

General notes:
 This drawing must be read in conjunction with the following:
 1499-11 Plans as Existing
 1499-12 Elevations as Existing
 1499-13 Elevations as Proposed
 1499-14 Ground Floor Plan as Proposed
 1499-15 Roof Plan as Proposed
 1499-16 Section as Proposed
 1499-17 B.R. Specification
 1499-18 Typical Drainage Details

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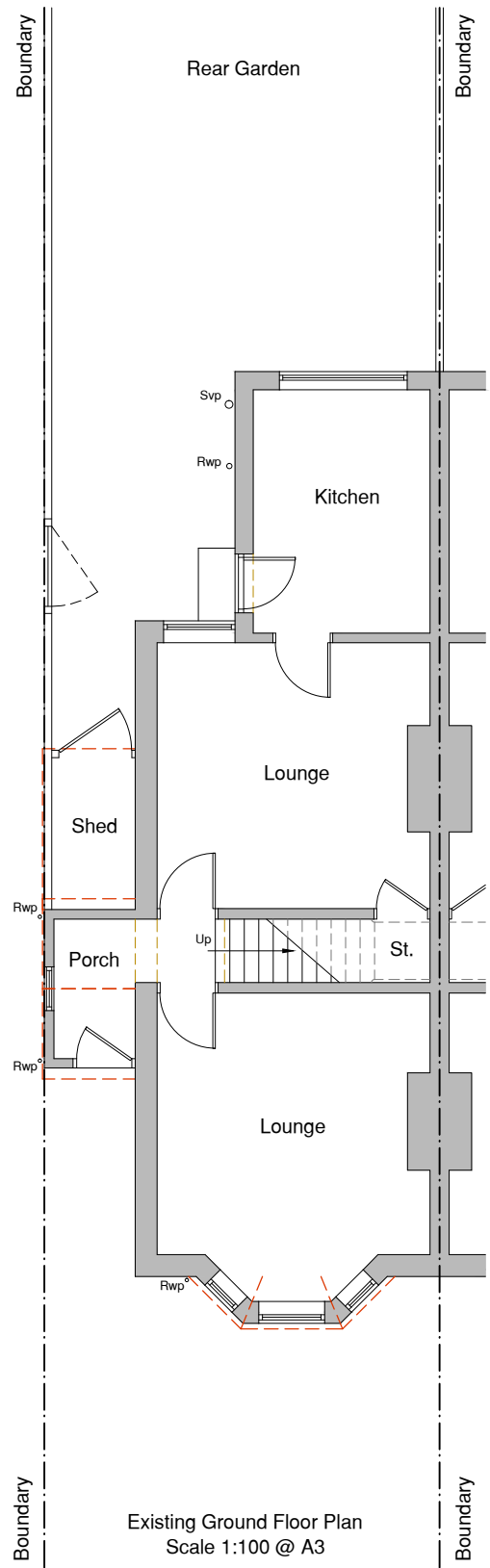
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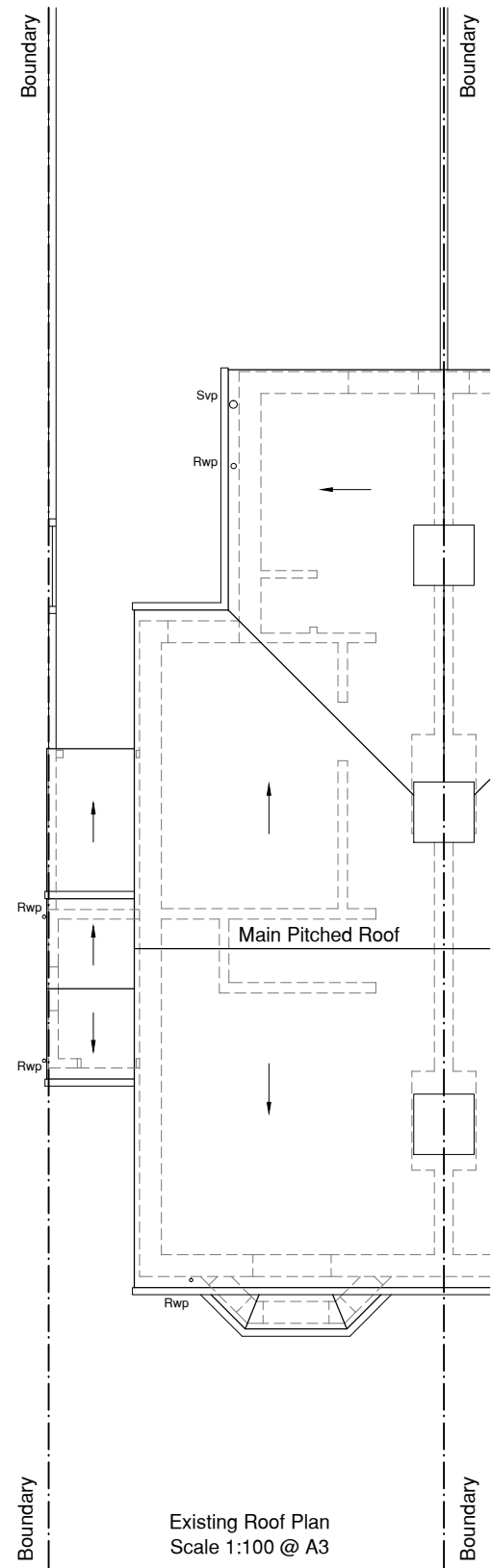
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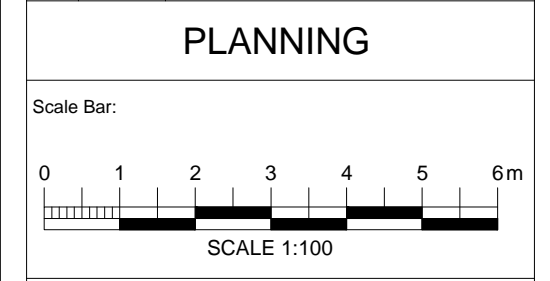


Existing Ground Floor Plan
 Scale 1:100 @ A3



Existing Roof Plan
 Scale 1:100 @ A3

Rev	Date	Description
PLANNING		



Project Title:
Mr Karl Franz
47 Nelson Road,
Tun. Wells, Kent. TN2 5AW.

Drawing:
Single Storey Rear Extension
Floor Plans
Existing

Date: 16/11/2023	Drawing Number:
Scale: 1:100 @ A3	1499 - 11
Drawn: G.J.O.	Revision:
Checked: S.W.	

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All flashings, valleys, drips and soakers to the Lead Development Associations details

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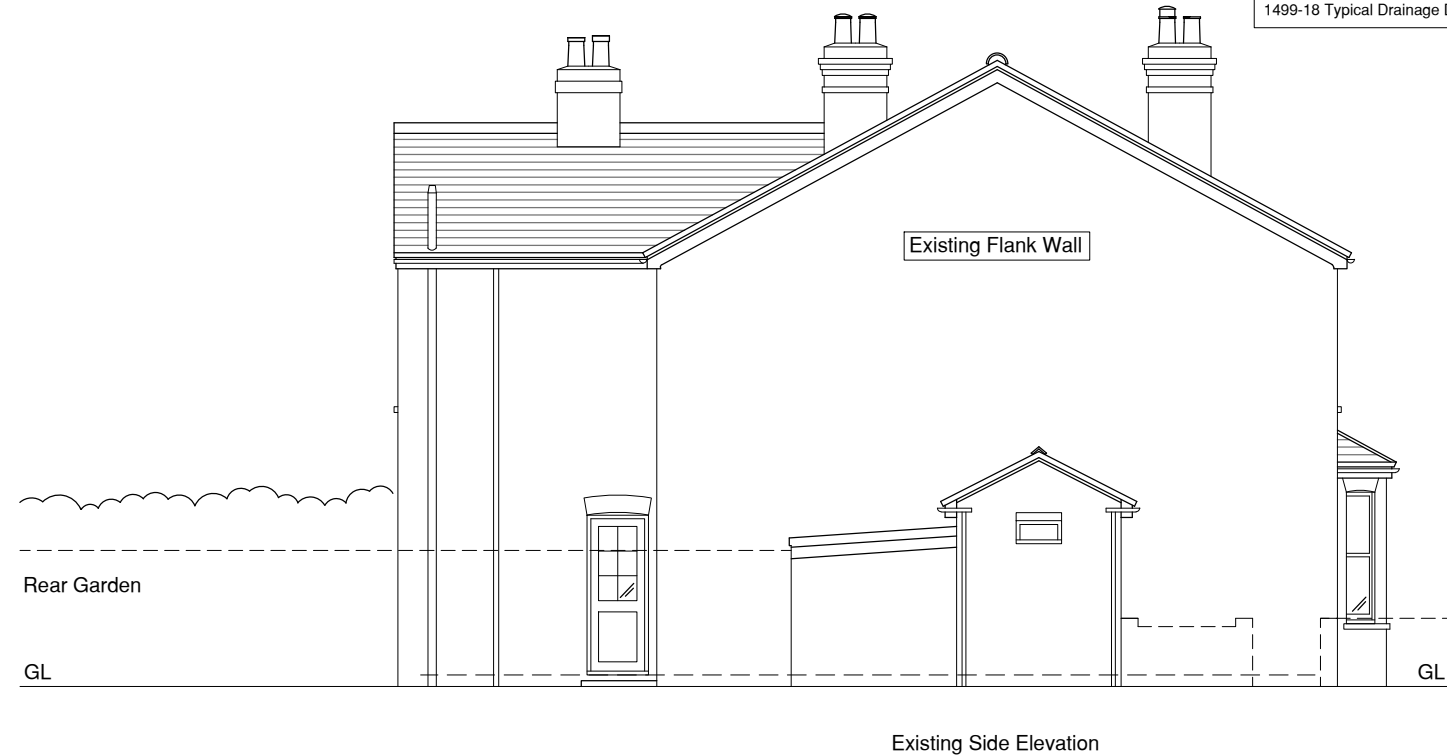
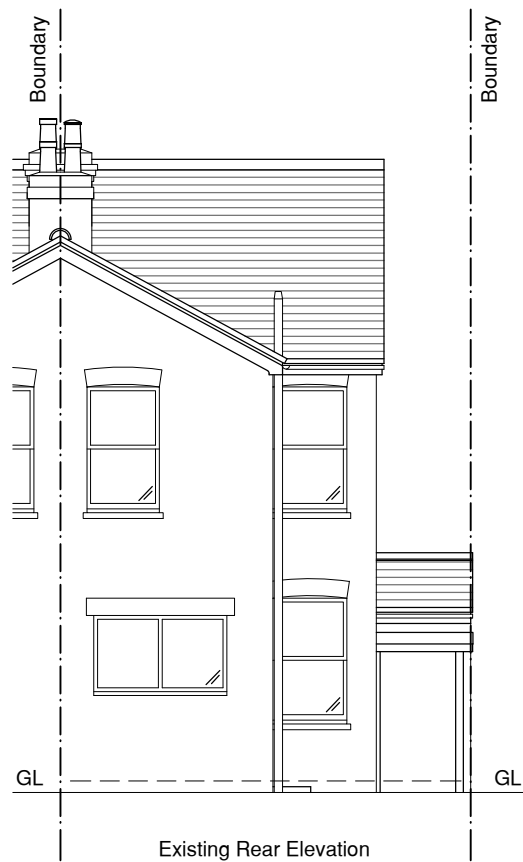
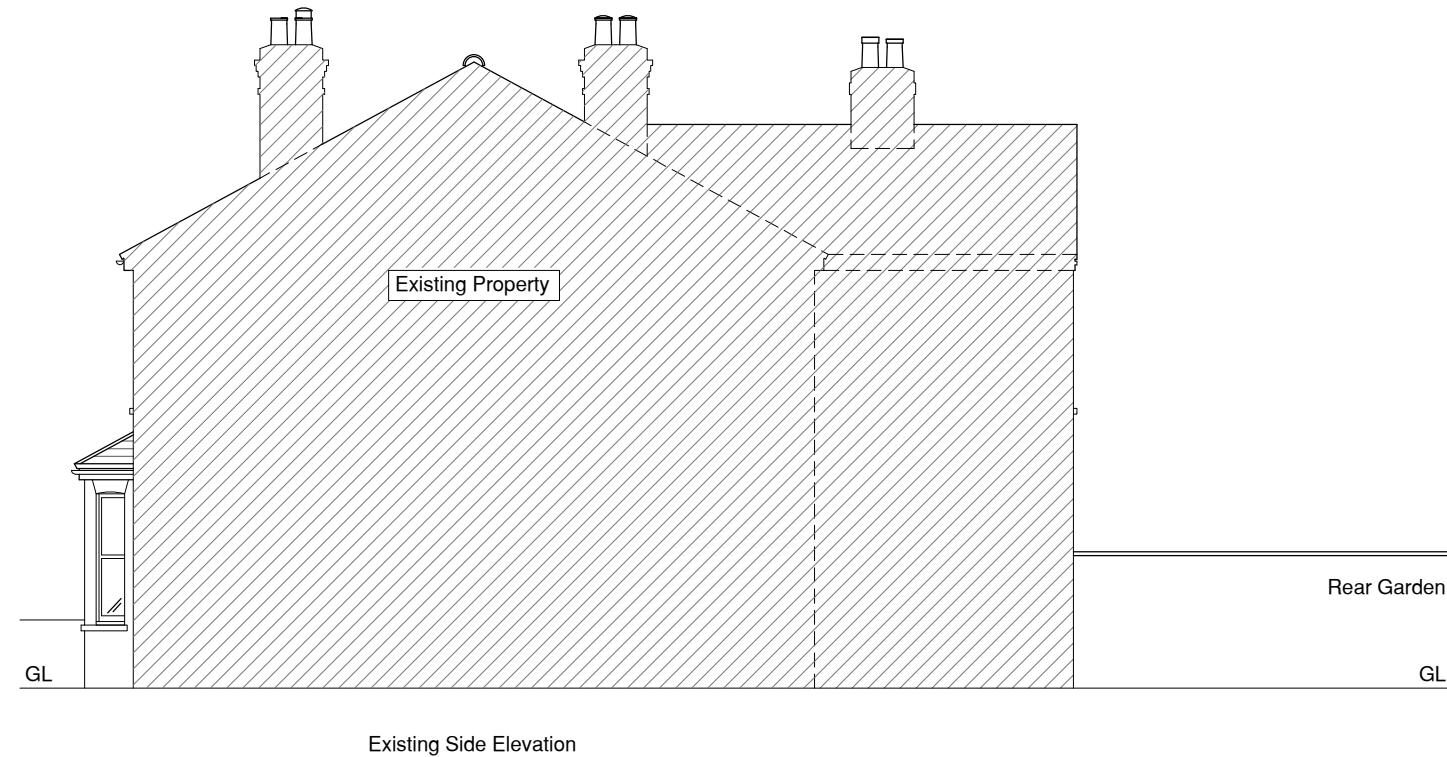
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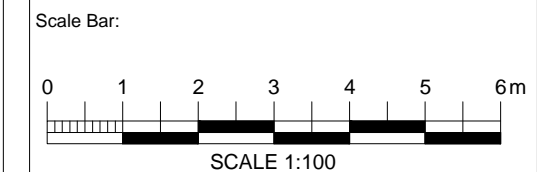
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Rev	Date	Description

PLANNING



EK PLANNING
ARCHITECTURAL DESIGN CONSULTANTS
Email: info@ekplanning.co.uk
Web: www.ekplanning.co.uk

Project Title:
Mr Karl Franz
47 Nelson Road,
Tun. Wells, Kent. TN2 5AW.

Drawing:
Single Storey Rear Extension
Elevations
Existing

Date: 16/11/2023	Drawing Number:
Scale: 1:100 @ A3	1499 - 12
Drawn: G.J.O.	Revision:
Checked: S.W.	

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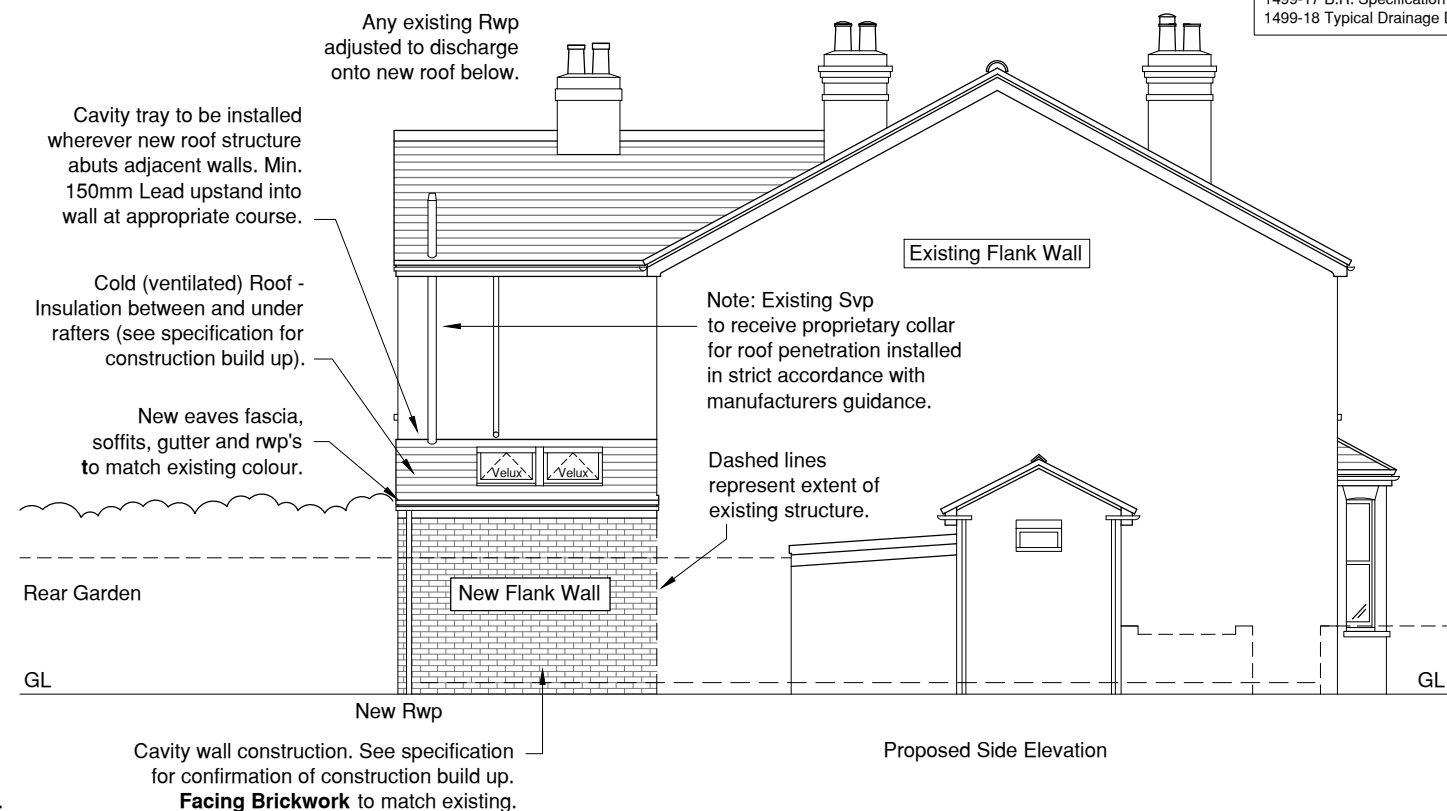
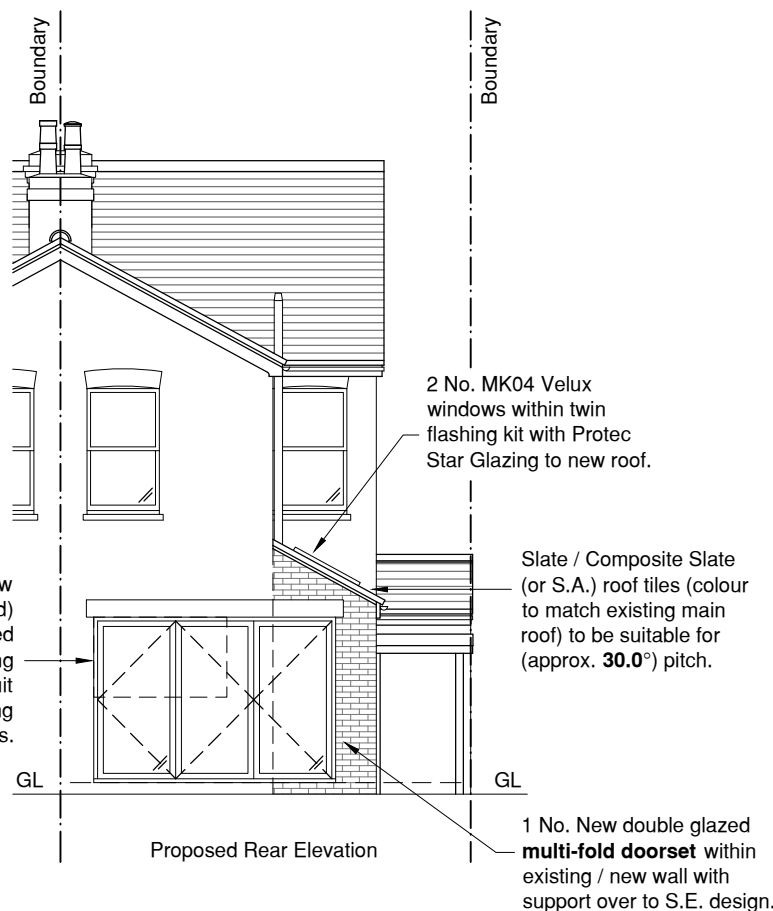
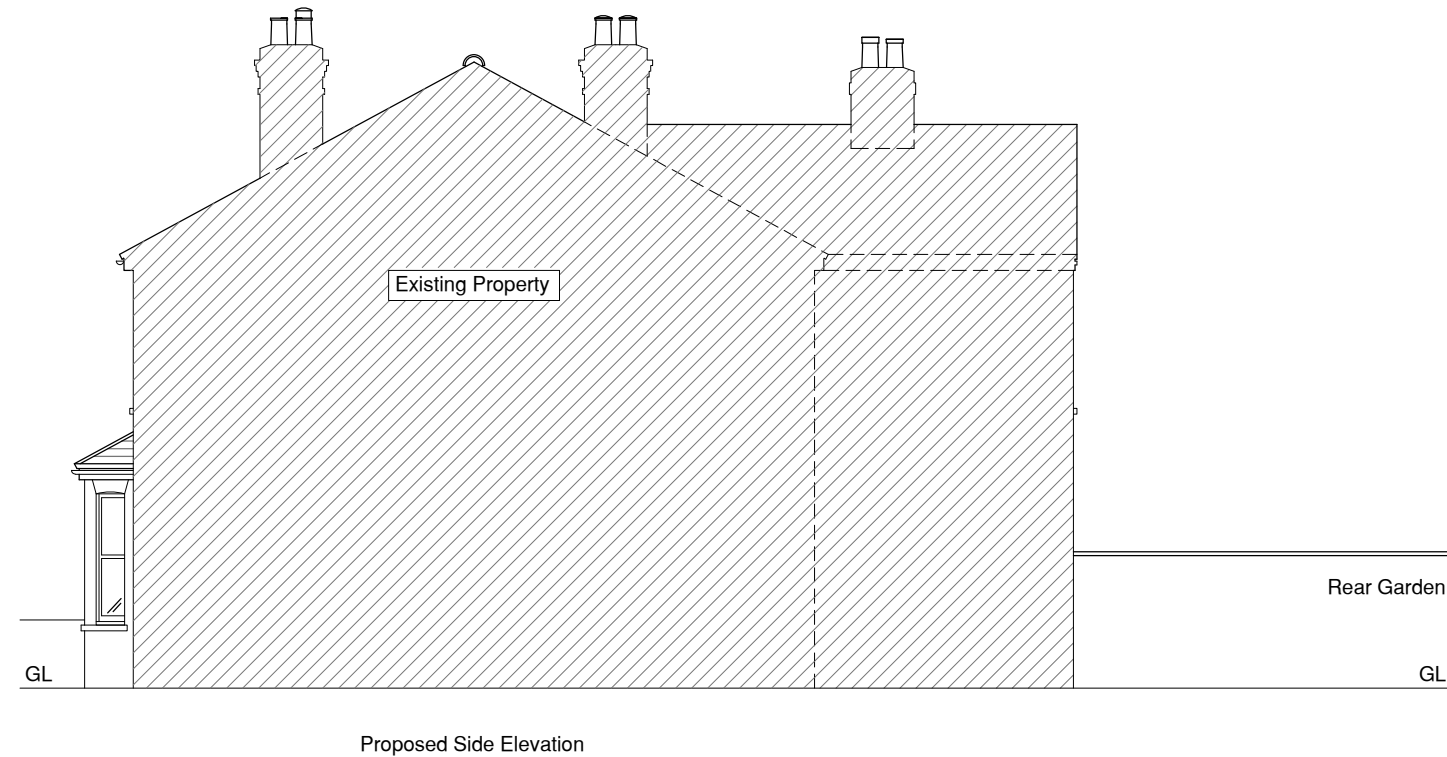
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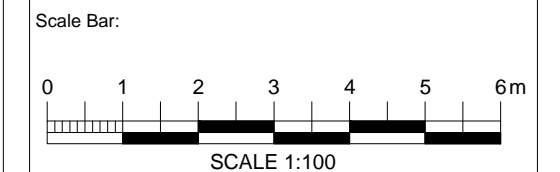
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ARCHITECTURAL DESIGN CONSULTANTS
Email: info@ekplanning.co.uk
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Project Title:
Mr Karl Franz
47 Nelson Road,
Tun. Wells, Kent. TN2 5AW.

Drawing:
Single Storey Rear Extension
Elevations
Proposed

Date: 16/11/2023	Drawing Number:
Scale: 1:100 @ A3	1499 - 13
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Important Note:

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Newly formed surface water drainage to be laid to the LABCO approval on site and is to be connected to a new soakaway sited minimum 5.0m from any building subject to site investigation by the contractor prior to the commencement of works.

Note - where new cavity wall abuts existing house either:

1) install new vertical damcor insulated dpc dressed into saw cut to existing wall;

or

2) expose and join existing and new wall construction for continuation of cavity.

10mm movement joint between new wall and existing to be filled with fosroc expandofoam compressible filler and pointed with fungicidal silicone mastic to match brick colour.

New wall to be tied to existing external walls using ancon staffix universal wall starter system installed in accordance with manufacturers written instructions.

Note: Ensure interlinked smoke detectors are fitted within hallway & all landings with a heat detector installed within kitchen onto the same system. Carbon monoxide detector should be installed adjacent any new boiler.

Extract fan routes adjusted / constructed for any current Kitchen area (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Positions and any duct route T.B.C. on site and agreed with client.

Note
Refer to S.E drawings for confirmation of all structural elements, sizing and positions

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Note: All dimensions to structural frame / wall positions. Any dimensions shown **RED** are from internal finishes

Note:
It is the contractors responsibility to locate electrical cabling, drainage & mains gas pipework on site.

Note: All newly enclosed external walls to receive plaster finish.

Cavity wall construction. **Facing Brickwork** to match existing. See specification for confirmation of construction build up. **Note:** S.E. to confirm movement joint locations to LABCO approval.

New RWPs to be provided with rodding access plate and to discharge to soakaway (min. 1:40 falls)

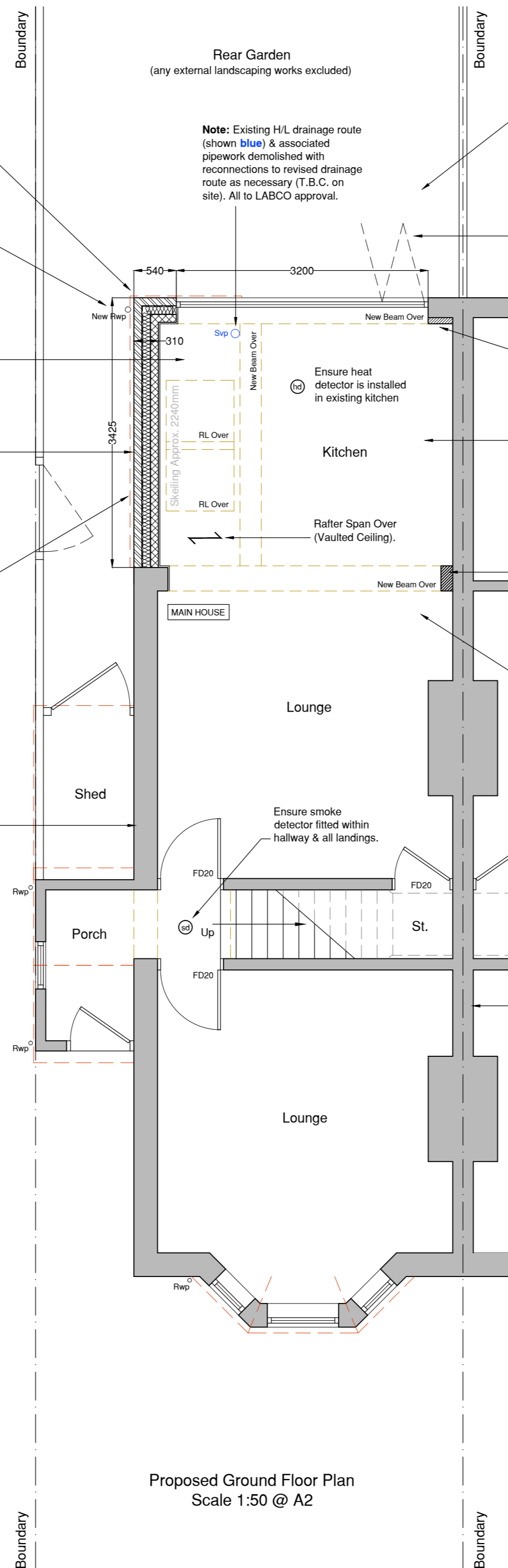
New Floor: 150mm O/A beam & block flooring system as designed by specialist supplier with minimum 150mm (ventilated) void directly beneath adequately treated as necessary.

Dashed lines represent 2 No. MK04 Velux windows (where indicated - over) within twin flashing kit with Protec Star Glazing to new roof to be installed in strict accordance with manufacturers instructions. S.E. to confirm extent of roof trimming adjacent.

New walls typically supported by centrally loaded trench foundations (S.E. to confirm). All to the approval of the LABCO. **Note:** Adjust level of foundations to suit ground levels and conditions if required.

If adjacent (existing) floor is suspended ensure continuation of ventilation path via airbricks on new external facade via below ground pipework to LABCO approval.

Existing (retained) structure shown solid hatch.



Proposed Ground Floor Plan
Scale 1:50 @ A2

Client to agree external surface finishes with contractor prior to commencement of works.

Existing window demolished with opening adjusted / enlarged incorporating 1 No. New double glazed multi-fold doorset within existing / new wall to client preference with lintel / beam support over to S.E. design (incl. wind posts framing - if necessary). See elevations for confirmation of extent.

Existing wall to receive lining (shown dashed red) to allow flush finish with new wall adjacent / over.

Note: Existing Kitchen fixtures, fittings and associated pipework & cabling removed with surfaces made good to suit new room layout. All to client agreement.

New brickwork / blockwork pier (structural supplementation - if necessary) to suit new beam requirements over. All to S.E. design.

See specification for Ground floor build up. Finished floor level to be flush with existing house. Levels to be confirmed on site.

Existing external walls, windows and door demolished with new steels (over) and any abutment piers to S.E. drawings & details supporting structure above.

Final heights to U/S to be agreed with client prior to commencement of works.

Existing structure exposed / assessed prior to removal to determine supporting requirements (S.E. to advise).

Adjacent Property

Existing party wall.

Note:
Should the new works be built near an existing drainage route. This is to be inspected PRIOR to commencement dates being agreed to allow sufficient time for any design adjustment to be approved by the LABCO or agreements put in place with the local water authority.

Kitchen room layout indicative. Client to agree final design & specification prior to commencement of works. Pipework connected to existing drainage as necessary. All drainage details T.B.C. on site prior to commencement of works (Class G)

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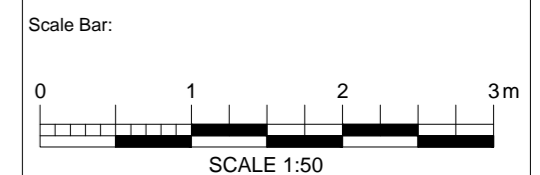
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Web: www.ekplanning.co.uk

Project Title:
Mr Karl Franz
47 Nelson Road,
Tun. Wells, Kent. TN2 5AW.

Drawing:
Single Storey Rear Extension
Ground Floor Plan
Proposed

Date: 16/11/2023	Drawing Number: 1499 - 14
Scale: 1:50 @ A2	Revision:
Drawn: G.J.O.	
Checked: S.W.	

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No new construction to exceed boundary line without neighbour agreement in place.

Central heating and electrical wiring and any other applicable services to be extended from main house into extension. Existing switches/sockets adjusted to suit new layout.

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Important Note:

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Note - where new cavity wall abuts existing house either:

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or

2) expose and join existing and new wall construction for continuation of cavity.

10mm movement joint between new wall and existing to be filled with fosroc expandofoam compressible filler and pointed with fungicidal silicone mastic to match brick colour.

New wall to be tied to existing external walls using ancon stalfix universal wall starter system installed in accordance with manufacturers written instructions.

Note: Ensure interlinked smoke detectors are fitted within hallway & all landings with a heat detector installed within kitchen onto the same system. Carbon monoxide detector should be installed adjacent any new boiler.

Extract fan routes adjusted / constructed for any current Kitchen area (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Positions and any duct route T.B.C. on site and agreed with client.

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Note:
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Rafters to be sized / positioned to S.E. design onto min. 100x50mm S.W. wall plate.

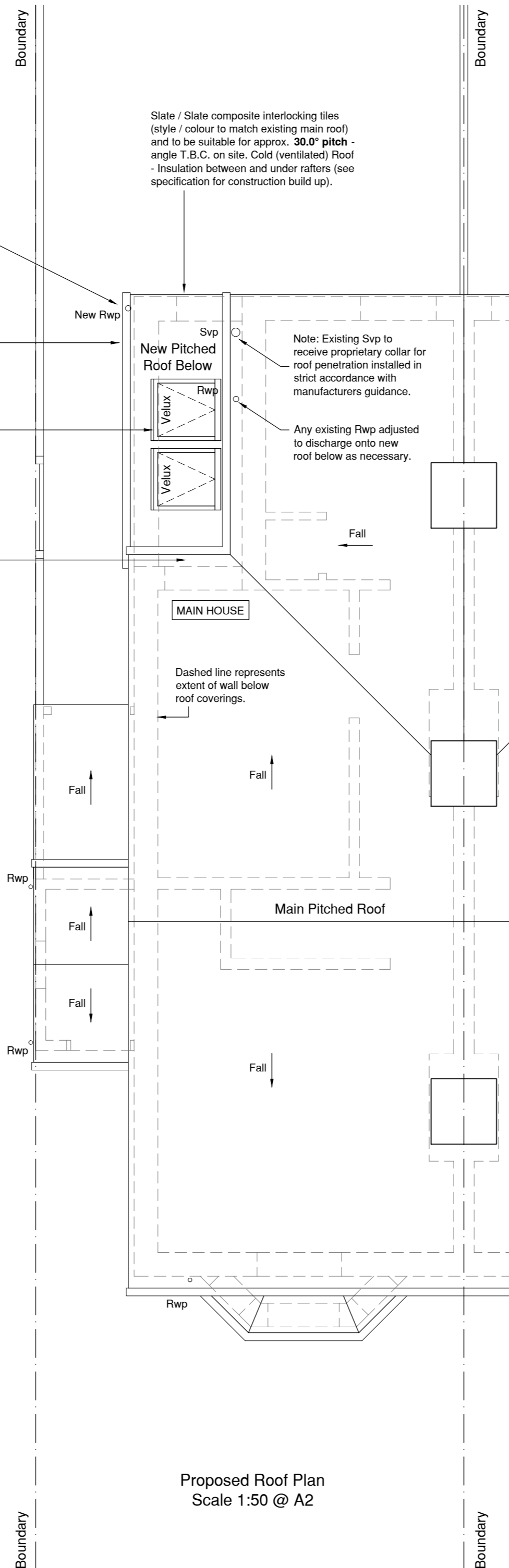
New RWP's to be provided with rodding access plate and to discharge to soakaway (min. 1:40 falls)

New eaves fascia, soffits, gutter and rwp's to match existing colour. Boxed eaves (extent to client preference).

2 No. MK04 Velux windows (where indicated) within twin flashing kit with Protec Star Glazing to new roof to be installed in strict accordance with manufacturers instructions. S.E. to confirm extent of roof trimming adjacent.

Contractor to expose existing structure to determine requirement for cavity tray at new abutment from extension roof. Cavity tray added in all locations where practicable. Provide min. 150mm Lead upstand chased into existing wall at appropriate course.

Note: Should it be impractical to construct new roof structure as indicated (or min. 150mm lead upstand) adjust existing window sill positions OR reduce pitch / eaves height to suit. All to roof tile manufacturers technical guidance and client preference / LABCO approval.



Proposed Roof Plan
Scale 1:50 @ A2

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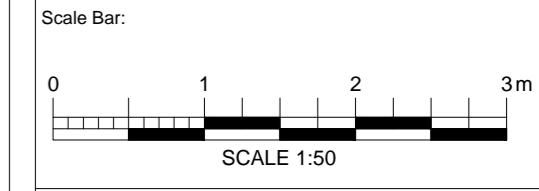
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