

Design and Access Statement

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Report
Design and Access Statement

File Name
041_R_002

Project
25 Rye Road, London SE15 3AX

Client
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Revision
-

Purpose of Issue
Planning

This document is designed to be read in conjunction with the drawings also issued as part of this application for Householder Planning Permission.

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1.0 Introduction

1.1 Summary of proposals

This Design and Access Statement has been prepared in support of a submission for Householder Planning Permission to the Local Planning Authority. It covers the refurbishment of the dwelling alongside a modest single-storey rear extension and dormer window at roof level.

The property is currently a single residential dwelling and would remain so after the proposed works were completed.

1.2 Architect Benjamin Machin

The works to 25 Rye Road will be overseen by Architect Benjamin Machin throughout the construction process, ensuring a carefully detailed and well finished building and landscape.

Working from the studio in London, our work is defined by a sensitivity to context and experience, with projects across a range of scales, locations and typologies informed by careful study of the found people and place.

The studio is an RIBA Chartered Practice and are registered with the Architects Registration Board. We are signatories of both Architects Declare and the RIBA 2030 Climate Challenge.

1.3 Site address

25 Rye Road, London SE15 3AX

1.4 Supporting documents

The proposals have been developed in accordance with the following documents:

- 2015 Technical Update to the Residential Design Standards (2011)
- The London Plan 2021 D12 (Fire safety), D3 (Optimising site capacity through the design-led approach)

1.5 Previous planning applications at the site

No previous planning applications are held on record for the site.

2.0 Existing building, site and context

2.1 Existing context



Aerial photograph

 25 Rye Road

25 Rye Road
(application site)



Google Street View of Rye Road looking east

25 Rye Road
(application site)



Google Street View of Rye Road looking west



Google Street View of Rye Road



Photograph of existing building



Photograph of existing building



Photograph of existing building



Photograph of existing rear garden

2.2 Existing building form, mass and detail

The existing building is a two-storey end-of-terrace house with direct access to the rear garden from the street. The building has been adapted since it was originally constructed during the early twentieth century. The most evident adaptation to the building is the rooflight to the roof and the blocking up of a former window opening in the side elevation.

Both elevations of the property are finished with a facing stock brick which is partly covered in white paint with a varied collection of opening details (window and door surrounds and headers).

The building's original windows and doors appear to broadly maintain the same locations and proportions, with original sash windows extant.

Both the front and rear elevations feature an arrangement of components that form a continuation of those found in neighbouring properties and could be said to contribute to the 'street scape'. These elements include the large arched openings of the windows and the triangulated gables facing the street. The roofs are finished with a dark clay tile with chimneys faced in the a yellow stock brick and topped with red clay chimney pots.

2.3 Existing building condition

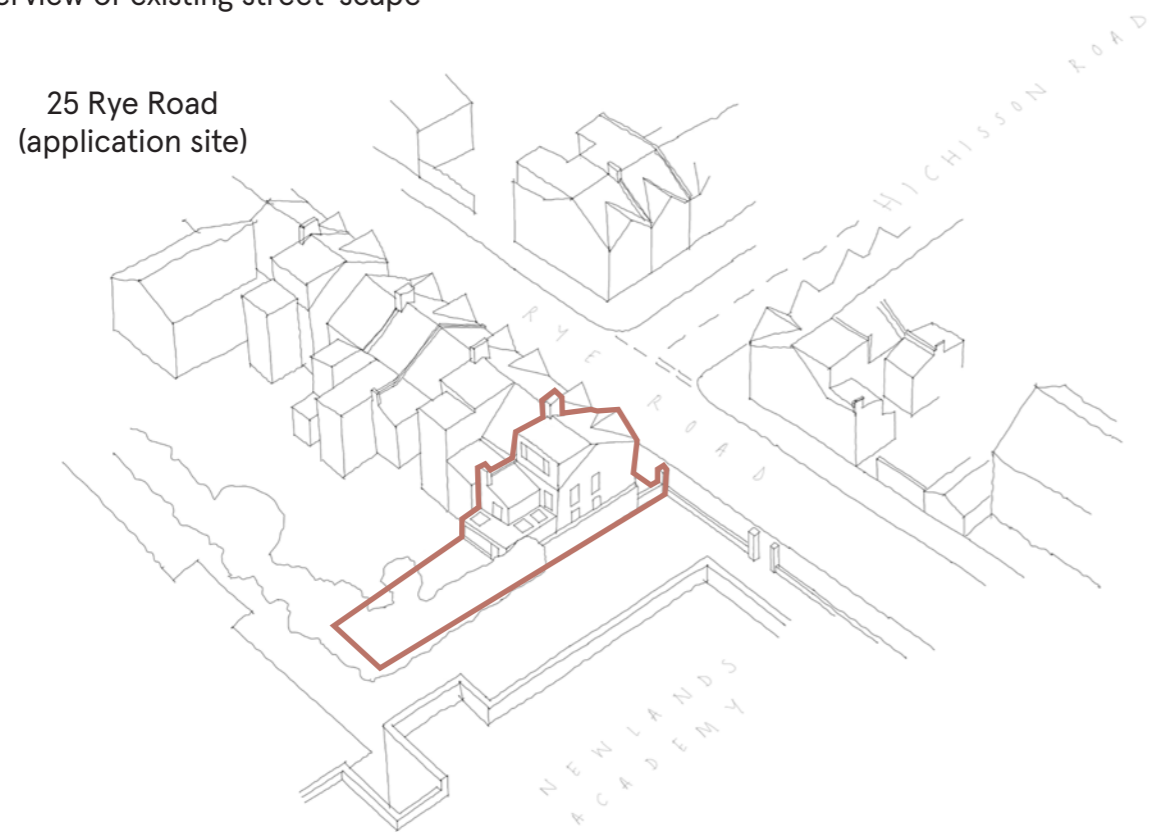
The building is structurally sound, but shows signs of damage largely due to water ingress that have not been sufficiently dealt with in the past, leading to internal moisture damage.

Finishes and materials are generally in need of making good and refurbishment and show a poor level of ongoing maintenance.

3.0 Design Statement



Sketch overview of existing street-scape



Sketch overview of proposed street-scape

3.1 Design approach

The general design approach at the project can be summarised as;

- a series of internal rearrangements that make the spaces within the dwelling more accessible and adaptable for the building's owners.
- refurbish previously unused areas of the building to maximise the space available within the property.
- introduce a new single-storey extension to the rear elevation which is sympathetic to the original dwelling alongside further alterations to the rear facade in order to bring the house into a carefully considered whole.
- introduce a new rear dormer window with the ridge raised to enable the new loft room for a growing family.

3.2 Proposed form, mass and detail

The proposals at 25 Rye Road respond thoughtfully to the extant form and mass of the original dwelling and to the advice outlined in the Residential Design Standards Supplementary Planning Document (Southwark Council).

Each element has been conceived and honed towards creating a contemporary family home whilst respecting the surrounding built environment's character and scale.

Rear Extension

Chapter 4.2.3 of the Alterations and Extensions Adopted April 2019 (SPD) states that:

'Rear extensions should generally not be more than 3m deep for terraced or semi-detached properties.'

The proposed rear extension presents a characterful form to the rear garden. The extents of the extension matches the depth of extensions permitted and built along Rye Road at 3m in depth from the rear wall of the existing outrigger, whilst extending to the side of the outrigger also – but importantly not beyond the existing side wall of the main house and respecting the historic pattern of the surrounding area.

The proposals retain and refurbish existing features that are important elements in the townscape and contribute to the architectural integrity of proportions.

The Supplementary Planning Document states that:

'3 metres is usually the maximum depth that can be added without harm to neighbours and preventing a feeling of enclosure.'

Should not exceed 3 metres in height to prevent a feeling of enclosure.'

The proposed rear extension has a parapet height of 2.9m from the finished floor level of the adjacent dwelling's external terrace.

An intensive green roof provides insulation from direct solar heating, improves the immediate ecology and contributes to sustainable urban drainage (meaning the development is a net increase of SUD over the existing house) as well as being visually pleasing to look out on. Existing sash windows will be replaced with double-glazed timber sash windows and the rest of the property improved for air-tightness and insulation retro-fitted where possible.

Roof Extension

The property itself would benefit from permitted development rights for a rear dormer and front rooflights.

Within the street scene and wider scene in general there are numerous large rear dormers that have been developed under householder planning applications and PD rights.

While Southwark's residential design standards have been considered, the dormer would be only partially visible from the street and importantly therefore would not be detrimental to the character of the house nor the wider area, particularly in the context of the large adjacent school buildings, whilst meeting requirements of the London Plan.

The raising of the ridge is required to create a habitable space within a C3 use property. A flat roof would be necessary in order to keep the required ridge line heightening to a minimum and not cause a detrimental change to the street scene.

The proposal is not out of character to the area, with materials either matching many of the converted roof spaces along Rye Road or chosen for their environmental credentials.

The proposed scheme has been thoughtfully conceived and honed towards an architecture that is sympathetic to the original dwelling and also the wider street-scape, which has been studied carefully.

Consented applications to raise the roof ridge can be found at:

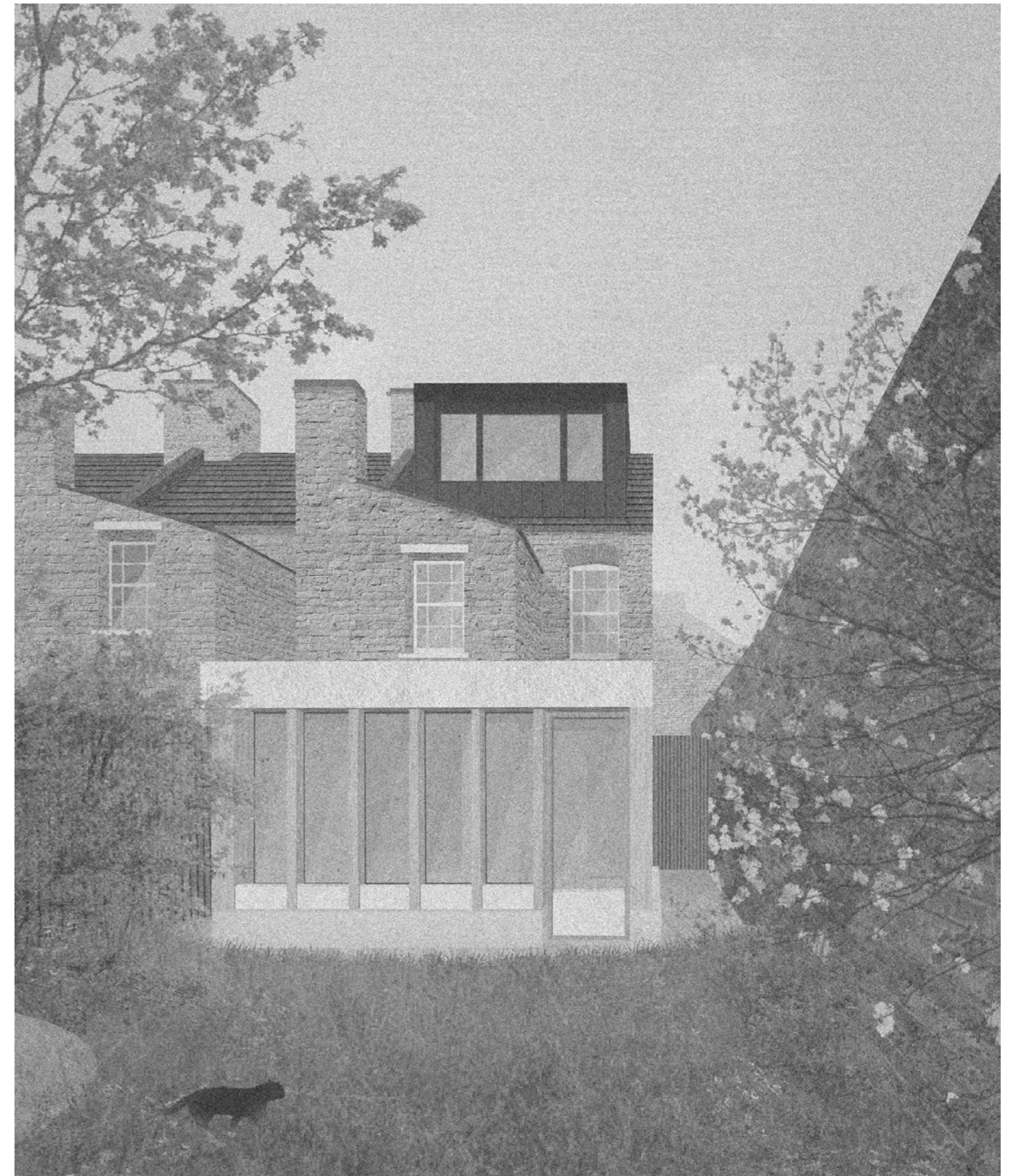
- Ref. No: 20/AP/1299 – Raise Roof Ridge by 200mm – 81 Stuart Road
- Ref. No: 19/AP/6030 – Raise Roof Ridge by 200mm – 79 Stuart Road
- Ref. No: 22/AP/1160 – Raise Roof Ridge by 200mm – 73 Stuart Road
- Ref. No: 21/AP/1610 – Raise Roof Ridge by 200mm – 67 Stuart Road
- Ref. No: 22/AP/0970 – Raise Roof Ridge by 450mm – 25 Hichisson Road
- Ref. No: 19/AP/0522 – Raise Roof Ridge by 225mm – 43 Hichisson Road
- Ref. No: 20/AP/3766 – Raise Roof Ridge by 300mm – 56 Surrey Road
- Ref. No: 21/AP/3368 – Raise Roof Ridge by 410mm – 139 Ivydale Road
- Ref. No: 21/AP/2657 – Raise Roof Ridge by 450mm – 181 Ivydale Road
- Ref. No: 21/AP/2624 – Raise Roof Ridge by 450mm – 1st Floor, 336 Ivydale Road
- Ref. No: 21/AP/3346 – Raise Roof Ridge by 400mm – 185 Ivydale Road
- Ref. No: 21/AP/3234 – Raise Roof Ridge by 400mm – 60 Ivydale Road
- Ref. No: 21/AP/3233 – Raise Roof Ridge by 400mm – 61 Ivydale Road
- Ref. No: 19/AP/0522 – Raise Roof Ridge by 225mm – 43 Hichisson Road



Aerial photograph of extant roof extensions at Rye Road



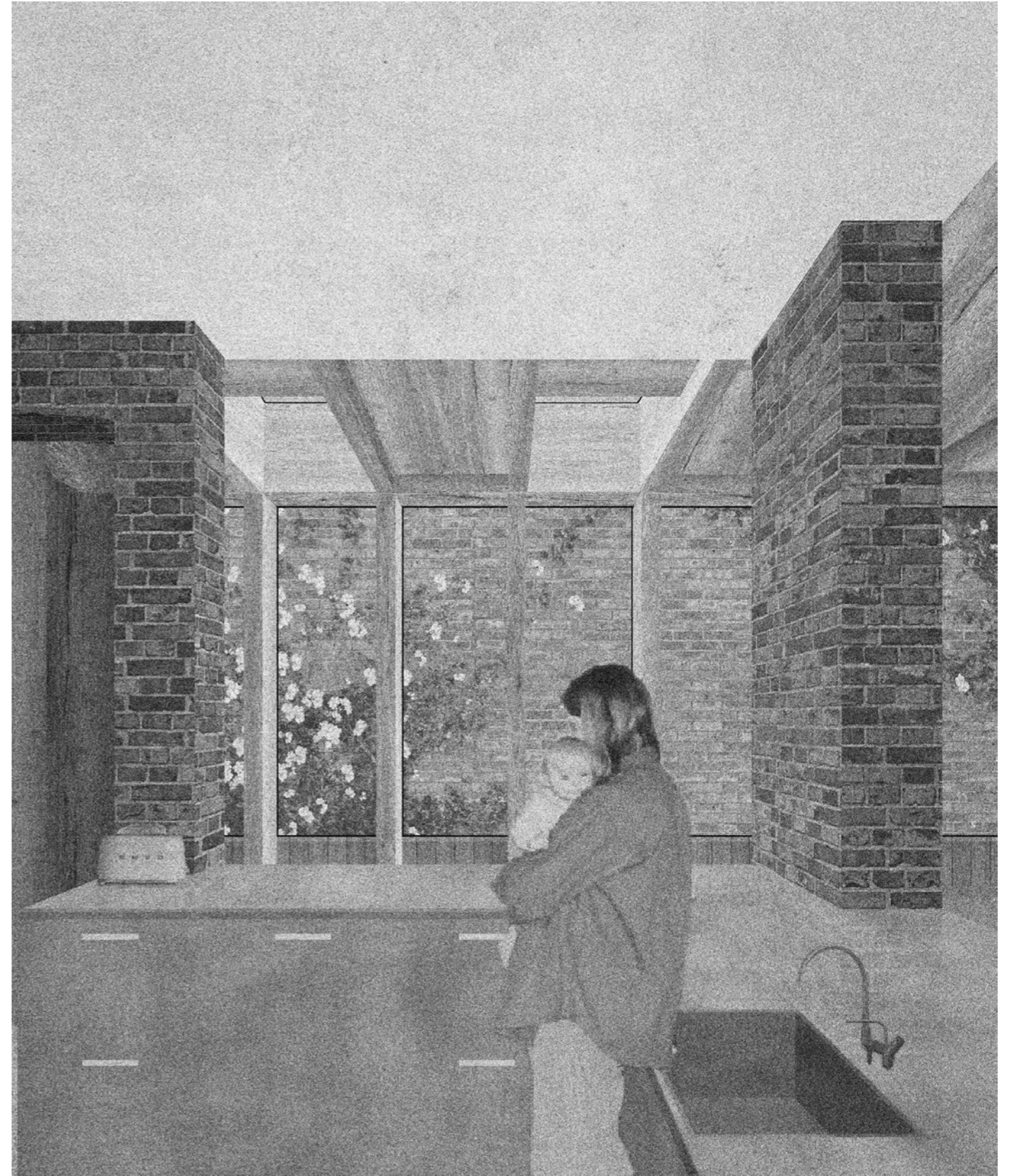
Photograph of extant roof extensions at adjacent dwellings along Rye Road



Collage of proposed view from rear garden



Collage of proposed view from kitchen looking out to rear garden



Collage of proposed view from kitchen looking out to retained side passage

3.3 Materials

The proposals at 25 Rye Road will specify the highest quality facing materials. All materials will be selected carefully for their look and feel and their ecological credentials. The construction process will be overseen by Architect Benjamin Machin to ensure a high-quality detailed design and build process.



Timber dormer material reference



Timber dormer material reference



Timber board material reference



Timber board material reference



Proposed front elevation of 25 Rye Road



Proposed rear elevation of 25 Rye Road

- 01 Existing brick
- 02 Timber framed door
- 03 Timber framed window
- 04 Timber cladding
- 05 Existing clay tile
- 06 Existing timber framed window
- 07 Timber framed rooflight
- 08 Concrete plinth

4.0 Access Statement

4.1 Access

The ambition for the project is that everyone can get to and move through the house on equal terms regardless of age or disability.

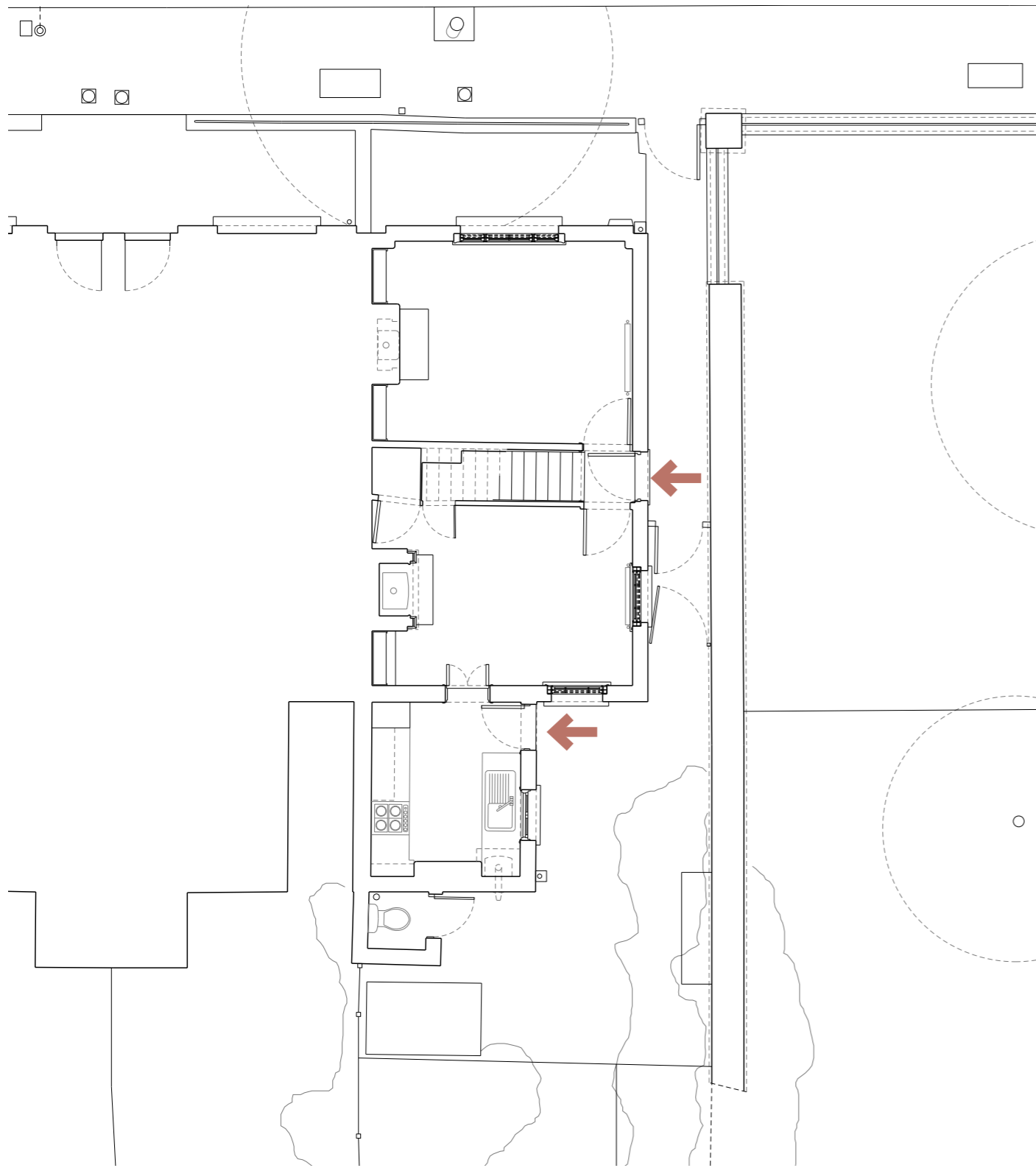
The proposed changes will increase accessibility to the property by proposing a simplified route through the house and into the garden beyond. The rear doors leading from the garden to the living room are enlarged and aim to future-proof the building as the occupants grow older.

The internal levels at the main ground floor are not proposed to be altered with the extended outrigger's ground level lowered by 300mm.

The internal levels at first floor are not proposed to be altered.

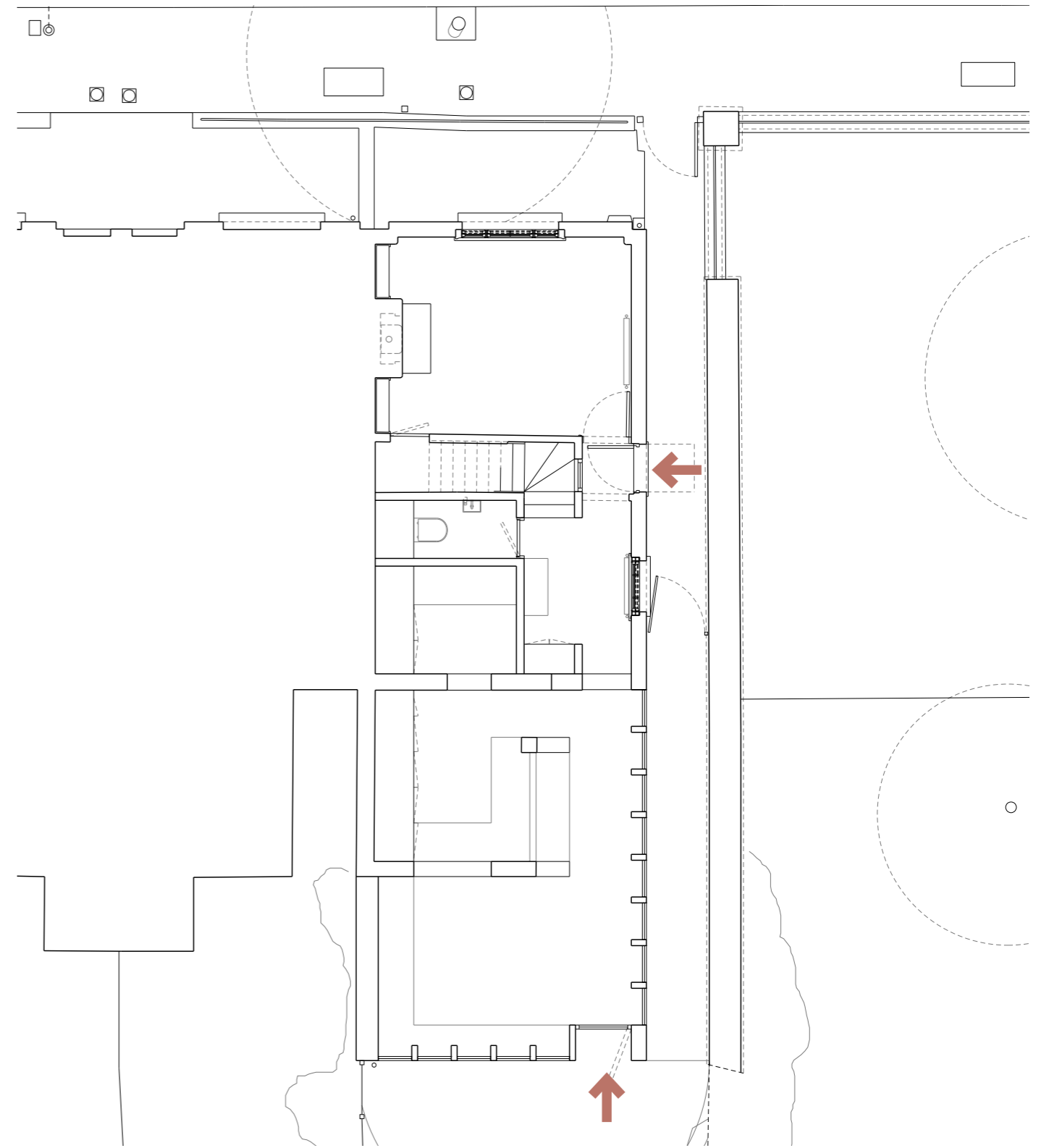
The internal levels at second floor are not proposed to be altered.

No vehicle access points or routes are proposed to be altered.



Existing ground floor plan

↓ External access



Proposed ground floor plan

↓ External access



