

201 East Dulwich Grove
Design and Access Statement
Heritage Statement
December 2023





Existing Side Elevation and garage elevation from Gilkes Crescent



Existing Front Elevation



Existing Side Door and Windows



Existing Rear Elevation



Existing Side Elevation of garage

1. Introduction

201 East Dulwich Grove is a 4 bedroom detached house set on a corner plot, with a large rear garden and detached garage. The house is not listed but is located in the Dulwich Village Conservation Area.

The proposals include; removing the existing conservatory, constructing a new single storey rear extension, enclosing the existing porch and converting the loft space with a dormer roof extension and new skylights. The proposals also include extending the garage.

2. Use

The use of the property will remain as existing, a domestic house.

3. Amount

The property has a gross internal area (GIA) of 189m². The proposed ground floor extension, porch enclosure and loft conversion would add 38m² giving a total GIA of 227m².

The existing garage has a GIA of 18m². The front and side extension to the garage would enlarge the garage to an area of 31m².

4. Layout

The existing house has an ageing conservatory. The proposals are to remove this and construct a new rear extension to create an open plan kitchen diner, which opens out to the garden.

The house also has a large covered porch area. The proposal is to move the front door to the front of this porch, and enclose the space to make it a usable entrance lobby.

At first floor, minor internal alterations will be made to remove and refurbish bathrooms.

There is a large existing loft space, which we propose to convert to a bedroom and ensuite bathroom. A new dormer window to the rear roof slope will allow for additional head height to the rear loft space.

The existing garage is in a poor state and in urgent need of repair. The proposal is to enlarge the garage to the front and side, to create a garden studio space accessed from the garden and a store accessed from Gilkes Crescent.

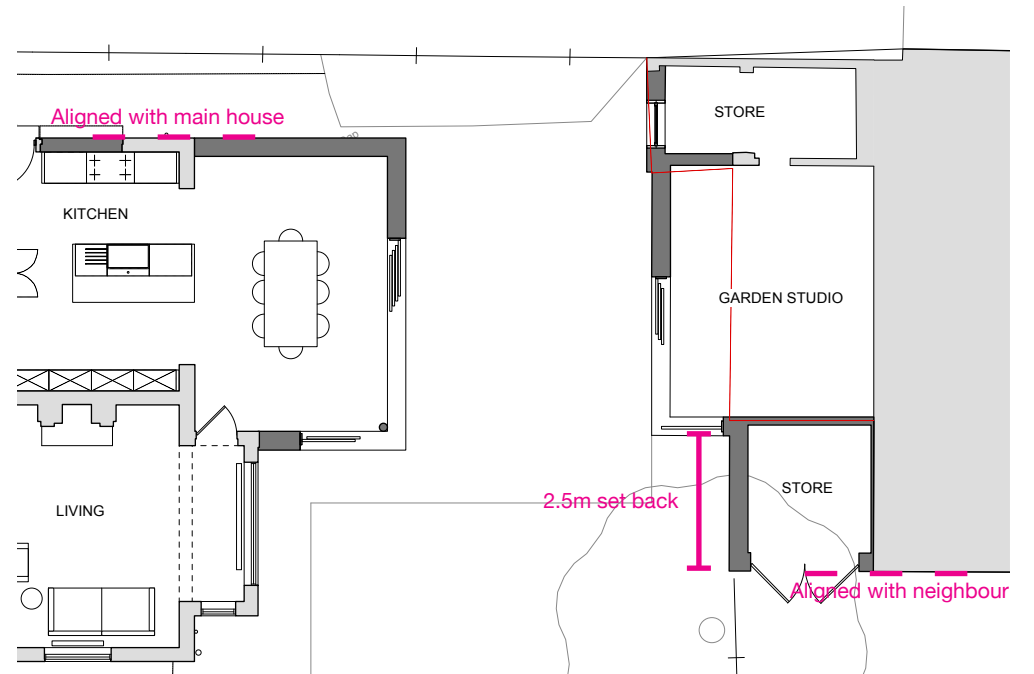
5. Scale

The scale of the proposed single storey rear extension is suitable for the size of the existing building and retains ample external amenity space.

The new single storey extension has a flat green roof, with the top of the parapet sitting at 3.45m. The extension is 4m deep and it's northern edge aligns with the side of the main house. The southern edge of the extension adjoins the rear bay in the same position as the existing conservatory.

The dormer window to the rear roof slope is small in scale, and reflects that approved at the neighbouring property, 199 East Dulwich Grove. It is proposed to remove the rear chimney, again as approved at the neighbouring property.

The garage will be enlarged to the front, to align with the neighbouring garage. It will also be enlarged to the side to create a small garden studio space. The height of the garage will remain as existing. The rear section of the garage, which adjoins the boundary with 199 EDG will have a replacement roof installed, but remain the same in size.



Proposed ground floor extensions

6. Appearance

The new rear extension will be constructed from long format bricks, to pick up the tile detail which runs up the corners of the existing house. It will have a flat green roof and large powder coated aluminium sliding doors, which open the extension up to the garden. A long skylight will bring light into the kitchen area.

The dormer window will be clad in lead.

The new front door will be painted timber and match the style of the existing front door, to ensure the character of the house is retained.

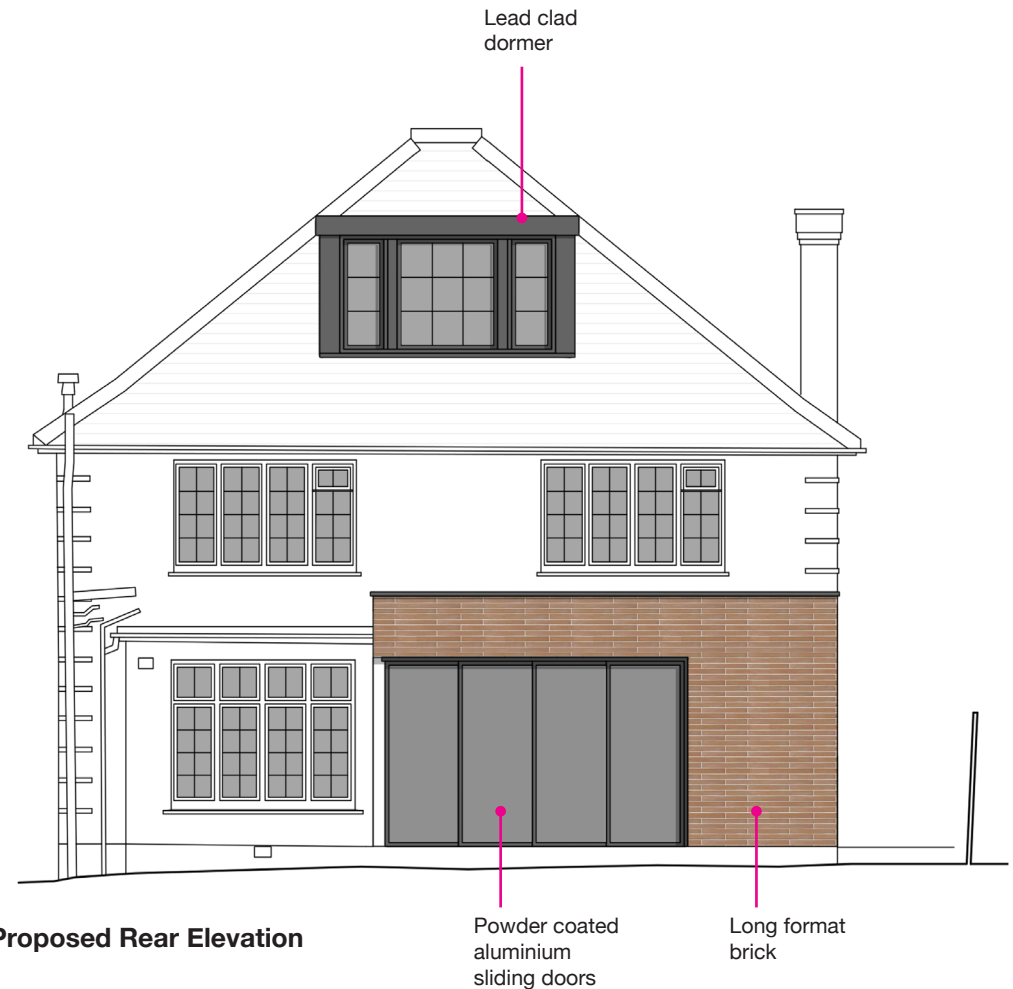
The extensions to the garage will be constructed to match the existing garage, to ensure there is minimal change to the streetscape of the Conservation Area. The existing brick detailing to the garage street elevation will be replicated and the new garage doors will be painted timber. The new doors to the garden studio will be aluminium to match the house extension.

7. Access

The access to the house will remain as existing.

8. Conclusion

We feel that the proposed extensions will compliment and enhance the existing house and have minimal effect on any neighbouring properties or the conservation area. The proposals would greatly enhance the house and allow it to accommodate the growing spatial needs of the owners.



Heritage Statement

Background

201 East Dulwich Grove is located in the Dulwich Village Conservation Area. According to historic maps, 201 East Dulwich Grove was constructed in the 1940's. The property sits on a red brick plinth, with the upper portion of the house rendered in white pebble dash. It has red brick detailing around the front door, red tile details to the corners and a tiled roof. It is similar in appearance to and in keeping with the surrounding properties.

The property itself does not have a great deal of significance, but its significance lies in its location and inclusion in the Dulwich Village Conservation Area.

Impact

Rear extension - the rear extension is single storey and small in scale. Due to its location at the rear of the property, it will have little effect on the setting of the conservation area. The extension will be of high quality and replace an ageing conservatory. It will therefore enhance the property itself.

Dormer window - the dormer window is located on the rear roof slope of the property. Although visible from the street, it will be small in scale and clad in lead. Its design will be in keeping with the host property. Similar dormer windows are already located on the rear elevations of the adjacent property, no. 199 East Dulwich Grove, and no. 207 East Dulwich Grove - both also visible from the street. The proposed window will therefore not form a new or incongruous roof form, rather reflect that of its setting and surrounding conservation area.

Porch - the new front door will be located at the front of the existing porch area. It will have a traditional design to match the existing door, and be constructed from timber with glazed panels. The surrounding conservation area has a number of different front door and porch designs. Some have existing recessed porches, while others have front doors in line with the front of the property. As such, the proposed front door will remain in keeping with the host property and have minimal impact on the conservation area.

Garage Extension - the existing garage street elevation sits behind that of the previously extended neighbouring garage. The proposal is to extend the garage to align with the neighbours. The detailing of the extended garage will match the existing. As a result there will be no negative impact on the street scene from the extension. The side extension of the garage will sit 2.5m back from the street elevation. It will be behind the garden fence and not visible from the street.

Dormer at 199 EDG



Dormer at 207 EDG



Dormer photos taken from Gilkes Crescent



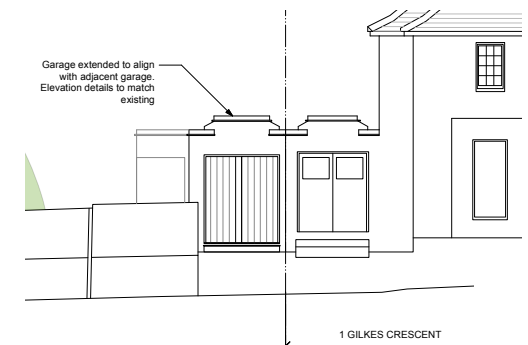
Existing front elevation



Proposed front door



Existing garages



Proposed garage elevation