

IMPORTANT
DRAWING TO BE READ IN
CONJUNCTION WITH STRUCTURAL
ENGINEER'S DRAWINGS &
INFORMATION

PLEASE NOTE

Due to the age, materials, construction & layout of existing buildings dimensions and levels may vary according to location. Whilst best efforts are made, wall thicknesses sometimes differ according to height & walls which are not straight & may 'bend' mid-run. Also due to slightly sloping ceilings/floors, clear heights may differ dependant on where existing measurements are taken.

This drawing and the works depicted are the copyright of Design and Planning Associates Ltd (DPA) and may only be reproduced with written permission. No alteration to the design or specification in part or whole to be made without the written approval of DPA.

All dimensions and levels depicted are subject to checking and verified on site prior to construction. Any discrepancies are to be immediately notified to DPA. Figured dimensions to be used only.

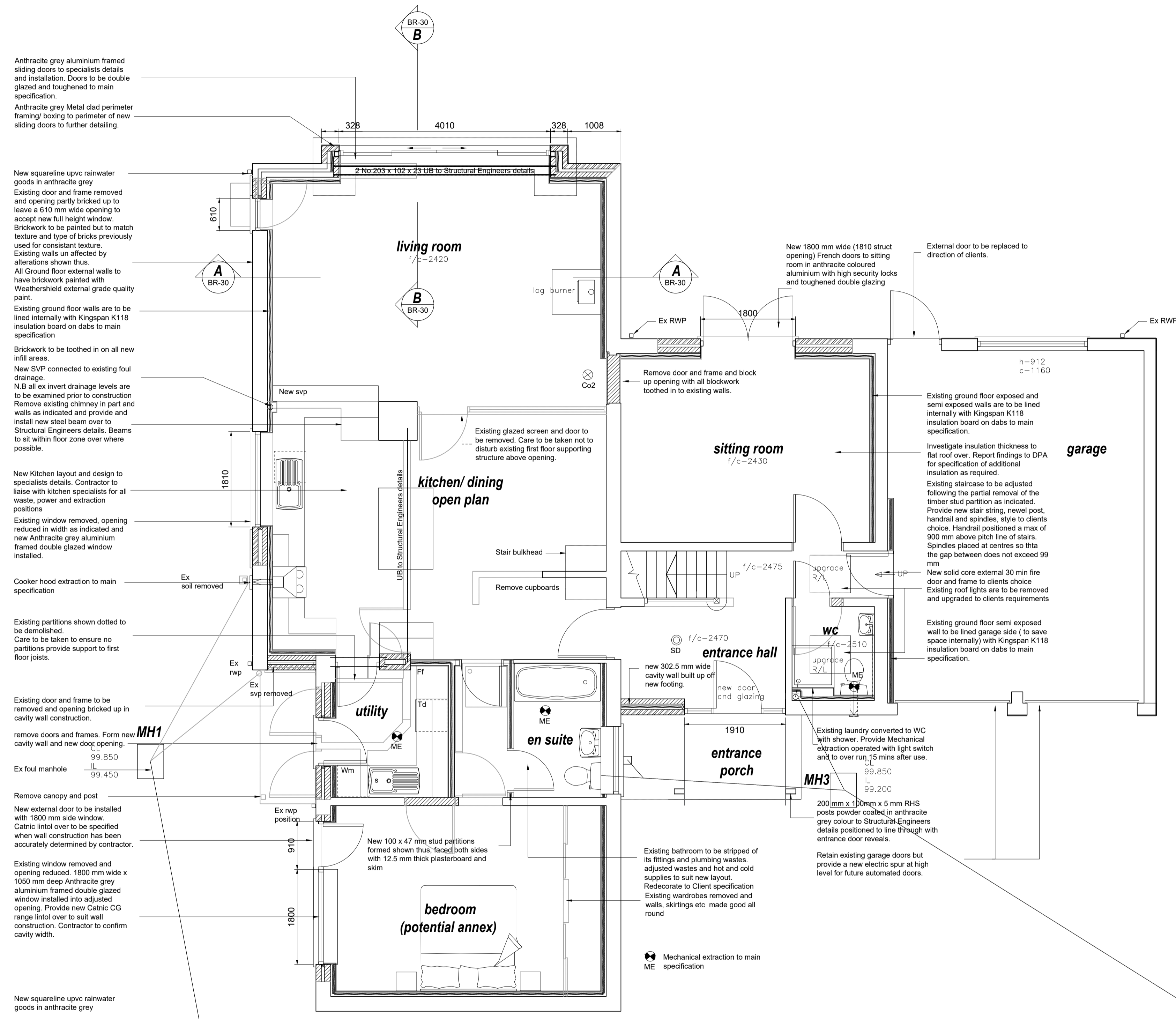
The information contained in this drawing must only be used at the named location. The location of any services indicated on this drawing are approximate only and must be checked on site by the main contractor before commencing works.

Client/Contractor is to be responsible for locating any underground services.

CDM Regulations - Where applicable the designers hazard identification sheets to be read in conjunction with all consultants drawings, specifications and existing record drawings. It is considered that a competent contractor will be able to identify hazards associated with the project from the information above, and take the necessary precautions to deal with any risks to health and safety. CDM - for the avoidance of doubt the Principal Contractor is reminded that he is fully and solely responsible for the day-to-day management of site safety.

Compliance with the construction design and management regulations (CDM) is the sole responsibility of the client unless we are otherwise instructed in writing.

CONSTRUCTION NOTES GENERALLY:
Notwithstanding anything contained in this document or any other document forming part of the basis of the works every aspect of the works/installation is to comply with all requirements and all recommendations of all relevant Associations, Manufacturers, BRE Digests, British Standards, Codes of Practice, Building Regulations, Bye-Laws, Acts, Regulations, Planning Authority, Environmental Health Department, Fire Authorities, Water Authorities, Gas Authority, Electricity Authority, Institute of Heating and Ventilating Engineers and IEE Regulations.



Anthraxite grey aluminium framed sliding doors to specialists details and installation. Doors to be double glazed and toughened to main specification.
Anthraxite grey Metal clad perimeter framing boxing to perimeter of new sliding doors to further detailing.

New squareline upvc rainwater goods in anthracite grey
Existing door and frame removed and opening partly bricked up to leave a 610 mm wide opening to accept new full height window. Brickwork to be painted but to match texture and type of bricks previously used for consistent texture. Existing walls un affected by alterations shown thus. All Ground floor external walls to have brickwork painted with Weathershield external grade quality paint.
Existing ground floor walls are to be lined internally with Kingspan K118 insulation board on dabs to main specification
Brickwork to be toothed in on all new infill areas.
New SVP connected to existing foul drainage. N.B all ex invert drainage levels are to be examined prior to construction Remove existing chimney in part and walls as indicated and provide and install new steel beam over to Structural Engineers details. Beams to sit within floor zone over where possible.

New Kitchen layout and design to specialists details. Contractor to liaise with kitchen specialists for all waste, power and extraction positions
Existing window removed, opening reduced in width as indicated and new Anthracite grey aluminium framed double glazed window installed.

Cooker hood extraction to main specification
Ex soil removed

Existing partitions shown dotted to be demolished. Care to be taken to ensure no partitions provide support to first floor joists.

Existing door and frame to be removed and opening bricked up in cavity wall construction.
remove doors and frames. Form new cavity wall and new door opening.
Ex foul manhole

Remove canopy and post
New external door to be installed with 1800 mm side window. Catic lintol over to be specified when wall construction has been accurately determined by contractor.

Existing window removed and opening reduced. 1800 mm wide x 1050 mm deep Anthracite grey aluminium framed double glazed window installed into adjusted opening. Provide new Catic CG range lintol over to suit wall construction. Contractor to confirm cavity width.

New squareline upvc rainwater goods in anthracite grey

GROUND FLOOR PLAN
1:50@A1

Additional total floor area created - 42sqm



Scale bars for information only and not for construction

NOT APPROVED FOR CONSTRUCTION

rev	description	date	author	checked
C	further cost review amendments	28/11/23	JM	-
B	further cost review amendments	11/05/23	GP	-
A	cost review amendments	05/04/23	GP	-

PLANNING

client
MR & MRS K EDWARDS

project
PROPOSED ALTERATIONS TO 1 CROSWYLAN CLOSE OSWESTRY SY10 9PS

drawing
GROUND FLOOR PLAN AS PROPOSED

project no.
23004

date
01/23
drawn
JMc

scale
1:50@A1
1:100 @A3

drawing no.
P-10

revision
C

GROUND FLOOR PLAN AS PROPOSED

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