



SUPPORTING STATEMENT

In support of;

FULL PLANNING APPLICATION FOR THE RETENTION AND EXTENSION OF AGRICULTURAL STORAGE BUILDING AT OLD HALL FARM

At

Old Hall Farm
Tenbury Road
Clows Top
Kidderminster
Worcestershire
DY14 9HE

Applicants

Mr G Poyner

Agent

Sarah Hulland BSc (Hon) MRICS FAAV

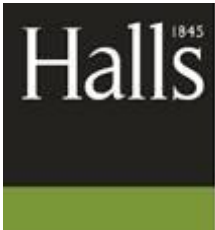


Halls Holdings Limited, Gavel House, 137 Franche Road, Kidderminster, Worcestershire, DY11 5AP

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Residential / Fine Art / Rural Professional / Auctions / Commercial

Description	Full planning application for the retention and extension of agricultural storage building at Old Hall Farm
Site Address	Old Hall Farm Tenbury Road Clows Top Nr Kidderminster Worcestershire DY14 9HE
Applicant	Mr G Poyner
Local Planning Authority	Wyre Forest District Council
Planning Portal Reference	PP-12686792
Job Reference	KK1812
Agent Details	Halls Holdings Limited Gavel House 137 Franche Road Kidderminster Worcestershire DY11 5AP Telephone 01562 820880 Email shulland@hallsgb.com
Documents Submitted	Location Plan Site Plan Supporting Statement



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Introduction

This planning statement is submitted in respect of the application to retain a steel frame mono pitch agricultural storage building and extend to create a portal frame fully enclosing the building, which is essential for security purposes as well as visual aesthetics. The building will be used to store machinery and fodder from the adjoining land and other holdings. The building is to be substituted for the original proposed retention of agricultural building on site, which was demolished on health and safety grounds as the building was structurally unsafe, this building has been retained as it is more fit for purpose for modern day farm machinery and fodder storage, as well as being structurally sound.

The maintenance area will be an area of retained grassland and wildflower area which will be retained solely for the maintenance of the septic tanks/treatment systems from the residential barn conversions. It is currently an area of grass/wildflowers and will be retained as so and not use for the maintenance of machinery. The area will be fenced separately from the residential curtilage.

Construction

The physical works would extend solely to the construction of a side extension steel frame building with timber clad sides with lower brick walls, concrete base and roller shutter doors, as per the attached drawings. This would blend in with the surroundings, and compliment existing buildings, so as not to be intrusive to neighboring properties.

Vehicle Parking, and Access

Access to the site will be as existing, no new requirements will be needed.



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