.

Plumbing

All new plumbing work for new en-suite to link up with existing, via 100mm underground (where req'd) 30mm waste from kb, and 40mm from bath/slower - all with anti vac. traps.

Windows

All new windows - at 1st floor level to be 'escape' windows and give min clear opening of 450W x 800H.

Double glazed units to be in 4/20/4 low E glass (Pilkington K)

PLANS BY "PLANRITE"

