

PREPARED BY BLAKDOG DESIGN AND PLANNING

14 LOVELL PLACE, LONDON, SE16 6QQ

DESIGN STATEMENT

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1. INTRODUCTION

Lovell Place, a residential street branching off from Rotherhithe Street. No.14 Lovell Place is nestled within a cul-de-sac, where there is with no thoroughfare available. The road is exclusively designated for residents' access and parking,

The properties are predominantly red brick and brown/ grey clay tile roof construction. The properties in this cul-de-sac typically range from two to three-bedroom properties with off street parking. There are a number of properties who have constructed loft extensions and single storey extensions.



FIGURE 1 – AERIAL VIEW – NOTE THIS IS AN OLD VIEW. NO.124 HAVE NOW CONSTRUCTED A REAR EXTENSION.

2. CONTEXT

The proposed property is located at the end of the terrace comprising of four linked houses. The rear of the property overlooks Redriff Road whilst the front of the property looks onto Lovell Place.

Properties 122 and 124 Redriff Road sit either side of the Lovell Place terrace and are not attached to the terrace.

No.124 Redriff Road shares two property boundaries with 14 Lovell Place. This spatial arrangement positions the rear of Lovell Place towards the front elevation of No.124, and, conversely, the front garden of No.14 Lovell Place overlooks the rear garden of No.124 Redriff Road.

Neighbouring property 124 Redriff Road have completed their ground floor extension which closes the visual gap between themselves and 14 Lovell Place. The extension is a single storey, single pitched roof which accommodates a 'hammock' room, a shower room and a utility room.

The highest point of the extension where it meets the host house is approximately 3.8m high. (refer to site photos).

The internal ground level along no.14 to no.17 Lovell Place terrace are approximately 450 mm above the external ground level. Neighbouring property no.16 Lovell Place have a conservatory to the rear which is constructed raised above external ground level.

3. EXISTING PHOTOGRAPH



FIGURE 2 - VIEW OF REAR ELEVATION



FIGURE 3 - VIEW OF 124 REDRIFF ROAD BOUNDARY WITH NO.14 FRONT GARDEN



FIGURE 4 -VIEW OF FRONT BOUNDARY ABUTTING REAR GARDEN OF 124 REDRIFF ROAD



FIGURE 5 - ESTABLISHED EVERGREEN PLANTING ALONG BOUNDARY



FIGURE 6 - NEIGHBOURING SINGLE STOREY EXTENSION

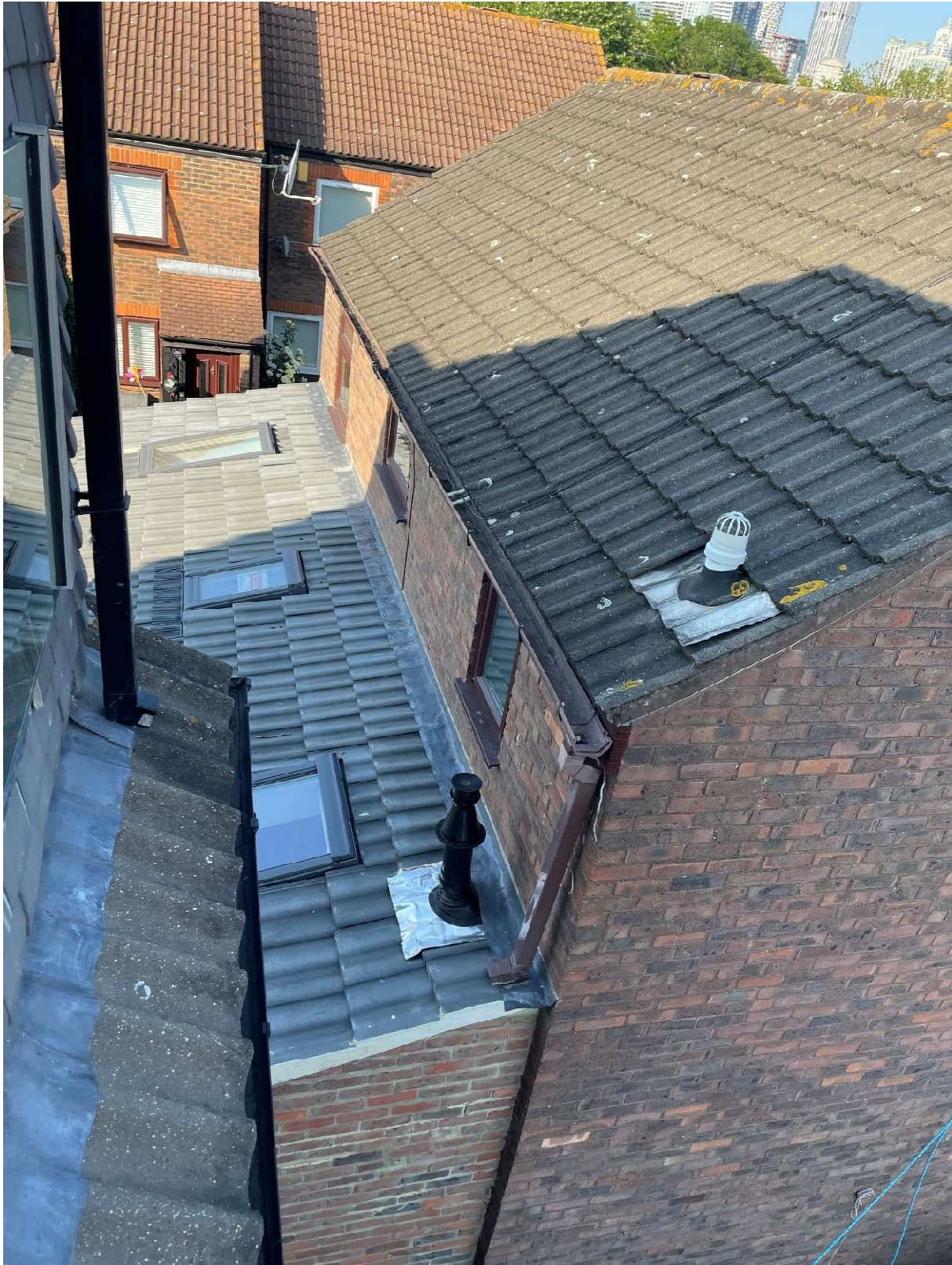


FIGURE 7 - NEIGHBOURING SINGLE STOREY EXTENSION VIEWED FROM LOFT LEVEL



FIGURE 8 - VIEW OF NEIGHBOURING GARDEN NO.15



FIGURE 9 - BOUNDARY ABUTTING 124 REDRIFF ROAD NEIGHBOURING WALL AND EXTENSION

4. PROPOSAL

REAR EXTENSION

The proposed rear extension seeks to provide a greater kitchen and dining area which proportionately serves a family. The space will provide a multifunctional use for a growing family. The rear sliding/ bi-folding doors will open up to provide a visually and physical connection to the garden. The garden will become a safer place for children to play with the ability to maintain visibility of them.

The neighbouring extension which closes the physical gap between the properties (see figure 7,8,10) provides an ideal opportunity to position the new proposed extension at its highest elevation without affecting property number 124 Redriff Road. At the boundary shared with neighbor number 15, the plan is to reduce the eaves height in order to minimize any disruption to their garden. This adjustment will result in a unified sloped roof design that angles away from the property line with number 15.

The height at this boundary has been determined by the raised floor level of all the properties and the minimum headroom along this edge being slightly over 2.1

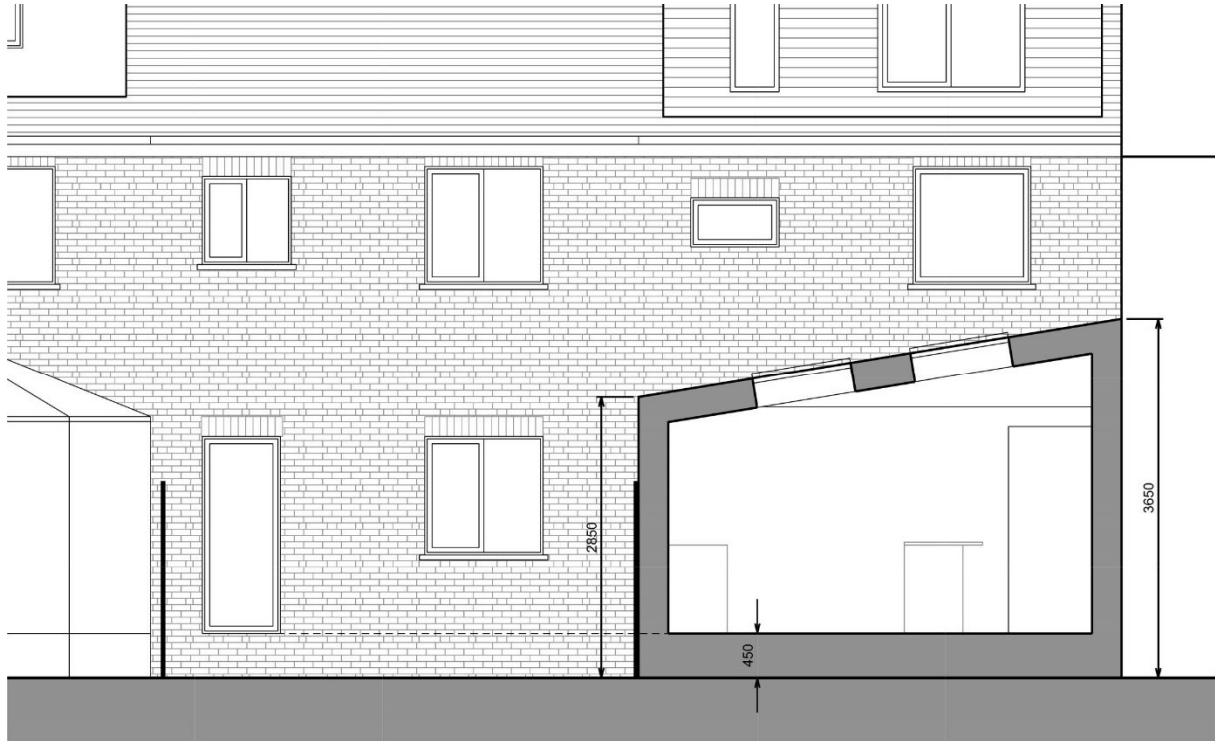


FIGURE 10 - RELATIONSHIP AT BOUNDARIES

A concealed gutter will be used along the boundary edge of number 15 which will reduce the overhang of a traditional gutter.

FRONT PORCH

Like many properties in this area, the porch space is limited and doesn't offer sufficient space for manoeuvring or storing coats, shoes, or strollers. The proposed property benefits from a large front garden. The proposal seeks to provide a larger porch area which will alleviate the issues around storage and access into the property.

There is an existing brick wall measuring approximately 2.0 m along the boundary 124 Redriff Road rear garden with established evergreen planting.

The proposed porch will extend along this boundary wall adjoining the rear garden of property number 124 Redriff Road. It will step down for the remaining 2m section where the height matches the existing brick wall. The porch is positioned approximately 6.2m away from the extension of 124 Redriff Road,

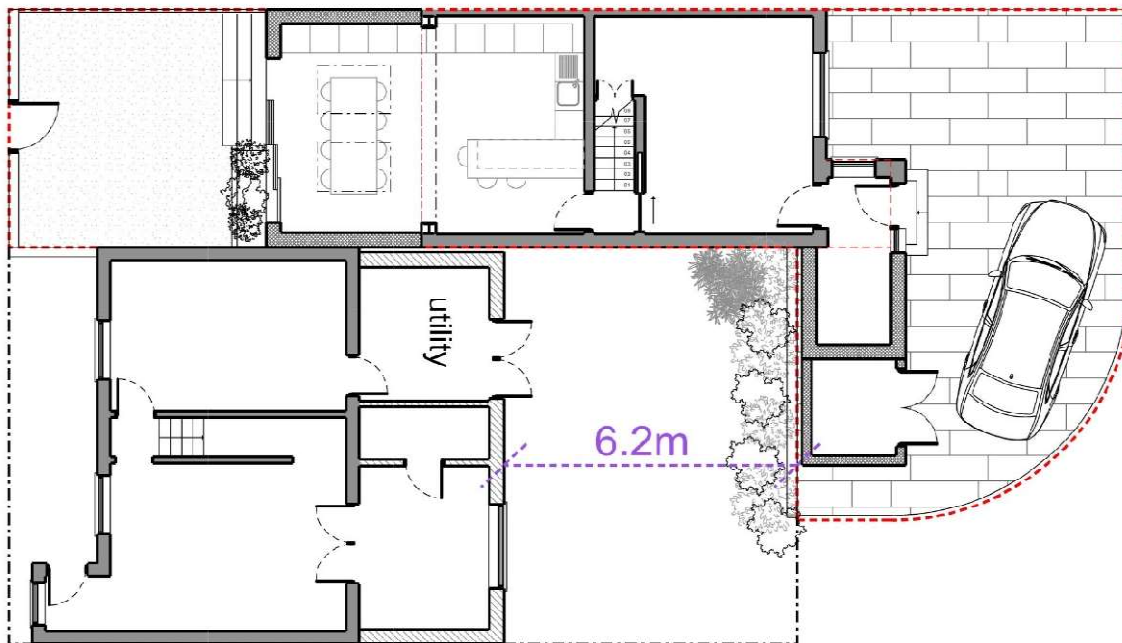


FIGURE 11 - GROUND FLOOR PLAN

5. MATERIALS

WALLS

The materials to be used in the rear and front will be constructed of brick to match the existing stock.

WINDOWS & DOORS:

- Will be aluminium double glazed
- Roof windows will be double glazed Polyurethane or similar from Velux suppliers.

ROOFING

The rear extension will be clad in grey slate tiles or similar.

CLADDING

Composite cladding will be used on the side elevation and wrap over the fascia panels of roof to provide a contemporary aesthetic. Zinc will be used if budget permits.



FIGURE 12 - PORCH EXAMPLE & VOLUMETRIC STUDY

6. APPROVED APPLICATIONS

The approved applications for No.1 Lovell Place have introduced a distinctive design concept to the neighbourhood. The combination of red brickwork and a red metal roof, complemented by a contemporary porch, offers a fresh interpretation of the 1980s-style houses in the area. This bold design adds a modern twist to the street, opening opportunities for new and innovative architectural approaches.

The property has been demolished and rebuilt with an ample porch area which provides an inviting yet practical entrance.

The materials used are different in colouration to the existing fabric of the area but lends itself to a modern, fresh end result. It is a corner property which is visible immediately entering the street unlike 14 Lovell Place which is tucked away in the cul-de-sac.



FIGURE 13 - NO.1 LOVELL PLACE

7. SUMMARY

The proposed ground floor extension will provide a much-needed space that will support this family's requirements. Whilst the internal layout has been driven by the client's brief, the design of the external volume and massing has been driven by what exists along the neighbouring boundary. The design is sympathetic to the neighbours to minimise the impact.

The front porch extension has been developed to utilise the space to the front of no.14 Lovell Place which is currently a redundant space. The porch provides valuable storage which these properties lack in the modern standards. The height of the porch has been considered and stepped to ensure the enclosure upon the rear garden of no.124 Redriff Road is minimised.

The proposal provides small additions to the house that makes an overall big impact on the internal spaces for the family.