

**IMPORTANT**  
DRAWING TO BE READ IN  
CONJUNCTION WITH STRUCTURAL  
ENGINEER'S DRAWINGS &  
INFORMATION

**PLEASE NOTE**

Due to the age, materials, construction & layout of existing buildings dimensions and levels may vary according to location. Whilst best efforts are made, wall thicknesses sometimes differ according to height & walls which are not straight & may 'bend' mid-run. Also due to slightly sloping ceilings/floors, clear heights may differ dependant on where existing measurements are taken.

This drawing and the works depicted are the copyright of Design and Planning Associates Ltd (DPA) and may only be reproduced with written permission. No alteration to the design or specification in part or whole to be made without the written approval of DPA.

All dimensions and levels depicted are subject to checking and verified on site prior to construction. Any discrepancies are to be immediately notified to DPA. Figured dimensions to be used only.

The information contained in this drawing must only be used at the named location. The location of any services indicated on this drawing are approximate only and must be checked on site by the main contractor before commencing works.

Client/Contractor is to be responsible for locating any underground services.

CDM Regulations - Where applicable the designers hazard identification sheets to be read in conjunction with all consultants drawings, specifications and existing record drawings. It is considered that a competent contractor will be able to identify hazards associated with the project from the information above, and take the necessary precautions to deal with any risks to health and safety.

CDM - for the avoidance of doubt the Principal Contractor is reminded that he is fully and solely responsible for the day-to-day management of site safety.

Compliance with the construction design and management regulations (CDM) is the sole responsibility of the client unless we are otherwise instructed in writing.

**CONSTRUCTION NOTES GENERALLY:**  
Notwithstanding anything contained in this document or any other document forming part of the basis of the works every aspect of the works/installation is to comply with all requirements and all recommendations of all relevant Associations, Manufacturers, BRE Digests, British Standards, Codes of Practice, Building Regulations, Bye-Laws, Acts, Regulations, Planning Authority, Environmental Health Department, Fire Authorities, Water Authorities, Gas Authority, Electricity Authority, Institute of Heating and Ventilating Engineers and IEE Regulations.

Existing opening utilised, window removed and external wall construction reduced to fit. Install new aluminium framed, thermally broken French doors and side lights with glass ballustrading fixed externally.

Glass ballustrade fixed to existing wall in accordance with Structural Engineers details. Top of glass to be positioned at 1100 mm above flt of bedroom

outline of fascia position. Form new gable ladders as required to ensure a min 250 mm overhang to both gables. Min overhang to eaves to be 250 mm.

Existing stud partition to be removed and pushed outwards as per bathroom and bedroom 2. Check wall does not provide any support to existing roof structure over prior to removal.

Kingspan KS1000RW insulated roof panels to new roof covering with integrated Velux window 780mm wide x 1140 mm deep. (Alternative size to consider = 980 mm wide x 1600mm deep) position of panels / velux to be determined from the multiple of panel widths form the newly formed gable overhang.

External wall below 100 x 100 mm square post located under purlin positions see Structural Engineers details

New Soil stack with cranked vent to terminate a min of 900 mm above any roof light opening. Concealed w.c cistern to bathroom specialists design.

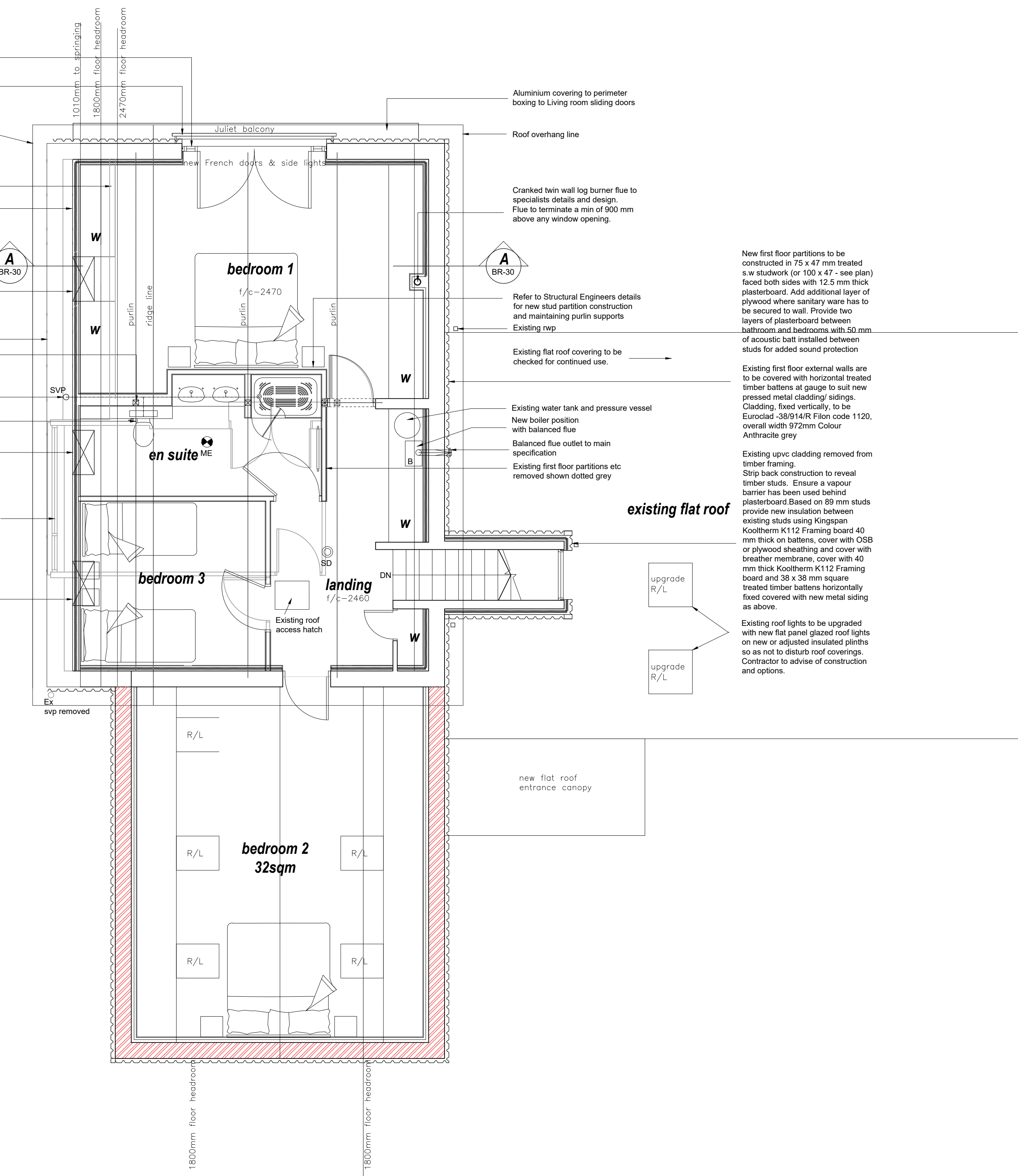
Kingspan KS1000RW insulated roof panels with integrated Velux window 780mm wide x 1140 mm deep. (Alternative size to consider = 980 mm wide x 1600mm deep)

Existing dormer window construction to be removed completely. Replace rafters, trimmed out ready to receive KS1000RW roof panels with integrated roof light/s as indicated.

Kingspan KS1000RW insulated roof panels with integrated Velux window 780mm wide x 1140 mm deep. (Alternative size to consider = 980 mm wide x 1600mm deep)

⊙ Smoke detector  
SD Smoke detector  
ME Mechanical extraction

Remove existing window and replace with new anthracite coloured aluminium framed double glazed window split as before to receive new partition behind.

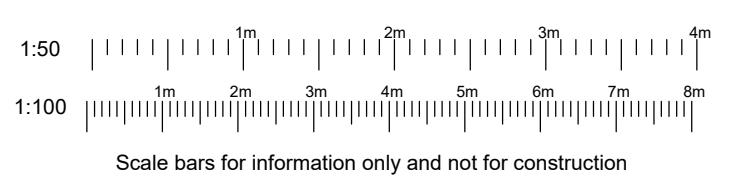


New first floor partitions to be constructed in 75 x 47 mm treated s.w studwork (or 100 x 47 - see plan) faced both sides with 12.5 mm thick plasterboard. Add additional layer of plywood where sanitary ware has to be secured to wall. Provide two layers of plasterboard between bathroom and bedrooms with 50 mm of acoustic batt installed between studs for added sound protection

Existing first floor external walls are to be covered with horizontal treated timber battens at gauge to suit new pressed metal cladding/ sidings. Cladding, fixed vertically, to be Euroclad -38/914/R Filon code 1120, overall width 972mm Colour Anthracite grey

Existing upvc cladding removed from timber framing. Strip back construction to reveal existing studs using Kingspan Kooltherm K112 Framing board 40 mm thick on battens, cover with OSB or plywood sheathing and cover with breather membrane, cover with 40 mm thick Kooltherm K112 Framing board and 38 x 38 mm square treated timber battens horizontally fixed covered with new metal siding as above.

Existing roof lights to be upgraded with new flat panel glazed roof lights so as not to disturb roof coverings. Contractor to advise of construction and options.



**NOT APPROVED FOR CONSTRUCTION**

rev	description	date	author	checked
C	amended to client comments	29/11/23	JM	-
B	amended to client comments	13/04/23	GP	-
A	cost review amendments	05/04/23	GP	-

**PLANNING**

client  
**MR & MRS K EDWARDS**

project  
**PROPOSED ALTERATIONS TO 1 CROSWYLAN CLOSE OSWESTRY SY10 9PS**

drawing  
**PROPOSED FIRST FLOOR PLAN**

project no.  
**23004**

date  
01/23  
drawn  
JMc

scale  
1:50@A1  
1:100 @A3

drawing no. **P-11** revision **C**

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**FIRST FLOOR PLAN AS PROPOSED**