

CONSTRUCTION NOTES

- 1) See Drg. No. 01

JACKSON B
Beautiful Homes

Jackson B Ltd
52a The Broadway, Mill Hill, London, NW7 3LH

Client: Mr. & Mrs. Shohet

Project Garage Conversion
39 Fielders Way
Shenley, Herts, WD7 9EY

Drg. Title Existing
Ground Floor
Plan

Drm			
Date	December '23	Scale	1:100@A4
Drg.No.	FW/39/ 03	Rev.	A



Safety Glazing to be to BS 6206
Provide safety glazing as follows
windows - within 1500mm of floor
windows - within 300mm of door
doors - within 1500mm of floor
and as directed by L.A. Rep

At least one window in each newly
created habitable room shall have
a minimum full opening size of
450mm x 733mm for escape

Smoke alarms shall be positioned
7.5m max from door within a
habitable room
300mm min. from walls, light fittings
but NOT over stairs

All new windows, patio doors and
external doors with windows to be
glazed, with 16mm air gap and
"soft" low 'e' glass, to achieve
1.6 W/sq m K, all in accordance
with Approved Doc. L.1B. (2006)
manufactured and installed by
"FENSA" member. Who shall also
provide a certificate of compliance
to Client & L.A. Rep

Note:
S Battery Back-up Smoke
Detector Interlinked to
all other floors, in
accordance with BS5446
Also link Heat detector
in kitchen
Positions of Smoke
detectors as shown on
proposed floor plans

All materials to be used on the project
shall be in accordance with BS 8000 series
of documents and other accepted good
practice (Quality assured to ISO 9000series)

New balanced flue gas boiler to be sized,
installed and commissioned by registered
"Gas Safe" operative, who is to provide a
compliance certificate upon completion for
Client and L.A. Rep
Guard required to flue if within 2m of ground

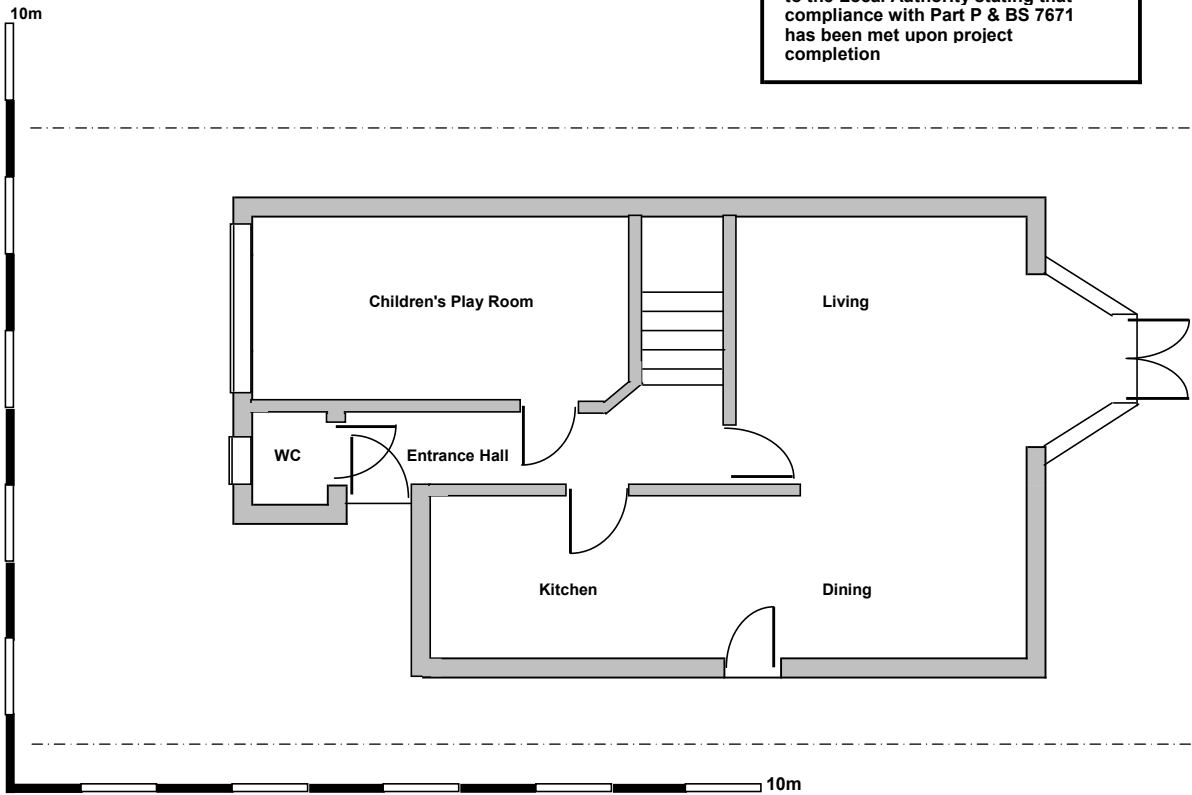
Part P - Electrical Safety
All wiring & electrical work carried
out in association with this project
shall be designed, installed, tested
and certified by a
"registered competent electrician"
who will issue a
"Domestic Inspection Certificate"
to the Local Authority stating that
compliance with Part P & BS 7671
has been met upon project
completion

Area of glazing shall
not Exceed
i) Existing as
covered in by
new work
ii) + 25% new
floor area

Note:
Dimensions quoted
should be checked for
accuracy on site.

Note:
Door D2 to be 1/2hr FRSC(FD20)
onto 35mm x 25mm stop beads,
glued and screwed to frame

CONSTRUCTION NOTES
See Drg. No. 01
Conservation of Fuel and Power
Lighting
Provision shall be made for 1No. Light fitting
which will only take lamps having a luminous
efficiency greater than 40 lumens per circuit
watt per 3No. habitable rooms and pro rata
Limiting Air Leakage
Adopt "robust" construction details for
insulation continuity between floors, walls and
roofs. Details as shown on the drawings
Heating - Central Heating Boiler
The new gas new central heating boiler shall
have a minimum SEDBUK value of 86%. The
boiler controls shall include provision for
separate heating & hot water functions
Heating - Hot Water Storage
All pipework shall be insulated. 35mm factory
applied insulation to hot water storage tanks
Heating - Radiators
Each newly created room shall be heated with
a new radiator sized by the "heating" installer"
Each radiator shall be fitted with a thermostatic
valve
Heating - Commissioning
The heating & hot water system shall be fully
commissioned by a "Gas Safe" registered
operative to ensure that the system is
operating at maximum efficiency and that all
controls work as intended. The "Gas Safe"
engineer shall provide a certificate confirming
that the commissioning has been carried
satisfactorily to client & L.A. Rep



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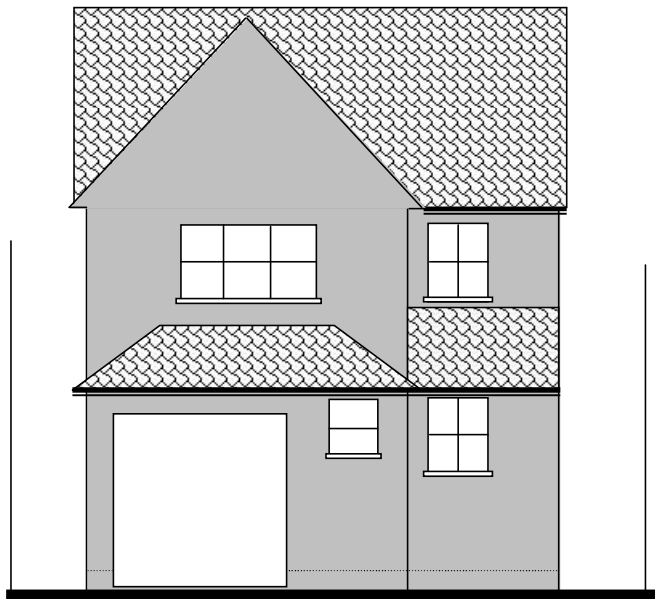
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Drg. Title: Proposed
Ground Floor
Plan

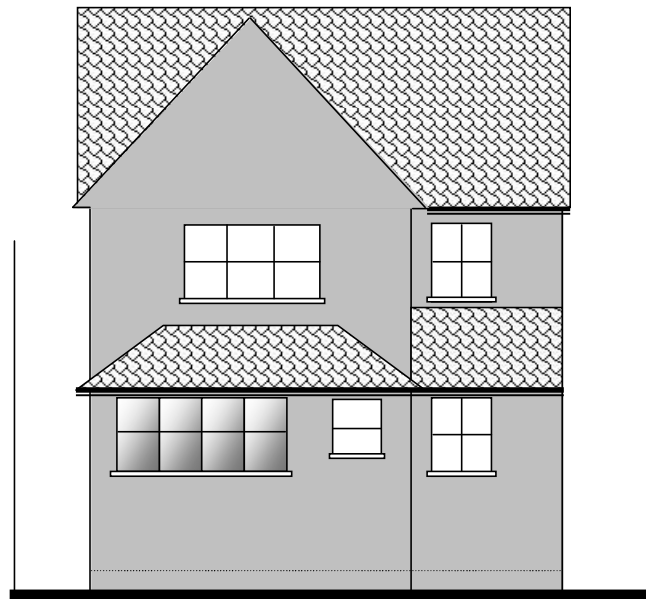
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10m



Existing - Front Elevation



Proposed - Front Elevation

10m

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Project Garage Conversion
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Drg. Title Proposed & Existing
Front
Elevations

Drn			
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Where drains pass through foundations, provide 2No. 225mm x 150mm RC Lintels with 3No. M12 rods, over drain. 50mm cover to rebar Line each face of "cut out" with 50mm polystyrene

Builder shall adopt excavation method and safety measures as determined on site by L.A. Rep.

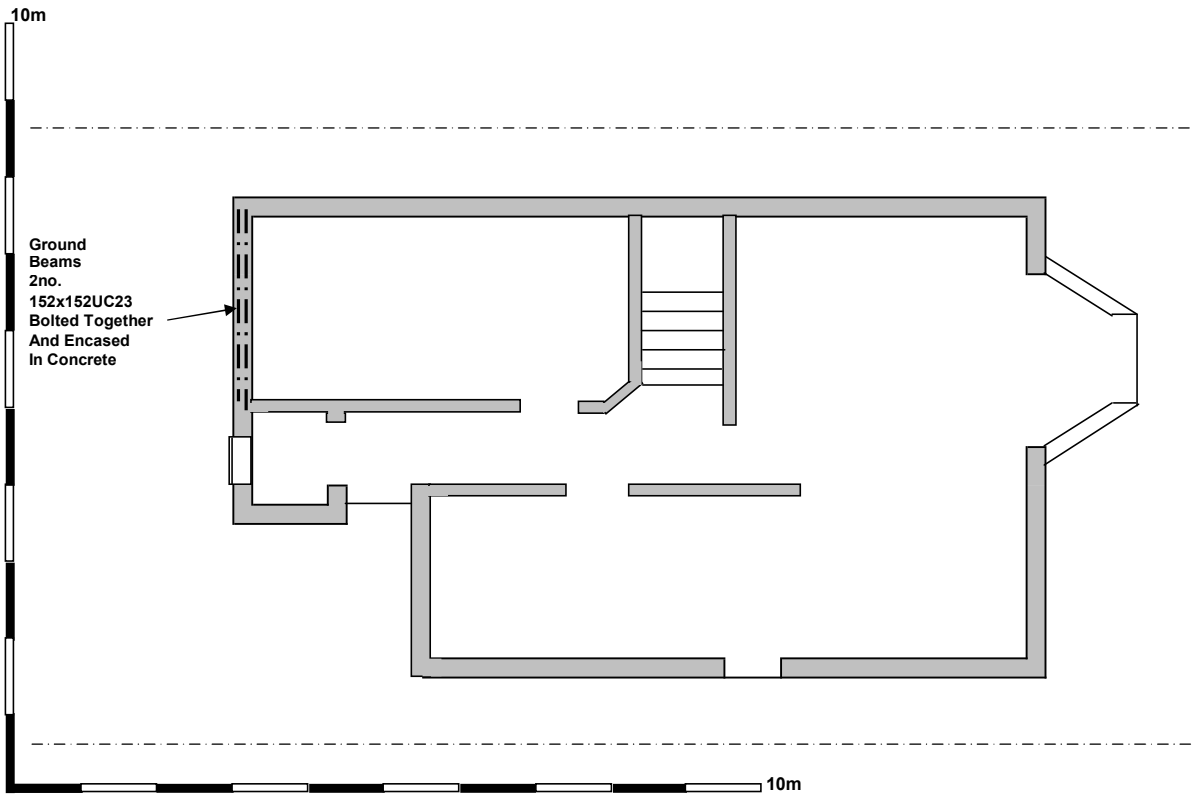
Minimum depth of Foundations to be 300mm below original G.L. Adopt sulphate resisting cement with Grade C25 Concrete

Final Foundations arrangement shall be determined on site based on existing underground drains as discovered during excavation

Final depth of foundations to be as determined on site by L.A. Representative

All foundations are Subject to Discovery

All foundations to be 500mm wide, unless shown otherwise.



- CONSTRUCTION NOTES**
- 1) See Drg. No. 01
 - Foundations**
 - 2) Carefully excavate to the depths as shown, for new 450mm wide Trench-fill foundations using Grade C25 concrete with sulphate resisting cement
 - 3) Where footings/foundations are constructed against the boundary increase width to 600mm
 - 4) If tree roots are discovered during excavation the footing shall be taken to 600mm below the lowest tree root.
 - 5) If the invert level of underground drains is lower than 800mm then the footing shall be taken to 200mm below the drain invert level.
 - 6) Where it is proposed to construct new walls on existing foundations, they shall be exposed and checked to ascertain their adequacy to take further loading, by the L.A. Representative.
 - 7) Anti-heave precautions shall be taken where shown on the drgs. Adopt "Claymaster" to the inside face of the trench.
 - 8) Contractor shall incorporate "shoring & strutting" to the sides of the excavation where the open excavated depth exceeds 1200mm, or less if the foundation sides are likely "cave-in"

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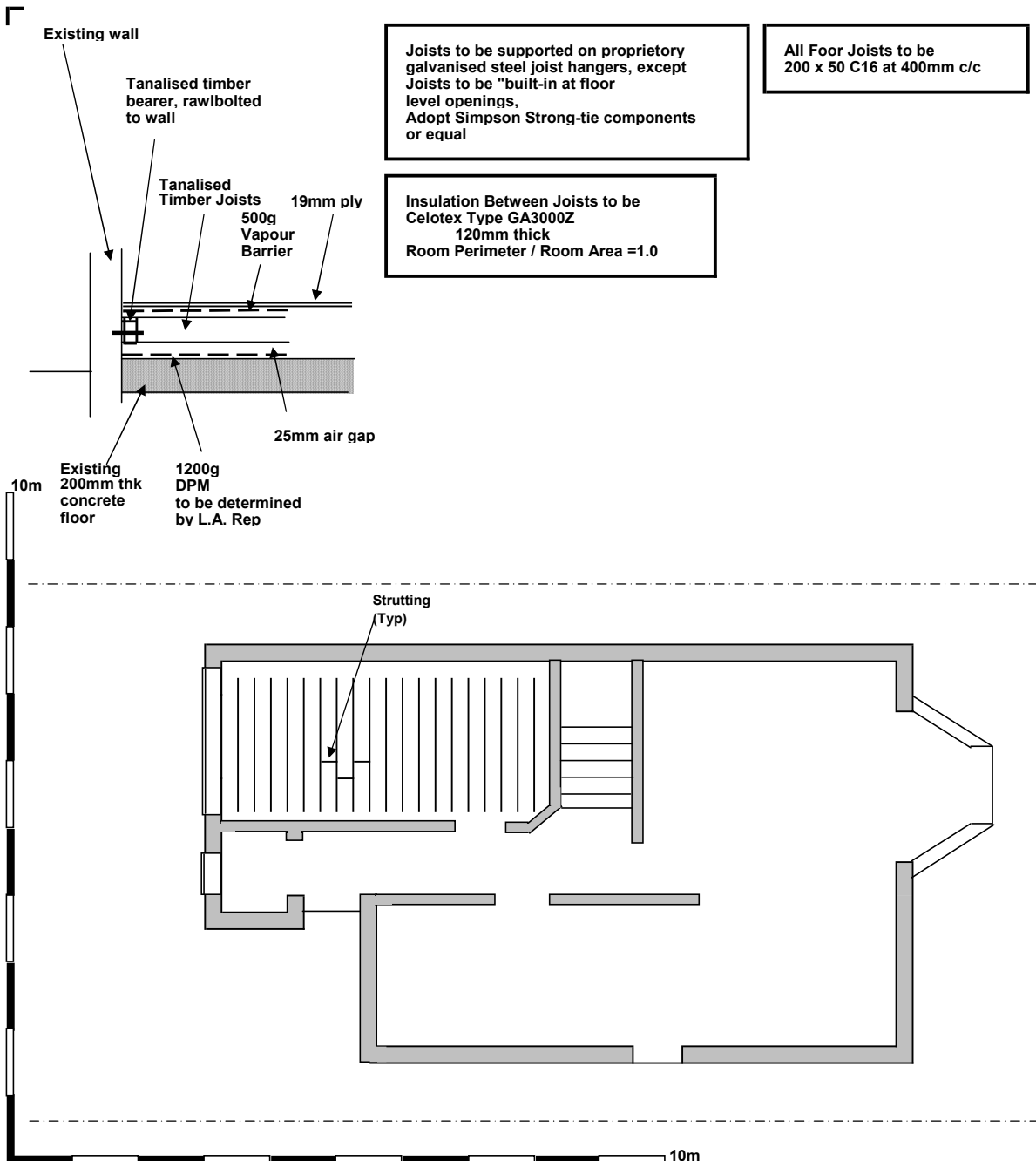
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Drg. Title: Proposed Foundations Arrangement

Drn			
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Joists to be supported on proprietary galvanised steel joist hangers, except Joists to be "built-in at floor level openings, Adopt Simpson Strong-tie components or equal

All Floor Joists to be 200 x 50 C16 at 400mm c/c

All timber shall be of new quality and shall be treated with preservative

Insulation Between Joists to be Celotex Type GA3000Z 120mm thick Room Perimeter / Room Area =1.0

- CONSTRUCTION NOTES**
- 1) See Drg. No. 01
 - 2) **Ground Floor - Suspended (Timber)** 21mm T & G chipboard (waterproof quality) on timber joists supported on either proprietary joist hangers (galv. restraint type) or timber sole plate bedded on DPC (to BS 743) on new honey combe sleeper walls
 - 3) Joists shall be built into the wall where there is no masonry above. I.e. door opening
 - 4) Install insulation between timber joists, to be supported in accordance with manufacturers instructions
 - 5) Underside of floor joists to be not less than 175mm above oversite
 - 6) Sleeper walls as required shall be constructed off locally thickened oversite concrete
 - 7) Provide 150mm thick oversite concrete on 150mm min. thick sand blinded consolidated hardcore
 - 8) If top of oversite concrete is lower than adjacent G.L. incorporate DPM (1200g) to top of sand blinded hardcore and overlap with wall DPC
 - 9) Sub-Floor Ventilation Provide 1/40th min. room floor area in air brick ventilation, positioned below DPC, at an approx. spacing of 1000mm c/c. Each air brick to be 215mm x 75mm

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Drg. Title: Proposed Floor Construction

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All new work to be fixed to existing with proprietary stainless steel wall profiles
Apply polysulphide mastic to the outside face to weatherproof Construction Joint

All new wall ties to be stainless steel for for 100mm cavity

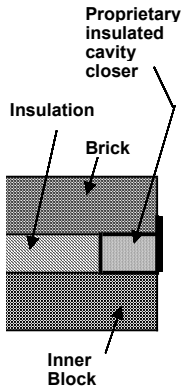
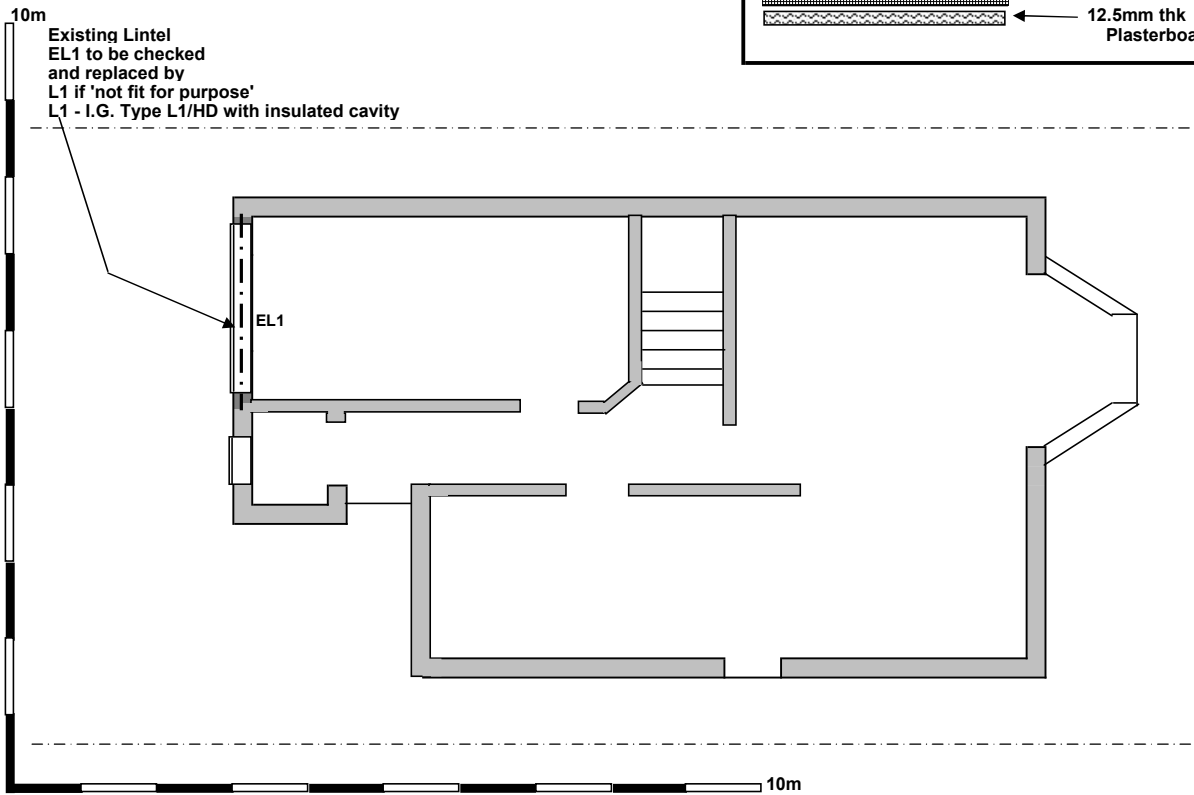
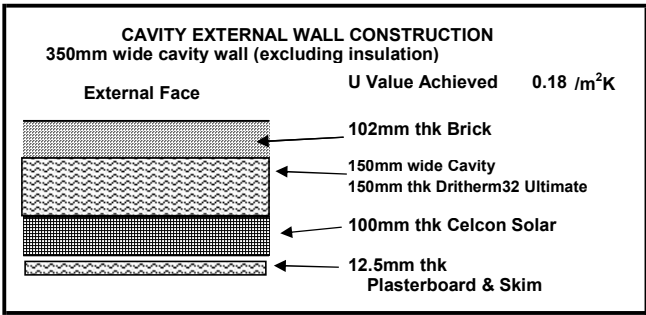
Outer face of blockwork to be rendered to match existing with 2No. Coats sand/cement in accordance with BS5262 and with a min. thickness of 20mm. Render not to bridge DPC and to be clean, well-graded sand in 2No. Coats, undercoat 10-16mm and finishing 4-10mm. Render to be 7:1 sand/cement and approved plasticiser for a wood float, textured scraped finish or as directed by block manufacturer
Adopt stainless steel drip bead to "finish" render at DPC / flashing level

All external brick wall returns to be 440mm min.unless noted otherwise

Existing brickwork cut back to form new corner reveals to have existing mortar replaced by new to form Structural pier Mortar to be 3:1 mix

Movement joints in blockwork to be :
a) 5m max. intervals
b) "Bricktor" reinforcing incorporated within every 3rd course of blockwork
c) as recommended by block manufacturer &/or L.A. rep

Adopt engineering cavity brickwork below DPC. Fill cavity with screed to within 225mm of DPC or G.L., whichever is lowest



CONSTRUCTION NOTES

- 1) See Drg. No. 01
- Cavity Wall Construction**
- 2) Construct cavity wall as shown, with browning or bonding lightweight plaster (13mm min thk.) and skim coat as internal surface finish
- 3) Install insulation within the cavity
- 4) Inner leaf / outer leaf to be "joined" by proprietary wall ties to manufacturers instructions
- 5) Wall ties to be in accordance with BS1243 and to be spaced at 600mm c/c horizontally & at 450mm c/c vertically, or as recommended by the manufacturer. Adopt 300mm c/c spacings adjacent to openings
- 6) Cavity wall insulation to continue to underside of roof insulation
- 7) Construction joints in brick / blockwork to be as recommended by manufacturer
- Damp Proofing**
- 8) **New walls**
Adopt DPC to BS 743, 150mm min. above G.L. to be continuous with existing DPC and DPM
- 9) **Openings and Reveals**
Adopt DPC to BS743 to the perimeter of all openings and reveals, except where incorporated into proprietary insulated cavity closer
- 10) Internal leaf DPC to be 225mm wide to ensure overlap with DPM
- 11) Cavity Trays to be built into new and alterations to existing construction where there is a possibility of damp penetration
- Stud Walls**
- 12) Stud Wall Construction to be as shown

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Drg. Title Proposed
Walls
Construction

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