

**Catherine Hoyte**  
**Plainview Planning**  
Watermoor Point  
Watermoor Road  
Cirencester  
GL7 1LF

catherine@plainview.co.uk  
01242 509205  
Our Ref:CH

**Planning Services**  
Tewkesbury Council  
Gloucester Road  
Tewkesbury  
GL20 5TT

**24th November 2023**

Dear Sir/Madam

**Submission of Planning Application (Householder)**

**1 Hillview Court, Woodmancote**

On behalf of our client Mr Shortridge, please find enclosed an application for planning permission for the erection of a fence at the above property.

**BACKGROUND**

Planning Permission was granted in February 2022 for the development of the wider plot on which this dwelling sits, for the construction of 8 homes (Ref: 21/00938/FUL). Mr Shortridge and his family moved into No 1 Hillview Court (Plot 1) in May 2023.

It wasn't until they had taken occupation that they realised just how exposed their new home is in terms of lack of security, overlooking and resulting lack of privacy. Its front aspect and entire garden face onto and front New Road. The Developer has put in place a post and rail low fence with planting that is going to take some years to mature.

**Dwelling Layout and Privacy**

The majority of windows to habitable rooms on the ground floor of the house are on the eastern elevation facing onto New Road and the pedestrian footpath. Pedestrians using the footpath and motorists passing by can look directly into the sitting room via all windows that serve it, straight into the dining/kitchen and snug and have a full view of the **entire** garden.



There is a second window on the north elevation serving the sitting room which, due to the siting of the dwelling and the orientation of the road (which curves away from the site), allows users of the road and footpath to look directly into that window too.

Whilst it is of course common for living rooms/kitchens to face onto footpaths/roads at the front of houses, it is rare that *every habitable room on the entire ground floor* would do so. **There is not a single room on the ground floor that is not wholly visible from the public footpath and road.**

The garden is at the front (eastern elevation) and side (southern elevation) of the house. **Due to its orientation and lack of boundary fence, the entire garden is also fully visible from passersby and road users.** There is no privacy for the children to play, they can be observed by anyone on the public footpath or highway.

This leaves the applicant and his family feeling hugely exposed and uncomfortable in their home. Whilst curtains/blinds can go some way to dealing with the situation, particularly in the evenings, it is not reasonable for these to be closed all day and night. Nor of course is this a solution for the garden.

During the day there is absolutely no privacy whatsoever in any of the downstairs rooms or garden. This leaves the homeowners visible at all times to the passing public making life uncomfortable for them and restricting the way they use their property. The way the children use their garden is particularly impacted, they are not comfortable playing outside without their parents present, are uncomfortable using the paddling pool etc.

Photos below demonstrate the point:



**Photo 1:** taken from the pedestrian footpath in front of the site, no zoom. Clear view from footpath into entire garden.





**Photo 2:** Taken from the rear garden patio of the property. Pedestrian passerby visible on the footpath immediately in front of the garden. Extensive roadworks taking place on New Road demonstrate the proximity to the road. No zoom.



**Photo 3:** Taken from the pedestrian footpath that runs alongside the boundary post and rail fence bordering the property. Clear view of the whole garden. No zoom.





**Photo 4:** taken from the pedestrian footpath outside the front gate showing a clear view straight into the garden. No zoom

### **Security and Safety**

Due to the situation outlined above, the contents of the home are visible and on display to those passing, making it an inviting proposition for thieves. The post and rail fence and immature planting provides **no barrier to access at all**. Whilst natural surveillance can of course play a part, that is in no way compensatory for adequate boundary treatment. Particularly once it is dark, and traffic reduces. **There are no street lights along this part of New Road.**

In addition, this solution just isn't safe for a family home, particularly one fronting onto the main road through the village. Since moving in, the applicant's dog has run under the rail and into the road with their young son in pursuit. They have now installed low level mesh to prevent that but that does not address the issues of security or the lack of privacy.



The below image shows just how slowly the planting is maturing and it will be some considerable time before it affords the applicant any form of security or privacy. **The footpath and road are clearly visible in these photos demonstrating just how exposed the property is to the public.**



#### CRIME PREVENTION INSPECTION AND REPORT

A full site security survey report was carried out on the 29th August 2023 by Lucy Yearsley (Neighbourhood Watch Field Officer) on behalf of the Gloucestershire Constabulary. The full report can be found in Appendix 1. This report includes a number of security recommendations with improved fencing strongly recommended and highlighted in the visit summary main statement.

***“I am concerned about the lack of perimeter security that your property has I strongly recommend that you improve the fencing”***

The report notes that the garden furniture is not secure and could easily be stolen or used to gain entrance to the house. Also that **an offender could ‘easily reach over’** the current fence and that **even when in the house, the occupiers should keep the back**

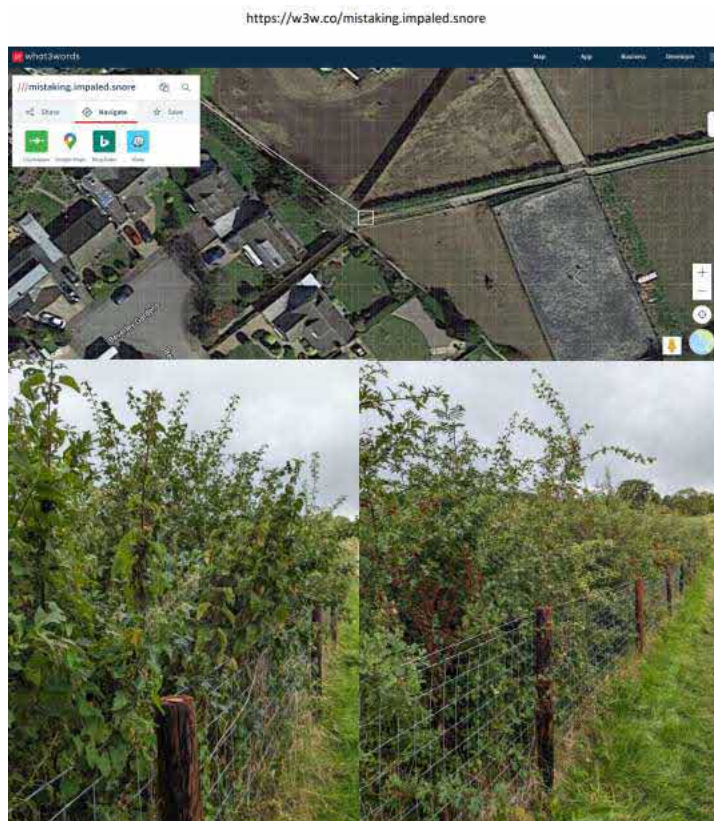


door locked and key hidden as an intruder could easily gain access into the garden and then the house.

### Parish Council Dialogue

Ahead of this planning application submission the applicant has contacted the Parish Council to highlight their impending planning application and discuss. Appendix 2 details the correspondence between the applicant and Cllr James Nicholson-Smith. This details attempts made to engage directly to more clearly explain the proposal and amend if required. Disappointingly Cllr James Nicholson-Smith did not respond to the last request on the 21st August for an on site meeting to review and discuss.

The below images are the “What Three Words” location that Cllr James Nicholson-Smith directed the applicant to view. This was suggested as an alternative type of fencing and hedging to offer additional security. This location is adjacent to a rural footpath leading to the lower area of Cleeve Hill. The applicant does not believe this to be a suitable alternative for the site in the heart of the village - the wild stinging nettles and barbed wire (shown in images) would pose a hazard to pedestrians while walking along new road pavement. This is a particular risk for a local visually impaired resident who uses this route daily.



## Woodmancote Parish - Neighbourhood Development Plan (NDP) Survey 2020 / Referendum Vision 2023

During the recent two most recent opportunities for local residents to vote on village life a number of key elements were included within the results which deserve particular attention:

### *89% Believed that all developments should have a back garden (Referendum Visions)*

1 Hillview Court has no defined back garden under the planning permission granted in 2021. This has now been defined by the applicant since taking occupation via an internal low level boundary mesh and gate (black metal). With this and the proposed fence in place, this would accord with the NDP subsection 'Gardens and Parking' which looks for "Open front gardens where plot size allow to set back the building giving "open and green" feeling to the village".

### *A safe environment for Children (Vision of Woodmancote 2031)*

The applicant's two young children do not feel safe in the back garden due to the exposed nature given that there is no private rear garden and no privacy offered by the current post and rail fence. This has impacted on their type of play in the garden since moving into the property.

## POLICY CONSIDERATIONS

The original application for 8 houses on the wider site took into account the impact of the proposed development on neighbouring amenity in accordance with Core Strategy policy SD4. It also considered the matter of external design and appearance including external boundary treatment.

Policy SD4 part iii) Amenity and Space, asks that new development enhance comfort, convenience and enjoyment through assessment of opportunities for light, **privacy** and external space. It goes on to note that **potential disturbances including visual intrusion should be avoided or mitigated.**

Part iv) of the same policy notes that new development should be designed to contribute to safe communities including **reducing the risk of fear of crime.**

TBP Policy RES 5 states that proposals for new housing development should provide an **acceptable level of amenity** for future occupiers of the proposed dwellings.

Policy DES 1 asks that new residential development make adequate provision for **private outdoor amenity space.**



It does not appear that due consideration was given to the orientation of the house and garden at plot 1 and the resulting lack of privacy and fear regarding security that the occupier would face as a result. The post and rail fencing and planting which will take many years to mature does not provide an adequate level of privacy and security to the occupants of the dwelling, and therefore does not provide an acceptable level of amenity. **This does not meet with the above policy requirements.**

## THE PROPOSAL

The obvious and entirely reasonable way for the applicant to ensure that their property is secure and to mitigate the nuisance arising from constant overlooking from passers by on foot and in their cars, is to erect a boundary fence.

This application seeks planning permission for a 1.8m close boarded fence along the front boundary in place of the existing post and rail fence currently in situ, to dog leg just on the line of the footpath to the front door. This would provide complete privacy to the garden, dining room, snug and kitchen, leaving the remainder of the front garden and living room as now. **The fence would sit on the same line as the existing post and rail fence, behind the existing and retained trees and immature planting which would continue to grow and in time, partially screen the fence. It would match the existing fence on the southern boundary fronting Poplar Drive.**

The Woodmancote Neighbourhood Development Plan cites close board modern timber fencing adjacent to the highway or footpaths as negative features of the village (reference NDP, Box 8, page 71). However, paragraph 154 above Box 8 notes that negative features *'that are not currently found locally'* should be avoided.

This type of fencing is found locally, along New Road itself and immediately surrounding roads including Pottersfield. **This type of fencing has also been approved** as part of the development of the wider site and is in situ on the boundary of the site that fronting onto Poplar Drive at its corner with New Road - see image below:





The Poplar Drive fencing is at the junction with New Road and is **clearly visible** to those passing along New Road. This now forms part of the character of the area along with the other examples provided.

To the immediate right of the fence shown in the photo above is the post and rail fencing of the application property fronting New Road - the proposed fencing would sit on the same line as it, **behind** the existing trees.

The most relevant other local examples of fencing as proposed include:

- Bon Accord **immediately adjacent** to the application property. Granted permission in 2018, **no objection from Parish Council. As close to the footpath and highway as the application proposal.**



Paragraph 4.2 of the officer report in relation to that application states:

*“Bon Accord is located along New Road in Woodmancote. It is characterised by soft hedging all along this road which is in-keeping with the semi-rural character of the area. This is a revised scheme following the refusal of permission for the fencing last year. The proposed fencing would now be set back by about a metre from the pavement and there would be hedging planted in front of it which would help to soften its appearance. The new fencing would also not have concrete posts or pillars. The overall appearance of the proposal would now be in-keeping with the character / appearance of this road.”*

This fence and the one newly installed fronting Poplar Drive **now form part of the characteristic of New Road.** It is also the case that the proposed fence shares many of the same characteristics of the approved fence at Bon Accord including - it would be **set back from the pavement, there would be trees and hedging planted in front of it, and it would not have concrete posts or pillars.**



Applicants are entitled to **consistency in decision making** as explained by Mann LJ in *North Wiltshire District Council v Secretary of State for the Environment* (1993) 65 P & CR 137 who noted:

*“One important reason why previous decisions are capable of being material is that like cases should be decided in a like manner so that there is consistency [...]. Consistency is self-evidently important to both developers and development control authorities. But it is also important for the purpose of securing public confidence in the operation of the development control system.”*

- **1 Pottersfield** - image below shows the side elevation which fronts New Road with close boarded fencing behind sporadic trees. Circa 40m south of the application site.



- **Little Coppers** - opposite Bon Accord, adjacent to 1 Pottersfield above and circa 20m south of the application site



- **Barnstone**, New Road, circa 100 m north along New Road where it changes to Station Road



Also submitted in support of this application at Appendix 3 are photographs showing fencing fronting the highway in various locations within a few minutes of the application site.

These fences fronting the highway **are** found locally and what the applicant proposes is in no way out of keeping or incongruous in light of that.

In addition, the **existing planting would remain**, the new fence would replace and sit on the line of the current post and rail fence **behind** the planting and set back from the back of the pavement. **Over time, that planting will largely obscure the fence.**

## CONCLUSION

Clearly the existing lack of privacy and security to this property are wholly unacceptable and do not reflect policy requirements regarding security, privacy and the provision of acceptable private amenity space. The proposal to install a boundary fence to provide this is entirely reasonable. Whilst the Parish Council concerns are recognised, **it is a fact** that close boarded fencing of this nature fronting the highway is now characteristic of the stretch of new road, and within the immediate vicinity. Given this, the proposal is not in conflict with the NDP.

Please note, the dwellings as built do not currently appear on OS mapping. Permission to use the plans for application 21/00938/FUL was not given by the architect who prepared those plans. The submitted location and block plan represent the totality of the information available to the applicant without undertaking a full survey of their new home which would be unduly onerous given the scale of the application.

Reference can be made to the plans that are publicly available under application 21/00938/FUL if clarification is needed.



If you need any further information please do not hesitate to contact me.

Yours sincerely



**Catherine Hoyte**

**T:** 01242 509201

**E:** [catherine@plainview.co.uk](mailto:catherine@plainview.co.uk)

**A:** Watermoor Point, Watermoor Road, Cirencester GL7 1LF



# Appendix One

Gloucestershire Constabulary Site Security Survey Report





# Site Security Survey Report

Name of Property –1 Hillview Court

Address –New Road, Woodmancote

Date of Visit –29/08/2023

Completed by and Job Title –Lucy Yearsley, Neighbourhood  
Watch Field Officer

## Preparation check list

- What health and safety requirements did you implement for yourself and for anyone else involved in the site security survey? Appropriate clothing and footwear was worn, I.D was also worn. Line manager and colleagues informed and appointment added to calendar.
- 
- How did you ensure that you acted in an ethical manner? No individual named products were recommended.
- How did you research any potential equality and diversity issues and what were the reasonable adjustments that you made in relation to providing your advice? The homeowner was contacted by telephone prior to the appointment.
- How will you ensure the security and integrity of confidential information? The information on this survey will only be shared with the homeowner and the crime prevention team and others by permission.
- Are you clear about the Occupiers Liability Act 1957 & 1984 and how will you explain this to the homeowner or building manager if required? Occupiers Liability Act 1957 and 1984 –Concerning the duties of the occupier of the property to people invited in and those that are not their visitors. Building and planning regulations - Ensuring that any recommendations given take this into consideration. (example: making a fence higher than 1.82 Metres (6 foot) not using the 300mm trellis, that signage is in place and that regulations have been taken into consideration)

Site information	
Reference	
Postcode-	GL52 9RP
Date of survey	29/08/2023
Name of premises	
Address of property	1 Hillview Court New Road Woodmancote Cheltenham

<b>Telephone &amp; email for contact (s) on site</b>	07891 611247 shortridge1980@gmail.com
<b>Does the Occupier wish to have a copy of the full report</b>	YES/ NO

Where recommendations have been made for additional physical security, it is assumed that competent installers will carry out the installation as per manufacturer guidelines.

Suppliers of suitably accredited products can be obtained by visiting the Secured by Design website - [www.securedbydesign.com](http://www.securedbydesign.com)

<p><b>Overview</b></p> <p>Please give a description of the main property, building fabric, location (include a javelin photo of property boarder and street/area) Provide a crime report/profile for the site and area, be sure to indicate the time line. Have we visited the area before and has any crime advice been given. What routes are around the site (footpaths, alleys, roads, train tracks) mark out the ground features, trees, tunnels, drains etc. Is there surveillance around the local area/site (Natural/Formal/informal) what boundaries does the site have with other properties.</p>




<p>Crime stats/ profile for the site/area including previous incidents, crimes, etc.</p>	<table border="1"> <thead> <tr> <th style="background-color: #e1eef6;">Incidents for New Road</th> <th style="background-color: #e1eef6;">Sept 2020 – Sept 2023</th> </tr> </thead> <tbody> <tr><td>ASB - Nuisance</td><td>2</td></tr> <tr><td>Crime - other</td><td>1</td></tr> <tr><td>Criminal damage</td><td>1</td></tr> <tr><td>Fraud/forgery/deception</td><td>1</td></tr> <tr><td>Theft - other</td><td>1</td></tr> <tr><td>Theft from motor vehicle</td><td>1</td></tr> <tr><td>Lost or found Property or animals</td><td>1</td></tr> <tr><td>Susp. Circs./Insecure veh./prems.</td><td>1</td></tr> <tr><td>Abandoned call inc silent 999</td><td>1</td></tr> <tr><td>Concern for safety</td><td>3</td></tr> <tr><td>Rtc_damage only(inc animal rtc's)</td><td>1</td></tr> <tr><td>Highway disruption</td><td>2</td></tr> <tr><td>Road related offence</td><td>3</td></tr> <tr> <td style="background-color: #e1eef6;"><b>Grand Total</b></td> <td style="background-color: #e1eef6;"><b>19</b></td> </tr> </tbody> </table>	Incidents for New Road	Sept 2020 – Sept 2023	ASB - Nuisance	2	Crime - other	1	Criminal damage	1	Fraud/forgery/deception	1	Theft - other	1	Theft from motor vehicle	1	Lost or found Property or animals	1	Susp. Circs./Insecure veh./prems.	1	Abandoned call inc silent 999	1	Concern for safety	3	Rtc_damage only(inc animal rtc's)	1	Highway disruption	2	Road related offence	3	<b>Grand Total</b>	<b>19</b>
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<p>Any other information that is pertinent to the report? This should include whether previous crime prevention advice has been given and the key points of that advice.</p>	<p>No previous advice given as new build property</p>																														
<p>The reason for the site security survey</p>	<p>Asked by PCSOs to attend as Mr Shortridge wanted security advice.</p>																														

Environment observations	
<p>Traversable routes to the site</p>	

	<p>There is a main road running along the front of the property and a road leading to a cul-de-sac to the left side of the property. The property is on the land that was Poplar Farm.</p>
<p>Ground features – ditches, banks, topography, trees, tunnels, drains etc.</p>	<div data-bbox="536 344 963 600" data-label="Image"> </div> <p>There is a young hedge planted to the front of the property.</p>
<p>Surveillance (natural/formal/informal)</p>	<p>There are no street lights immediately close to the property. There is a clear view of the property from the road.</p>
<p>Boundaries with co-located properties</p>	<p>This is a detached property with one next door property.</p>
<p>Other observations</p>	<p>This is a new build property that the resident brought off plan.</p>

Perimeter observations	
<p>Fences, gates, hostile toppings, walls</p>	<p>There is a low (950mm) post and rail fence that the home owner has attached weldmesh to. There is also a young hedge planted.</p> <div data-bbox="553 1541 1273 1736" data-label="Image"> </div> <p>The homeowner has installed a gate but at the moment this is providing no security as people can just step over the fence.</p>

<p><b>Perimeter footpaths, public rights of way, access, shared boundaries</b></p>	<p>The property is on a public footpath and a main road to the front and side.</p> 
<p><b>Barriers, bollards, blockers</b></p>	<p>N/A</p>
<p><b>Landscap</b></p>	<p>The property is semi detached, it borders a cul-de-sac and a public footpath.</p>
<p><b>Communal areas, probl areas, etc.</b></p>	<p>N/A</p>
<p><b>Existing security meas</b></p>	<p>The property at present doesn't have security lighting or an alarm, this is in the pipeline.</p>
<p><b>Other observations</b></p>	<p>None</p>

<p><b>Void area observations (between the perimeter and the shell)</b></p>	
<p><b>Outbuildings</b></p>	<p>At present there are no outbuildings.</p>
<p><b>Void areas</b></p>	<p>The void areas of the property are kept very clear, only a garden table and chairs in the garden. It would be very easy for these to be removed from the garden.</p>
<p><b>Carpark:</b></p>	<p>N/A</p>
<p><b>Access control, guarding, emergency routes</b></p>	<p>N/A</p>
<p><b>Lightin</b></p>	<p>There is street lighting on the public footpath. At present there is no security lighting on the property, this is in the pipeline.</p>

<b>Other observations</b>	As this is a new build property the residents have not yet installed an alarm or security lighting.
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<b>Shell observations</b>	
<b>Building design</b>	New build property of stone build.
<b>Doors and windows</b>	The property has all new windows and doors. At the rear there is double patio doors.
<b>Other entry points (shutters, garage doors etc.)</b>	N/A
<b>Access control, guarding, emergency routes</b>	N/A
<b>Lightin</b>	N/A
<b>Existing security measu (CCTV/alarms etc.)</b>	There is no CCTV or camera doorbells at the property yet.
<b>Other observations</b>	None

Internal security observations (including management and policies for a public use building)	
Risk targets	N/A
Views from exterior (especially of potential targets)	N/A
Key control procedures	N/A
Personnel/visitor procedures	N/A
Internal doors security	N/A
Existing security measures	N/A
Other observations	N/A

## Gloucestershire Constabulary

Hucclecote Police Station  
58 Hucclecote Road  
Hucclecote, Gloucester. GL3 3RT  
[www.gloucestershire.police.uk](http://www.gloucestershire.police.uk)



Dear Mr Shortridge,

It was lovely meeting you to discuss your home security, I am concerned about the lack of perimeter security that your property has I strongly recommend that you improve the fencing. The following recommendations have been made for your property:

### Short Term Recommendations

1. Ensure no tools or equipment are left in the garden as these will not be secure and could be stolen or used to gain access to the house.
2. Ensure doors and windows are kept locked, if you are in the front of the house keep the back door locked as an intruder could easily gain access to your garden, then into your property.
3. Remove keys from doors and keep them out of sight if they are not being used.
4. As dog theft is getting more common and your fencing is low please supervise your dog in the garden as an offender could easily reach over.
5. Sign up to Community Alerts to receive information from Gloucestershire Constabulary.
6. Use a UV marker (available from our office) to mark your property.
7. Consider setting up a Neighbourhood Watch Scheme in the area.

### Medium Term Recommendations

1. Fit BS 12320 standard padlocks to any gates.
2. Fit blinds or window coverings on the property to prevent a good view of belongings inside.
3. You could consider an alarm system for the property, these alarms can include CCTV cameras that ring a mobile phone and record intruders. There are also audible alarms and silent alarms. A list of various companies, manufactures and prices can be found on Accredited Product Search at [Secured by Design - Secured by Design](#)
4. Install Dusk till Dawn lighting on all sides of the property.
5. Install a more secure perimeter fence, this can be a closed board fence with trellis.

### Long Term Recommendations

1. Consider purchasing a shed to store garden equipment in.

Crime Prevention advice is given without the intention of creating a contract. Neither the Home Office nor Gloucestershire Constabulary accepts any legal responsibility for the advice given. Recommendations included in this report have been considered for the specific site and take into account information available to the Police or supplied by you as the occupant.

Yours Sincerely

Lucy Yearsley  
Neighbourhood Watch Officer for Cheltenham and Tewkesbury  
01452 754630  
Lucy.yearsley@gloucestershire.police.uk

# Appendix Two

Correspondence with Parish Council







Richard Shortridge &lt;shortridge1980@gmail.com&gt;

**1 Hillview Court - Planning Permission**

6 messages

**Richard Shortridge** <shortridge1980@gmail.com>  
To: cllrwest@woodmancoteparishcouncil.com

14 August 2023 at 10:47

Dear Councillor West

Firstly, I hope you are well.

I am hoping you may be able to offer some assistance and feedback prior to submission of a planning proposal in relation to the new Cape Homes Hillview Court development. I am the owner of house no1 which runs adjacent to the New Road highway. Prior to moving in we had expressed concerns over both privacy and security of the rear garden due to fencing type. At present the garden has full height fencing to the rear and side but 1m post and rail fencing with young bushes facing the highway.

I would really like to understand the parish council's view of a proposed planning permission request to change the fencing to improve both privacy and security whilst being in keeping with the local area.

As a local family resident of over 15 years (formally 14 Greenway) I am well aware of the local view of both the development and the impact during its build.

Would this be something we could discuss in person or over a short teams call?

Many Thanks  
Richard Shortridge  
07891 611247  
[shortridge1980@gmail.com](mailto:shortridge1980@gmail.com)

**Cllr Sarah West** <cllrwest@woodmancoteparishcouncil.com>  
To: Richard Shortridge <shortridge1980@gmail.com>  
Cc: James Nicholson-Smith <james@nicholsonsmith.co.uk>

15 August 2023 at 19:06

Dear Richard,

Thank you for getting in touch before you submit your planning application.

I have copied in my councillor colleague James Nicholson-Smith as he led our Neighbourhood Development Plan process, and will via this email ask him to discuss this with you in the first instance.

Regards,

Sarah

**Cllr Sarah West**  
Woodmancote Parish Council  
Chairman

Parish Clerk: [Clerk@woodmancoteparishcouncil.com](mailto:Clerk@woodmancoteparishcouncil.com)  
Web site: [Woodmancote Parish Council – Serving the people of Woodmancote](#)  
Facebook: [Woodmancote Parish Council | Facebook](#)

[Quoted text hidden]

**Richard Shortridge** <shortridge1980@gmail.com>  
To: Cllr Sarah West <cllrwest@woodmancoteparishcouncil.com>  
Cc: James Nicholson-Smith <james@nicholsonsmith.co.uk>

21 August 2023 at 11:36

Mr Nicholson-Smith

Hope you are well and further to the below. Could you please advise when you would be in a position to update on this issue. We are keen to conclude all supporting background and supporting information prior to submission of the planning permission application.

Many Thanks  
Richard Shortridge  
[Quoted text hidden]

**James Nicholson-Smith** <james@nicholsonsmith.co.uk>  
To: Richard Shortridge <shortridge1980@gmail.com>, Cllr Sarah West <cllrwest@woodmancoteparishcouncil.com>

22 August 2023 at 17:04

I am away this week but should find time next week.

My initial thoughts are that the planning permission for the development was contentious and went to planning committee.

The conservation area and proximity to the listed building were factors as well as flood risk management and street scene. However, critical to decision to grant the planning permission was the need to 1) maintain the natural perimeter around the development especially adjacent to New Road 2) keeping the development "open and green". Therefore anything that makes the development more suburban or reduces surface water attenuation is likely to be opposed.

Therefore, my suggestion would be to look at a more mature natural hedging option in combination with a 3' chicken wire fence on the inside if you have a dog.

Kind regards,

James

Sent from [Outlook for Android](#)

From: Richard Shortridge <[shortridge1980@gmail.com](mailto:shortridge1980@gmail.com)>  
Sent: Monday, August 21, 2023 11:36:13 AM  
To: Cllr Sarah West <[cllrwest@woodmancoteparishcouncil.com](mailto:cllrwest@woodmancoteparishcouncil.com)>  
Cc: James Nicholson-Smith <[james@nicholsonsmith.co.uk](mailto:james@nicholsonsmith.co.uk)>  
Subject: Re: 1 Hillview Court - Planning Permission

[Quoted text hidden]

**James Nicholson-Smith** <james@nicholsonsmith.co.uk>

28 August

To: Richard Shortridge <shortridge1980@gmail.com>, Cllr Sarah West <cllrwest@woodmancoteparishcouncil.com>

Dear Richard,

I am back now and can comment more thoroughly.

Poplar Farm is a listed building and the apple orchard which has been removed to make way for the Hillview development supplied the apples for the cider brewery which was originally where Barnstone is today. As such the street view of the thatch barn and the old farm house is a historical asset for the village. This is also on the edge of conservation area.

Woodmancote as a village is characterised by its open and green "semi-rural" feel. This has been greatly assisted by the planning and covenant restrictions across the parish preventing being installed in front gardens.

During the application process the street scene was a particularly important point and maintaining the open and green feel is a priority for the parish council as set out in the Neighbourhood Development Plan. <https://ndp.woodmancoteparishcouncil.com/2023-referendum/>. See paragraph 153 and see Box 8 in paragraph 154. Appendix 5 shows the detailed work in document character assessment of the village. The resulting positive and negative features in Box 8 and 9 are referred to in Policy 9 at the end of that section.

This NDP document guides the views of how Woodmancote Parish Council will respond to a planning application. In essence, if you applied for permission to put a 1.8m fence along New Road would refer to the original application and landscape plan and street scene documents and how these met Policy 9 but a close boarded 1.8m fence would introduce an unwarranted substance that is a listed negative feature in Box 8 of NDP Policy 9 and therefore in conflict.

I would urge you to go to the location linked below. I would draw your attention to the type of security fencing that has been attached to the posts to add security. The native hedge behind years old. The species further up the path is also a native hedge but vigorous growing.

<https://w3w.co/mistaking.impaled.snore>

On the whole Woodmancote is a safe place and crime levels are well below national averages. However burglaries do happen. You will find that most houses have both alarms and external installed. This seems to be a far better deterrent than a fence.

Unfortunately, it is up to the developer to make the own homes they sell "secure" within the confines of the planning permissions granted. If you were unaware of these restrictions when purchased your property and think the property was mis-sold to you then I would suggest that you take this up with Cape Homes. I also think you should check with your solicitor and then by the developers Cape Homes when you purchased the property to see if it was in the paperwork but you missed it. I regret that it is not up to planning authorities to change the planning permissions to help with your perceived security deficiencies.

I am sorry we cannot be more helpful.





950mm post and rail fence and gate

mixed native hedging with edible species: 'gin flavouring' plants planted 5 plants per metre to act as buffer and allowed to grow beyond 1.2m

1.8m timber close boarded fence

stepping stones to garden area

**Box 8: Positive and negative design features in Woodmancote Village**

POSITIVE FEATURES	NEGATIVE FEATURES
<b>ROOFS</b>	
<ul style="list-style-type: none"> <li>• Thatched</li> <li>• Cotswold stone tiles – recovered or new</li> <li>• Slate or artificial slate</li> </ul>	<ul style="list-style-type: none"> <li>• Bright red tiles</li> <li>• Large expanses of Fibreglass Roofing System (GRP) roofing especially when visible from the escarpment</li> <li>• Solar panels that cause glint from the AONB views</li> </ul>
<b>EXTERNAL WALLS AND FINISHES</b>	
<ul style="list-style-type: none"> <li>• Cotswold Stone (real or reconstituted)</li> <li>• Stone coloured render or paint over brick</li> <li>• Dark stained natural cut close board</li> <li>• Stone Quoins Lintels and Cills</li> </ul>	<ul style="list-style-type: none"> <li>• Red brick</li> <li>• Coloured render (other than white)</li> <li>• Pebbledash or other applied texture</li> <li>• Large expanses of glass</li> </ul>
<b>DOORS &amp; WINDOWS</b>	
<ul style="list-style-type: none"> <li>• Timber preferred</li> <li>• Painted timber in heritage colours</li> <li>• Stone lintels, cills and jambs around windows</li> </ul>	<ul style="list-style-type: none"> <li>• Glass balconies</li> </ul>
<b>FENCES AND ENCLOSURES VISIBLE FROM STREET OR FOOTPATHS</b>	
<ul style="list-style-type: none"> <li>• Low Cotswold stone walls</li> <li>• Clipped hedges</li> <li>• Agricultural style gates (wooden, open)</li> <li>• Rubbish bins and other paraphernalia should be well screened behind walls where possible</li> <li>• Access for wildlife</li> </ul>	<ul style="list-style-type: none"> <li>• Any fencing or hedging in front gardens in Britannia Way and Pottersfield estates</li> <li>• Close board modern timber fencing adjacent to the highway or footpaths</li> <li>• Concrete block walls</li> <li>• Chain link fencing</li> </ul>
<b>GARDENS AND PARKING</b>	
<ul style="list-style-type: none"> <li>• Open front gardens where plot size allows to set back the building giving "open and green" feeling to village.</li> <li>• Parking is off street and unobtrusive</li> </ul>	<ul style="list-style-type: none"> <li>• Back garden development such as extensions and conservatories up to the boundaries should be avoided to retain characteristic large back gardens and open and green feel</li> <li>• On street parking where the street scene becomes crowded and closed in.</li> </ul>
<b>SCALE AND MASSING</b>	
<ul style="list-style-type: none"> <li>• Bungalows</li> <li>• Bungalows with dormer loft conversions</li> <li>• Generous spacing between dwellings</li> <li>• Two storey homes in a low density layout with front and rear gardens</li> </ul>	<ul style="list-style-type: none"> <li>• Houses over two storeys are not in character</li> <li>• 3<sup>rd</sup> story dormers are out of character and detract from low profile character</li> </ul>

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<https://w3w.co/mistaking.impaled.snore>

I am away this week but should find time next week.

My initial thoughts are that the planning permission for the development was contentious and went to planning committee.

The conservation area and proximity to the listed building were factors as well as flood risk management and street scene. However, critical to decision to grant the planning permission to 1) maintain the natural perimeter around the development especially adjacent to New Road 2) keeping the development "open and green". Therefore anything that makes the development suburban or reduces surface water attenuation is likely to be opposed.

Therefore, my suggestion would be to look at a more mature natural hedging option in combination with a 3" chicken wire fence on the inside if you have a dog.

Kind regards,

James

Sent from Outlook for Android

**From:** Richard Shortridge <[shortridge1980@gmail.com](mailto:shortridge1980@gmail.com)>  
**Sent:** Monday, August 21, 2023 11:36:13 AM  
**To:** Cllr Sarah West <[cllrwest@woodmancoteparishcouncil.com](mailto:cllrwest@woodmancoteparishcouncil.com)>  
**Cc:** James Nicholson-Smith <[james@nicholsonsmith.co.uk](mailto:james@nicholsonsmith.co.uk)>  
**Subject:** Re: 1 Hillview Court - Planning Permission

Mr Nicholson-Smith

[Quoted text hidden]

[Quoted text hidden]

**Richard Shortridge** <[shortridge1980@gmail.com](mailto:shortridge1980@gmail.com)>  
 To: James Nicholson-Smith <[james@nicholsonsmith.co.uk](mailto:james@nicholsonsmith.co.uk)>

29 August 2023 at 11:02

James

9/26/23, 7:51 PM

Gmail - 1 Hillview Court - Planning Permission

Many thanks for your reply. As I didn't include a plan drawing of the proposed fencing in my email, it appears you may be of the view that I am looking to replace all fencing surrounding the property. However, this is not the case. Our planned proposals relate only to the new road facing rear garden section. To be clear this does not include the front garden section (Approx 17M). As close board fencing to the rear of the property facing Poplar Drive has already been approved and installed as part of the development, I am unclear why this would not be supported? This section of fencing is also highway facing after all.

I understand you are also a resident of New Road so I would ask if you could spare 15 mins so I can explain the plans on site at the property. The Cheltenham Crime Prevention team have today attended the property to carry out a security assessment. Their report which is due this week will be highly critical of the rear garden security with recommendations supporting full height fencing. They do not support a view that CCTV is a better crime prevention solution.

If you can let me know of a convenient time it would be greatly appreciated.. We will delay the submission of the planning proposal until this time.

Thanks

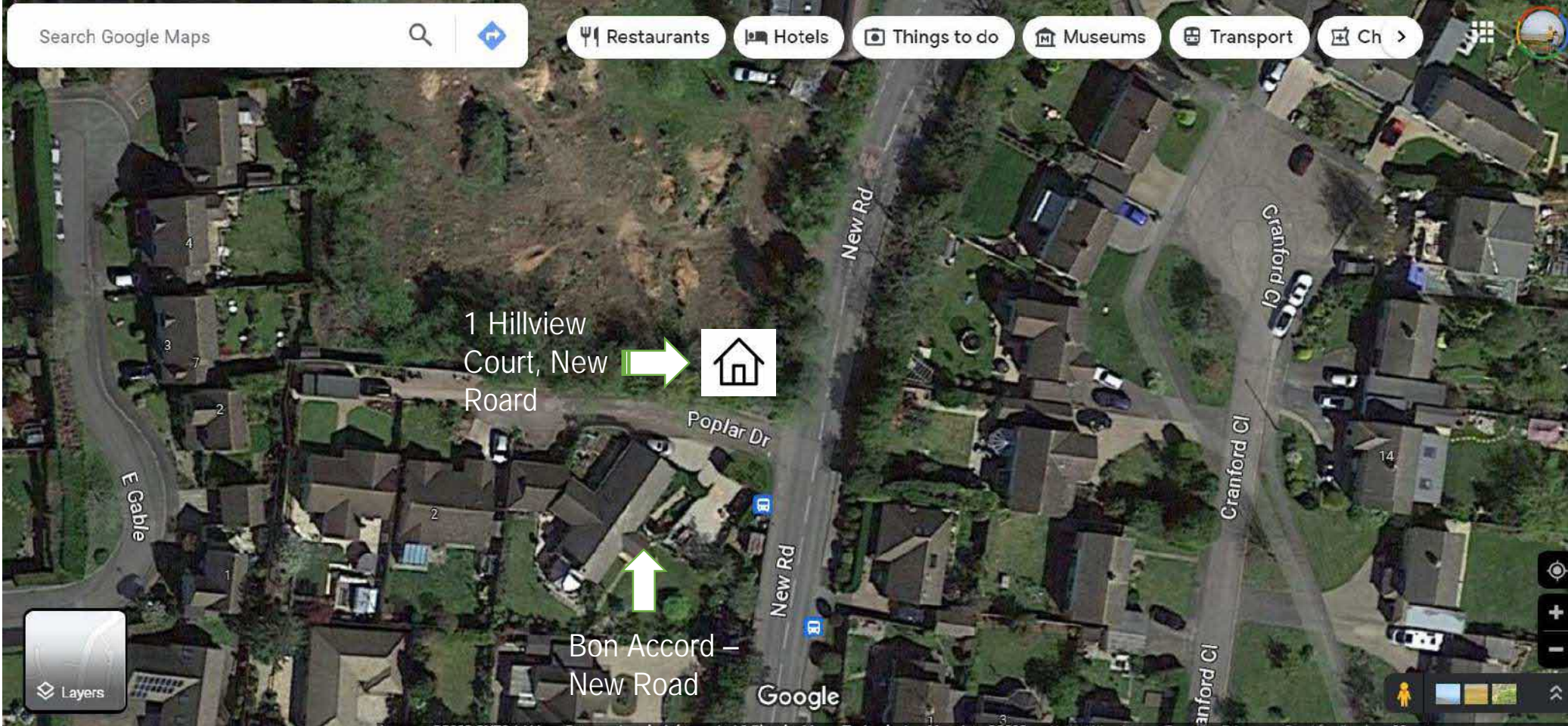
Richard

[Quoted text hidden]

# Appendix Three

Photos of other fencing in proximity to the application site



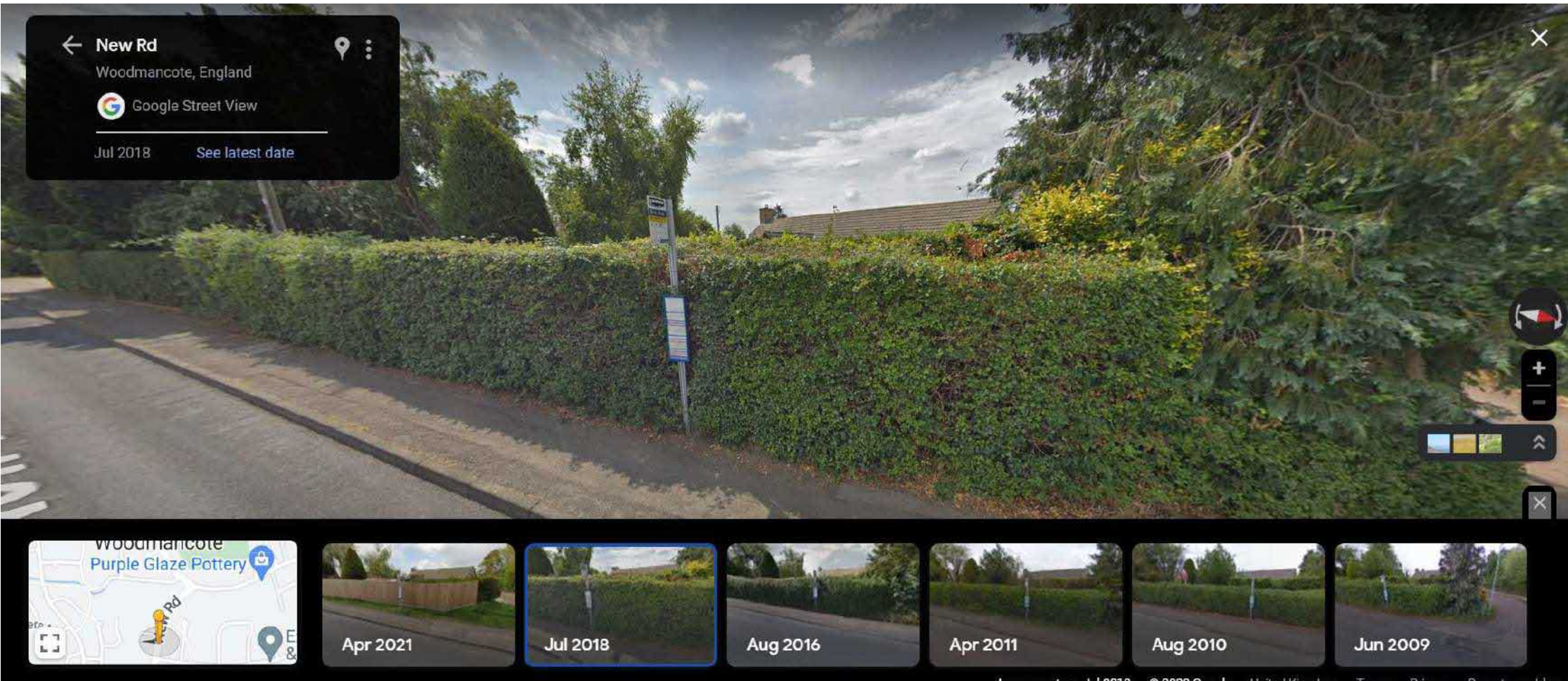


# Bon Accord -New Road (Current)





# Bon Accord –New Road (Planning to change form hedge to fence granted 2018)



Other examples of full height fencing within 2 minswalk of 1 HillviewCourt



← 10 Potters Field Rd

Woodmancote, England



Mar 2023

[See more dates](#)




Expand

Google



← 16 Potters Field Rd

Woodmancote, England

 Google Street View

Mar 2023 [See more dates](#)




 Expand 

Google



← 1 Denham Ct



Woodmancote, England

 Google Street View

Mar 2023

[See more dates](#)




 Expand 

Google


← 19 Potters Field Rd


Woodmancote, England

 Google Street View

Mar 2023

[See more dates](#)




Expand 


← 19 Potters Field Rd

Woodmancote, England

 Google Street View

Mar 2023

[See more dates](#)



Expand




Google



← 27 Apple Tree Cl



Woodmancote, England

 Google Street View

Mar 2023

[See more dates](#)



 Expand 

Google


  
  
  






← 1 New Rd

Woodmancote, England

 Google Street View

Mar 2023

[See more dates](#)



Google



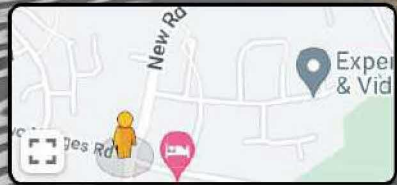
← Two Hedges Rd

Woodmancote, England

Google Street View

May 2021

See more dates



Google

