

Figured dimensions only to be taken from this drawing. It is the contractors responsibility to check all dimensions. Any boundaries indicated are those apparent from site survey. They may not be the legal boundaries. These must be verified by the site owner.

Layout and scope of works accepted by the Client and approved for planning application;

Client Signature

DRAWING STAGE

F= Feasibility  
P= Planning stages  
BR= Building Regulations  
W= Working Drawings  
AB= As built

P

CLIENT:  
Daniel Williams, Tara Holland

PROJECT:  
17 Millway Drive, Bishops Tachbrook,  
Leamington Spa CV33 9SE

TITLE:  
FLOOR PLAN  
PROPOSED

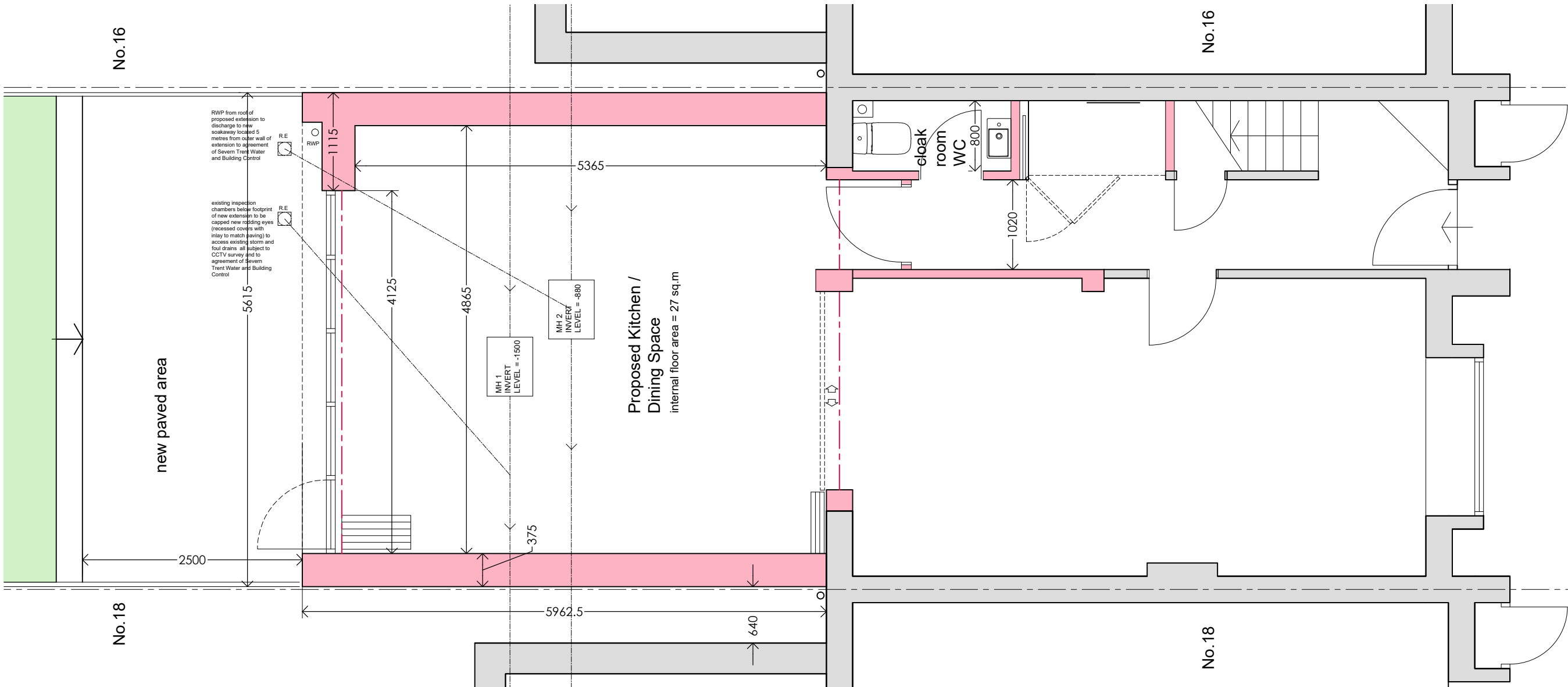
**masefields**  
architects ■ surveyors  
The Grange 37 Alcester Road Studley Warwickshire B80 7LL  
Tel: 01527 910190  
Email: info@masefields.co.uk

IN ASSOCIATION WITH:

Alan Smith Consultancy

■ ARCHITECTURE · PLANNING · DESIGN ■

Drawn GL	Ratio 1:50	Checked	
Date OCT 2023	Job No 023-3937	Drg No 03	Rev



Proposed Ground Floor Plan

internal floor area of proposed extension = 27 square metres  
gross external area = 33.5 square metres

- existing construction
- proposed construction

