

Proposed Two Storey Rear Extension, With Internal Alterations at,

LIDEN COTTAGE, LENHAM HEATH ROAD, SANDWAY, KENT, ME17 2NB

+ PLANNING AND CONSERVATION STATEMENT

The following statement has been produced in support of a householder application for the proposed works to the dwelling of Linden Cottage, Lenham Heath Road, Sandway, Kent, ME17 2NB

The proposed works are listed below:

- Two Storey extension,
- Internal Alterations.

Our brief has been to provide a scheme which will provide the property with a modest extension which will be sympathetic to the dwelling and surrounding area.

This supporting document will be illustrating how the requirements and parameters of the proposed works will be met in terms of use, amount of development, layout and scale and describes the design ethos underpinning the scheme.



+ Ref. 1 - Site Location

www.google.com/googlemaps

The site is situated along Lenham Heath Road, which is located within Sandway, a suburb of Lenham, Kent. + ref 1.

Linden cottage sits less than a 5 minutes drive away from the centre of Lenham.

The plot is relatively small in size, with a narrow and long garden at the rear of the dwelling.

On the site of the dwelling is also situated an a small brick outbuilding at the rear of the dwelling located on the right, and at the rear of the dwelling at the back on the garden on your left is a garage, of concrete construction.

The property benefits from off road parking, with a modestly sized driveway.

To the East of the site is the residential dwelling of Rose Cottage, and to the West of the site sits the property of Quince Cottage. The Southern boundary fronts Lenham Heath Road.

The dwelling is visible from Lenham Heath Road with no headerow covering the front of the house. + ref 1.

Surrounding properties are all typically similar footprints, and are finished in a similar mixture of external materials.

The site is located within the Sandway and Lenham Heath Road Conservation Area which was designated in 2006.

The site is not located in an Area of Outstanding Natural Beauty, nor Flood Risk Zone.



+ Ref. 1 - Street Scene of Linden Cottage

www.google.com/googlemaps

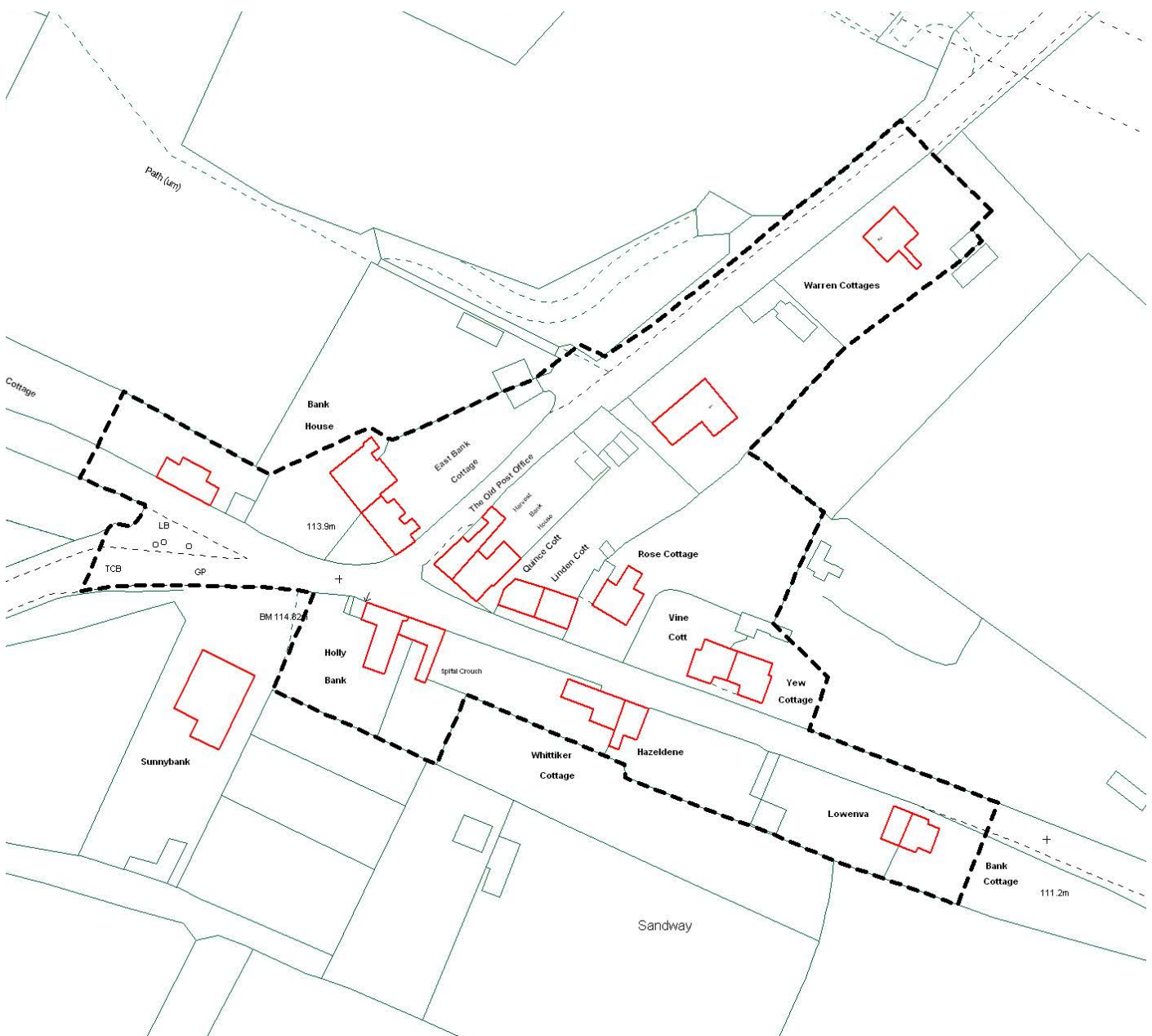
3.0 + CONSERVATION AREA

Linden Cottage is located within the Sandway Conservation Area. This is a triangular shaped area and covers three main streets - Headcorn Road, Lenham Heath road, and Sandway Road. As all of these streets are straight, this gives a linear feel to the Conservation Area with each individual street scene seen largely in isolation.

The Conservation Area is primarily urban in its character, although this does not apply to Lenham Heath Road which is distinctly rural in nature. It is also primarily residential in character.

There is much variety of architectural style and designs throughout the Conservation Area and the state of repair of buildings is generally good. The variety of architectural styles has resulted in variety in the materials used within the Conservation Area. There are examples of red brick buildings, tile hung buildings, stone buildings and some with a mixture of finishes. On roofs, slate and clay tiles are the most common form of material.

This area of Sandway hasn't lost any of its original character due to new developments or modern houses being built around this area.



4.0 + DESIGN

The design is proposed to achieve a sympathetic extension to the existing dwelling, allowing for an open-plan living, dining and kitchen area which sits in line with modern day living standards. The proposed installation of bifolding doors allows for a better connection between the house and garden.

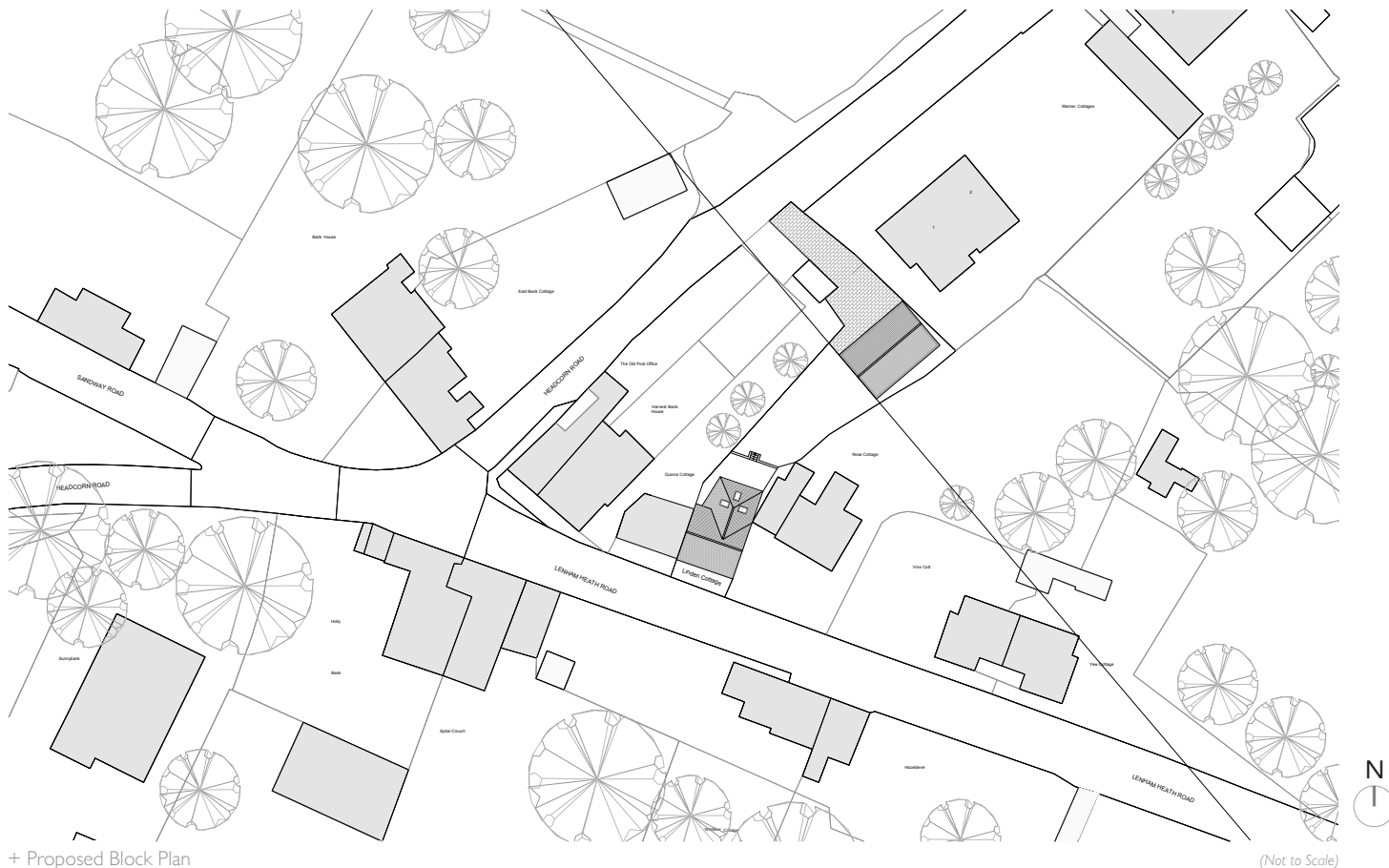
Great care has been taken to ensure the extension is sensitive to Conservation Area, to ensure the sites retains its historic nature.

The four key principles that have driven the proposals are as follows:

- Ensuring the scheme will be sensitive to the Conservation Area in its immediate setting.
- The site retains its historic relationship and building hierarchy.
- To ensure quality design and detailing is adopted throughout the design and construction stage.
- Materials will respect the existing property and surrounding local context.

5.0 + AMOUNT OF DEVELOPMENT

It is believed that the proposed extension to the dwelling sits comfortably within the site and is a suitable sized addition to Linden Cottage. The west wall of the extension follows the line of the boundary to best utilize the space available.



+ Proposed Block Plan

(Not to Scale)

6.0 + APPEARANCE

The palette of materials are as follows:

- Red facing brickwork to match existing
- Slate tiles to match existing
- White timber windows to match existing
- White timber doors to match existing.

7.0 + IMPACT

The proposed two storey extension is a modest and sympathetic addition to the main dwelling. The roof form and overall height of the extension gives the new addition a subservient nature, retaining the dominance of the main dwelling.

By creating this extension, the style of the house will change dramatically and will show a more modern style including the open plan kitchen Dining and living room space.

8.0 + CONCLUSION

In conclusion it is felt the proposals put forward are in line with policies set out and responds positively with the style and character and history of the dwelling and surrounding area.

The extensions relationship with the Conservation Area has been of utmost importance to which the forms, detailing and materials proposed respond to in a well thought out manner.

All features of the existing dwelling will be followed through and reflected within the new works, ensuring building coherency is maintained and more importantly enhanced.

For all reasons set out throughout this document and upon accompanying drawings we believe a scheme which can now be fully supported.