

REPORT
- on -
BARN AT BURNT HOUSE FARM
LITTLE CORNARD, SADBURY
SUFFOLK, CO10 0NU
- for -
THE ROYAL AGRICULTURAL
BENEVOLENT INSTITUTION (RABI)



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NHP/JM/CBS0026

INDEX

| | | |
|-------------|------------------------------------|---------------|
| 1.00 | Instructions | Page 1 |
| 1.10 | Scope of Instructions | Page 1 |
| 1.20 | Scope of Inspection | Page 1 |
| 2.00 | Description | Page 1 |
| 2.10 | Construction History | Page 1 |
| 2.20 | Location | Page 2 |
| 2.30 | Accommodation | Page 2 |
| 2.40 | Services | Page 3 |
| 2.50 | Tenure and Town & Country Planning | Page 3 |
| 2.60 | Weather | Page 3 |
| 3.00 | Roofs | Page 3 |
| 3.10 | Externally | Page 3 |
| 3.20 | Roof Construction | Page 4 |
| 4.00 | Main External Walls | Page 5 |
| 5.00 | Conclusions | Page 9 |

Appendix A - Colour Photographs

Appendix B - Sketch Floor Plan

Appendix C - Typical Cross Section

Appendix D - Ordnance Survey Extract – Scale 1:500

Appendix E - Conditions of Engagement

REPORT**- on -****BARN AT BURNT HOUSE FARM****LITTLE CORNARD, SUDBURY****SUFFOLK, CO10 0NU****- for -****THE ROYAL AGRICULTURAL
BENEVOLENT INSTITUTION (RABI)****1.00 INSTRUCTIONS****1.10 Scope of Instructions**

In accordance with the attached Terms & Conditions of Engagement dated 5th November 2018 and signed by Jeremy Zeid, Authorised Agent, The Royal Agricultural Benevolent Institution (RABI), c/o Whirledge & Nott, The Estate Office, White Hall, Margaret Roding, Chelmsford, Essex, CM6 1QL to inspect the above premises and prepare a Building Condition Survey to report on feasibility of residential conversion into a single dwelling without significant re-building.

1.20 Scope of Inspection

The premises were inspected on 29th November and 4th December 2018. At the time of the inspection the premises were mostly unoccupied and had some items of agricultural implements and various effects stored within the building.

We were not able to inspect fully the north-west side of the building which was covered with overgrown Ivy and brambles and only a very limited inspection could be carried out. Where the timber frame has been concealed by rendered finishes, the full extent of any decay to the framework could not be fully ascertained.

2.00 DESCRIPTION**2.10 Construction History**

The premises comprise a detached 'T' shape timber frame Barn probably dating from the late 17th/early 18th Century built in five timber framed bays with a projecting mid-strey to the central bay facing south-east with double doors opening to the south-east side and similarly double doors opening opposite to the north-west side, with a

lean-to pitched open fronted bay attached at the south-western end on the north-west side. The timber sole plate was originally raised off solid red brick plinths some of which have been repaired or replaced with concrete/cement rendered finishes and the north-east gable fronting Bures Road has been built from solid brickwork which returns along both the north-west and south-east sides. The walls are clad with feather edged horizontal weatherboarding which originally had a tar coated finish. The open fronted lean-to the north-west side has been built of similar timber frame and part solid brick and was originally covered under a clay single roll pantile lean-to pitched roof. The main Barn was possibly originally thatched or tiled and is now covered under a mainly corrugated iron sheet roof with softwood bearers running horizontally across the original rafters.

To the north-east gable bay a blockwork wall has been formed to divide off a compartment for Bays 1 & 2, whilst to the south-west side to Bay 6 a timber frame compartment has been formed to board off a Store, Kitchen and W.C.

The Barn lies to the south-east side of Burnt House Farm which is a Grade II Listed building, although it is understood the Barn is not Listed.

2.20 Location

The gable end of the Barn fronts the south-west side of Bures Road and there is a concrete vehicular access from Bures Road along the south-east side of the Barn. The Barn was probably originally part of the curtilage of Burnt House Farm and is in a semi-rural position adjoining arable fields to the south-east and south-west sides within the small Parish of Little Cornard about 3 miles south-east from the large market town of Sudbury where all usual facilities are available.

2.30 Accommodation

The external and internal appearance of the Barn is as shown on the attached colour photographs (**Appendix A**).

The accommodation is as shown on the attached sketch floor plan (**Appendix B**) and we have also attached a typical cross section through the Barn at **Appendix C**.

The site layout is as shown edged red on the attached extract from the Ordnance Survey Sheet (scale 1/500) supplied to us with our instructions (**Appendix D**).

2.40 Services

We understand the main services of electricity and water are connected or available for connection to the Barn. Foul drainage is believed to discharge into a septic tank type installation.

2.50 Tenure and Town & Country Planning

We have assumed that the premises are Freehold and are not subject to any onerous restrictions or covenants.

As noted at **Paragraph 2.20** above, we understand the buildings are not Listed.

2.60 Weather

The weather at the inspections was very cold, dry and sunny.

3.00 ROOFS

3.10 Externally

The main Barn is covered with a corrugated iron sheet roof which has been laid over softwood horizontal bearers over the original roof rafters. The sheet roofing has been relatively successful in preventing any significant surface water ingress into the roof framework. The roof covering will need to be replaced as part of any conversion to residential use and could revert back to possibly the original tiled roof finish without too much adaption (**see Photos 1, 16 & 21**).

The lean-to roof over the open fronted building to the north-west side has partially collapsed and some of the clay pantiles remain (**see Photos 22 & 26**). Following repairs to the roof framework the roof could be re-covered with the salvaged sound clay pantiles made up with matching reclaimed pantiles.

There are no effective rainwater gutters around the roof eaves and as part of any conversion works, these will need to be installed and could be relatively successfully fixed without any significant alterations to the roof framework.

3.20 Roof Construction

Main Barn

As noted at **Paragraph 2.10** above, the Barn has been formed from six roughly equal size bays with approx. 170mm x 170mm storey frame posts dividing the bays with a mid-strey projection to the central bay projecting to the south-east side.

The roof has generally been framed from about 130mm/140mm wide by 90mm/110mm deep rafters at about 500mm centres rising from the eaves wall plates (where they have been morticed) to the ridge where they have been morticed, tenoned and dowel pinned. At the mid-span of the rafters to both roof slopes are 140mm x 75mm purlins and beneath these and cut around the purlins and fixed to the sides of the rafters to both roof slopes are upper collars about 200mm x 50mm/75mm. The eaves wall plates are tied between the rafter feet with 250mm deep x 130mm wide tie collars which have also been fitted into the south-west gable and divide the Barn into the six bays. The mid-strey projection to the south-east side has been formed from similar rafters, purlins and upper collars (*see Appendix C*).

The roof frame is generally performing adequately and we suspect the roof was formed from recycled timbers from an earlier building as there are tenon slots above the purlin line and some mortice slots below indicating construction from a different roof. The framework is generally serviceable and, apart from minor adjustment and repair, would be serviceable for retention of the roof frame for conversion for residential use. There is evidence of long standing timber infestations to the roof framework which will need treatment. However, with the conversion and reduction of moisture levels to the timbers any risk of future timber infestations can be eliminated.

Lean-to Roof

This has been pitched at a shallower pitch of about 35°/40° and formed from about 125mm x 60mm rafters at about 400mm centres which have been birdsmouthed over a 130mm x 150mm eaves wall plate at the open side and over the main eaves wall plate to the Barn. At the mid-span of the rafters is a central cross purlin running from the front to the rear beneath which has a vertical strut which bears down onto a sloping tie collar (*see Appendix C*).

The roof frame has partially collapsed with the tiles falling off and there has been surface water ingress into the roof frame and this will clearly need more substantial repair and refurbishment before re-forming the roof slope (*see Photos 23,24,26,28 & 30*).

4.00 MAIN EXTERNAL WALLS

As noted at **Paragraph 2.10** above, these have been formed from the 6 no. bays and mid-strey and these have been labelled Bays 1-6 on the attached floor plan and the walls to the lean-to have been labelled Bay 7 (*see Appendix B*). The typical cross section through the Barn is shown at **Appendix C**.

The Barn has been formed from six roughly equal size bays with approx. 170mm x 170mm storey frame posts dividing the bays. The timber frame walls between comprise about 140mm wide x 110mm deep vertical studs at about 500mm centres built into horizontal sole plates and rising into horizontal eaves wall plates.. Some of the lower parts of the frame posts and studs have been enclosed by concrete/cement rendered finishes. The sole plates have been raised up onto solid brick (and later concrete) plinth walls varying from 1m to 1.85m above ground levels as shown labelled A-M on the attached floor plan at **Appendix B**. There are original timber knuckle braces to the storey frame posts and collar ties to each bay some with additional iron braces (*see Photo 43*). The framework has been clad externally with feather-edged horizontal weatherboarding.

Bays 1 & 2 (see Photo 42-48 & 66).

Bay 1 comprising the gable end fronting onto Bures Road with the return walls on both the south-east and north-west sides have been formed from about 425mm solid red brickwork up to about 2m height with the remainder upper wall formed from a mixture of 325mm and 225mm solid brickwork up to the roof purlins with 100mm brickwork above. The wall has rotated over the top and has been restrained in the last 30 years by a mixture of older iron tie rods (2 no.) and a modern 'L' shape channel steel post framework which has been bolted and plated into the wall up to the eaves wall plate and to the gable timber plate and also restrained by a diagonal scaffold pole buttress internally and a flush fitted vertical/horizontal scaffold pole lattice externally (*see Photos 31-39, 41, 47 & 48*).

The brickwork returns to both sides are up to the full height of the eaves plate to the south-east side and about 1.17m height to the north-west side. There is mostly a mixture of older/original lime based mortars in the brickwork with some later cement infill repointing and crack repairs. The remainder of the sides of the bays are 225mm solid brickwork to the south-east side up to the raised sole plate and vertical studwork above up to the eaves wall plate and cement rendered to two thirds of the bricks and studs and one third studwork to the north-west side.

As part of any renovation works and conversion to residential use some substantial repairs will be required to the brickwork to remove delaminated and cement based mortars which cause damage to the brickwork (see Photos 2 & 4). In addition, some partial re-building and re-forming of the wall will be required to restrain the wall and allow the removal of the present temporary shoring structure. The walls may also require local underpinning to provide an adequate foundation to support the weight of the gable wall and restrain the roof structure. Some raking out will be required to the outer face of the gable wall where there are stepped mortar cracks to the left-hand side and localised repairs will also be required and similarly to the right-hand side below the 'S' iron tie (*see Photos 34-36*). A full inspection of the right-hand side (north-west side) was not possible due to the dense Ivy growth and plant vegetation.

Bay 3 (centre bay) (*see Photo 49-52*).

The brick plinth walls have been finished with older/original lime based mortar which is generally serviceable. Some of the brickwork is typically spalled and there are cracked mortar joints which will need repair. As with the roof framework, the wall framework has been affected by long standing timber infestations and these will need to be locally treated and an allowance for some minor repairs but in general the framework is mostly sound.

There is a double pair of doors to the north-west side which are vertical boarded ledged and braced and these are in need of repair but could be salvaged and repaired as part of any conversion works (*see Photo 49*).

Bay 4 (mid-strey) (*see Photo 53 & 54*).

The solid brickwork to both sides has been cement rendered externally up to the sole plate and the render is sparse/cracked and loose (*see Photos 3 & 8*). As part of any renovation works the render will need to be removed and the brickwork reinstated. The remainder of the wall has been finished with part 19th and part 20th Century tar/black painted feather edged horizontal weatherboards which are mostly sound, although some repairs and replacements will be required.

There are raised sole plates and the vertical studwork above has been affected by long standing timber infestations and will require treatment. The brickwork internally mostly comprises older/original lime based mortar which is generally serviceable. There are some typically spalled and cracked brickwork joints which need repair.

There is a double pair of doors to the entrance to the mid-strey which have been split and these will also require some repairs (**see Photos 9 & 53**).

Bay 5 (**see Photos 55-60**).

The plinth to the south-east side has been covered with a thick shuttered concrete over the brick plinth which has compromised the brick plinth and this will need to be removed and an allowance made for repairs/re-forming the brick plinth work (**see Photos 6,7,11 & 13**). The remainder of the wall has been finished with 20th Century black painted feather edged horizontal weatherboards which are generally serviceable. Internally the sole plate has been concealed by red brickwork and cement render infill's and the cement will also need to be removed and the brickwork repaired (**see Photo 57**). The cement has been taken over brick plinths internally and this will also need to be removed. Most of the structure above is the original/older studwork and in similar condition to the remainder of the framework and will need to be treated for timber infestations but is otherwise generally serviceable.

To the north-west side the bay is enclosed mainly by the lean-to structure (**see Photos 23-25**). There is a red brick plinth which is generally sound, although some localised repointing and repairs are required. The upper wall has been clad with horizontal feather edged weatherboard which has been left untreated and some repairs will be required. Internally the sole plates have been concealed and red brickwork has been concealed by cement render infill's and these will need to be removed and an allowance for repairs (**see Photo 59**). The framework above is of similar condition as the remainder of the framework and is generally serviceable and will need to be treated for infestations.

Bay 6 (south-west gable) (**see Photos 61-65**).

To the south-east corner the plinth wall has been covered with a thick cement/shuttered concrete over the brick plinth and this has been affected by movement cracking (**see Photo 15**) which has allowed further surface water ingress into the brick plinth wall. Substantial repairs will be required to this part of the plinth wall including the removal of the shuttered concrete and reinstatement of the original brick plinth walls. Internally the brick plinth walls have been painted over and the lower part of the framework concealed by fibreboard from the Kitchen, Store and W.C. compartment. The fibreboard will need to be removed as part of any conversion works and the framework above is of similar condition and construction to the remainder of the Barn.

The south-west gable wall has been formed from about 425mm/325mm solid red brickwork which has been mostly repointed in cement based mortars (*see Photos 14, 16-19*). The wall has been partly concealed by Ivy growth and the large rendered buttress and could not be fully inspected. However, there was evidence of a number of spalled bricks which will need to be repaired and replaced as part of any renovation works. The remainder of the upper wall has been formed from matching timber framework with 20th Century black painted feather edged horizontal weatherboards. A number of the weatherboards have split and curled and will require replacement. Internally the brickwork has been painted as for the south-east side and the timber framework above is of similar condition.

To the north-west side the red brick plinth wall is exposed in the attached lean-to and is in similar condition to the adjacent Bay 5 and spalled brickwork will need to be repaired. The upper wall has been clad with horizontal feather edged weatherboarding which again has been left untreated and some repairs will be required (*see Photos 26 & 27*). Internally the brick wall has been painted at the lower level and the upper wall level has been formed from timber framework matching the other parts of the bay and is generally serviceable.

Bay 7 (north-west side lean-to) (*see Photo 28-30*).

Due to the overgrowth within the bay area a full inspection was severely limited. The south-west side wall has been formed from a solid red brick wall comprising about 325mm brick plinth walls to a depth of about 600mm with the upper wall formed from 225mm solid brickwork. The brick wall has been laid in mostly original lime based mortars and these now need repair and repointing. The remainder of the upper wall has been formed from timber framework and finished with painted corrugated iron sheeting. ***The corrugated iron sheeting will need to be removed and re-clad with horizontal weatherboarding as part of any renovation and conversion works (see Photo 19).***

The wall facing north-east has been formed from timber framework comprising about 100mm x 50mm vertical studs at about 400mm centres off an eaves wall plate with horizontal weatherboarding externally. The framework has been affected by some surface water ingress and some repairs will be required. The north-west side is open fronted with three roughly equal size bays with bays divided off by Oak posts. Due to the condition of the roof frame some renovation to the posts and enclosure will be required as part of any renovation works.

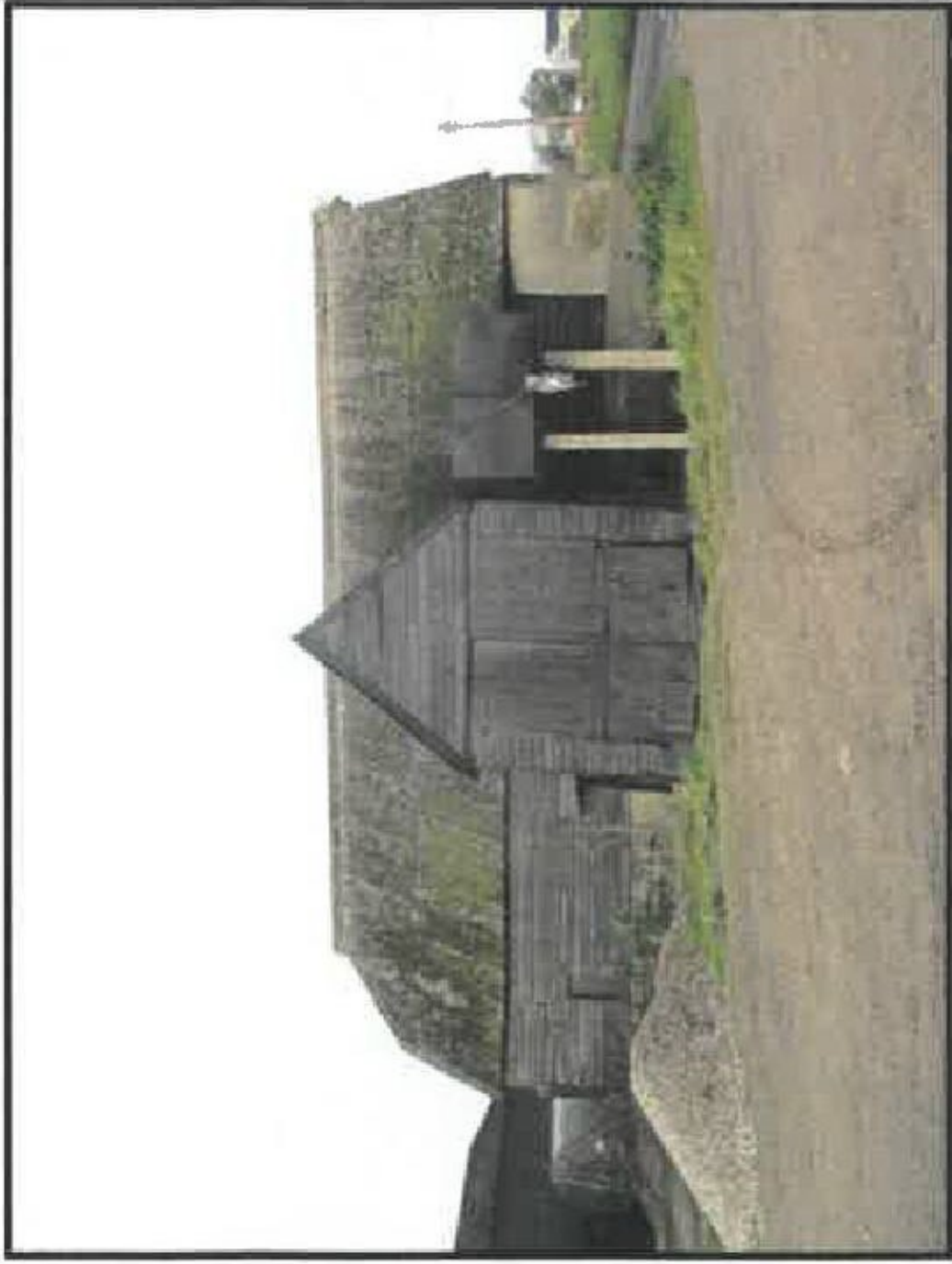
5.00 CONCLUSIONS

In our opinion, it would be feasible to convert the Barn into a single residential dwelling without significant re-building of the structure. There are repairs which are required to the structure which we have noted at the relevant sections above. In addition some additional strengthening will be required to the timber roof and wall framework and rebuilding/strengthening of the solid brick gable wall.



G.N. Harcourt-Powell Esq., FRICS
Director

For and on behalf of Harcourt-Powell Ltd
(t/a Harcourt-Powell Chartered Surveyors)
Chartered Surveyors & Valuers
SUDBURY : SUFFOLK



Front Elevation/South-East Side - Photo 1



Front Elevation/South-East Side - Photo 2



Front Elevation/South-East Side - Photo 3



Front Elevation/South-East Side - Photo 4



Front Elevation/South-East Side - Photo 5



Front Elevation/South-East Side - Photo 6



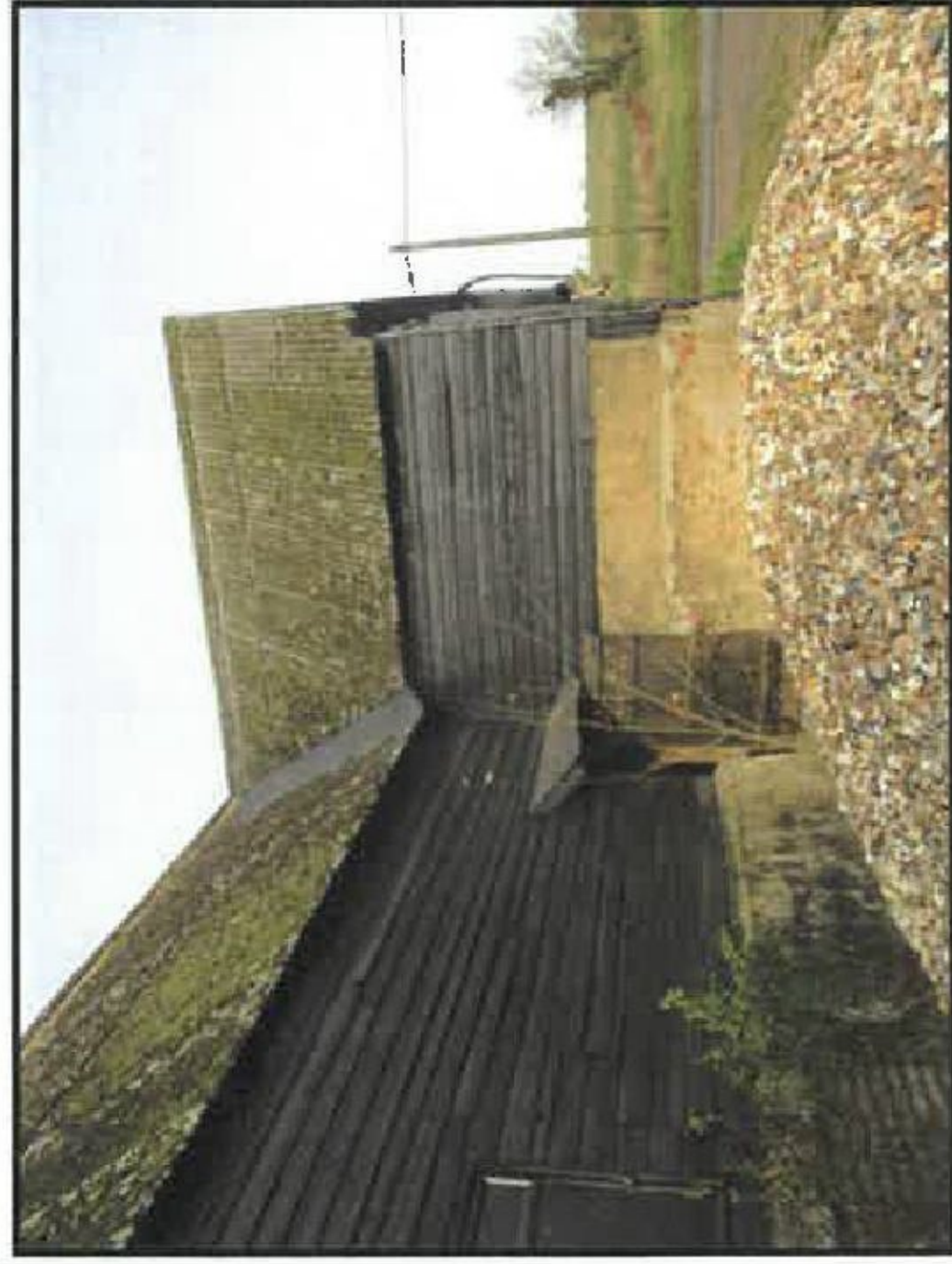
Front Elevation/South-East Side - Photo 7



Front Elevation/South-East Side - Photo 8



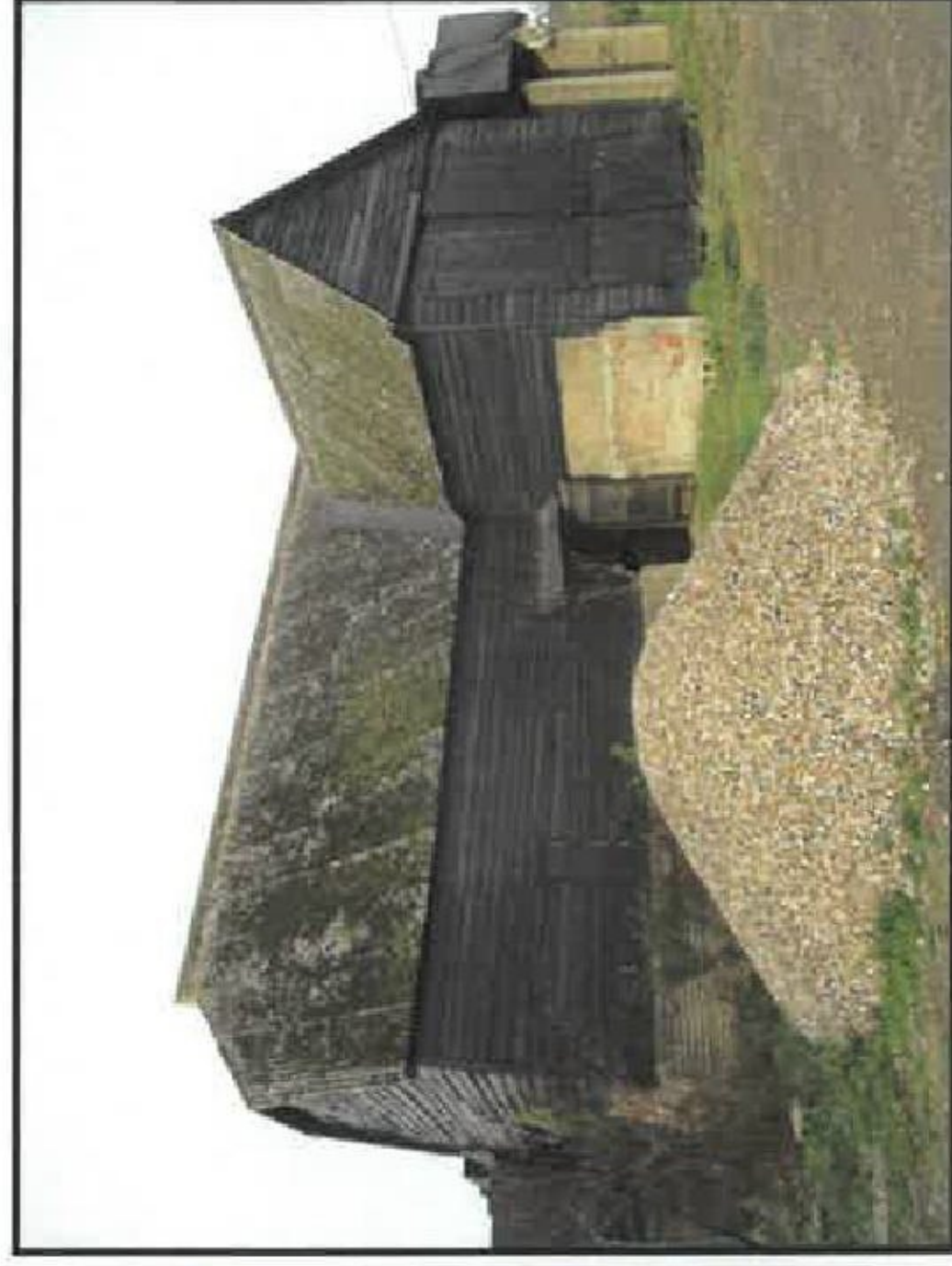
Front Elevation/South-East Side - Photo 9



Front Elevation/South-East Side - Photo 10



Front Elevation/South-East Side - Photo 11



**South-East/
South-West Side Elevation - Photo 12**



South-East/

South-West Side Elevation - Photo 13



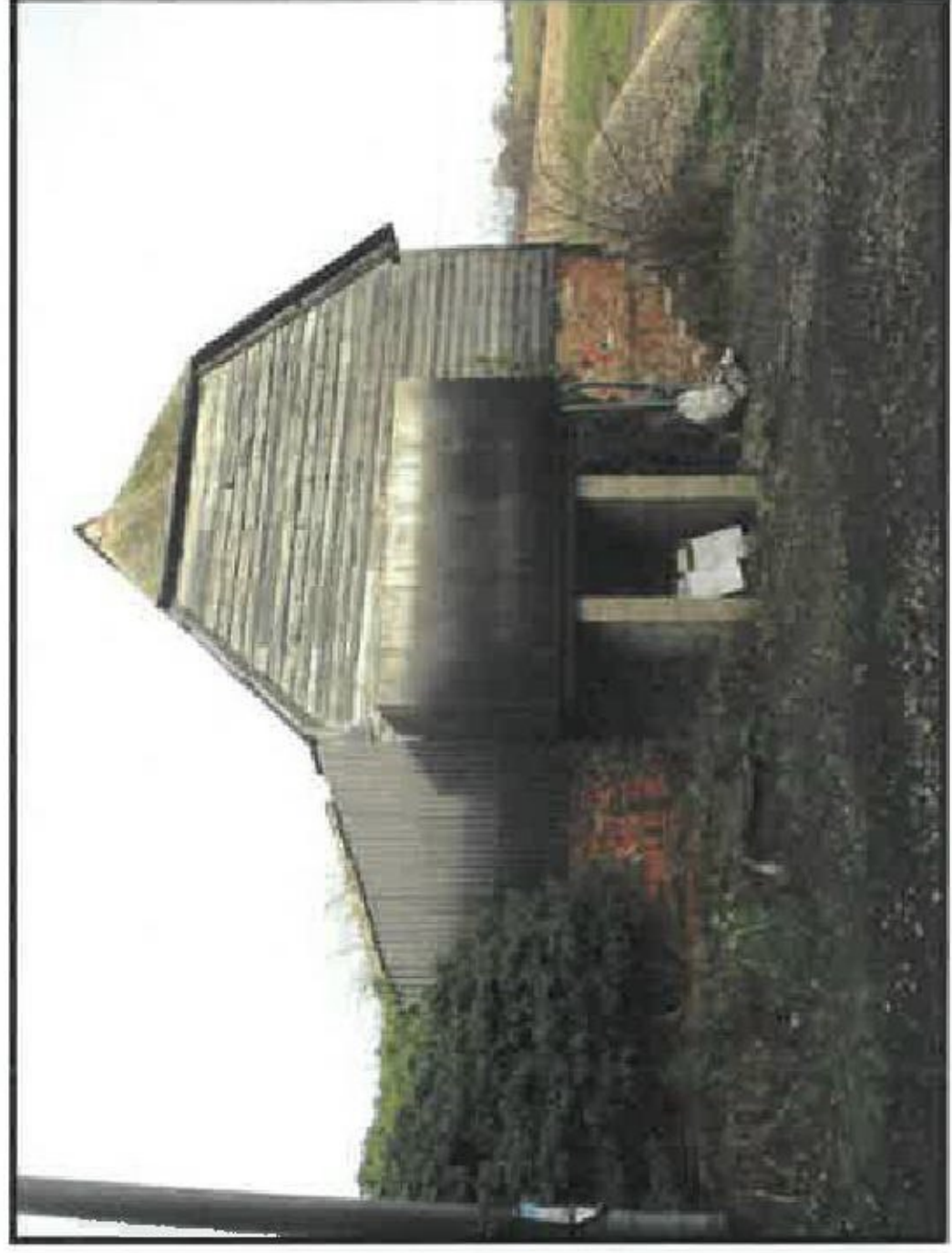
South-West Side Elevation - Photo 14



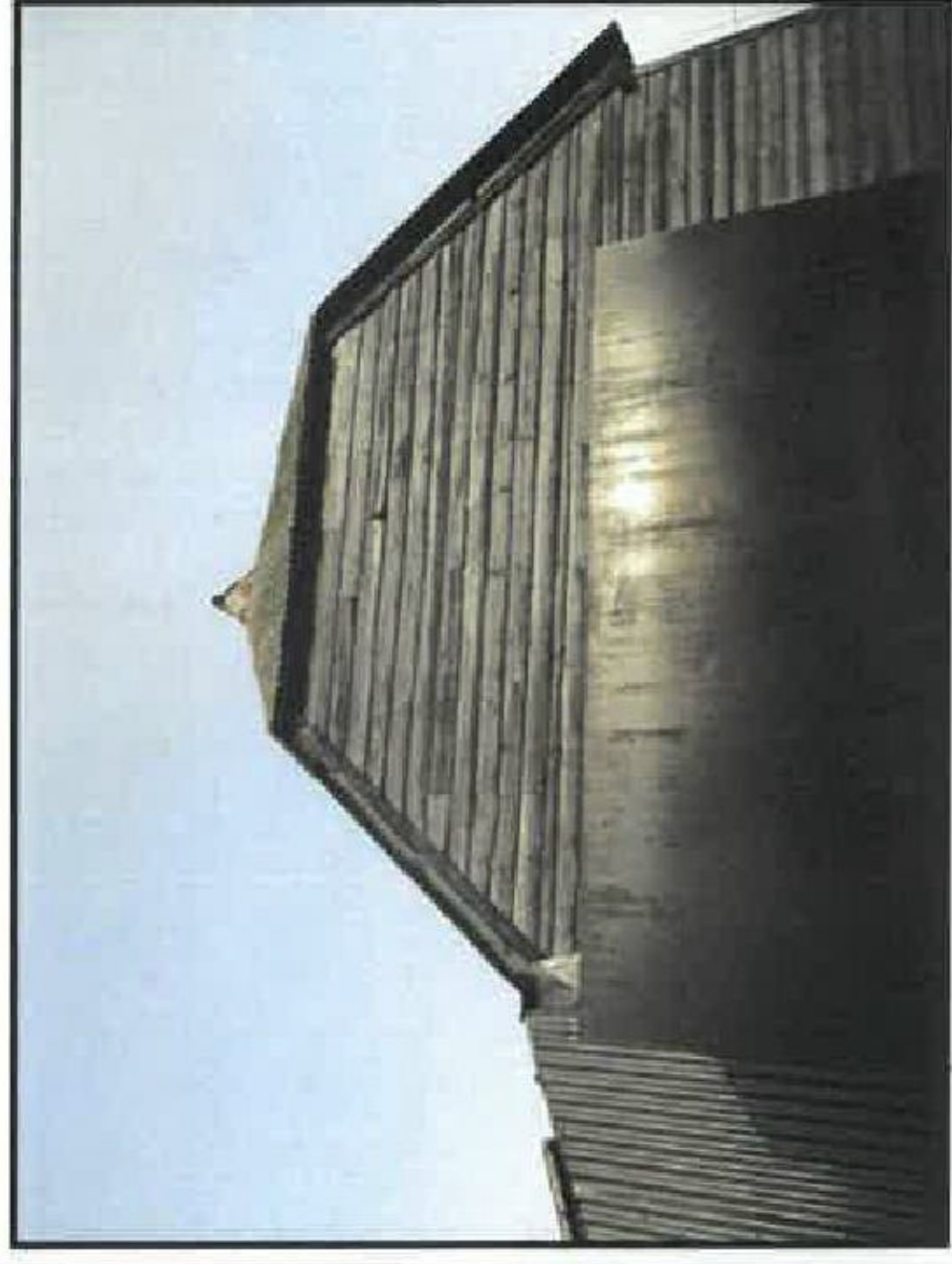
South-West Side Elevation - Photo 15



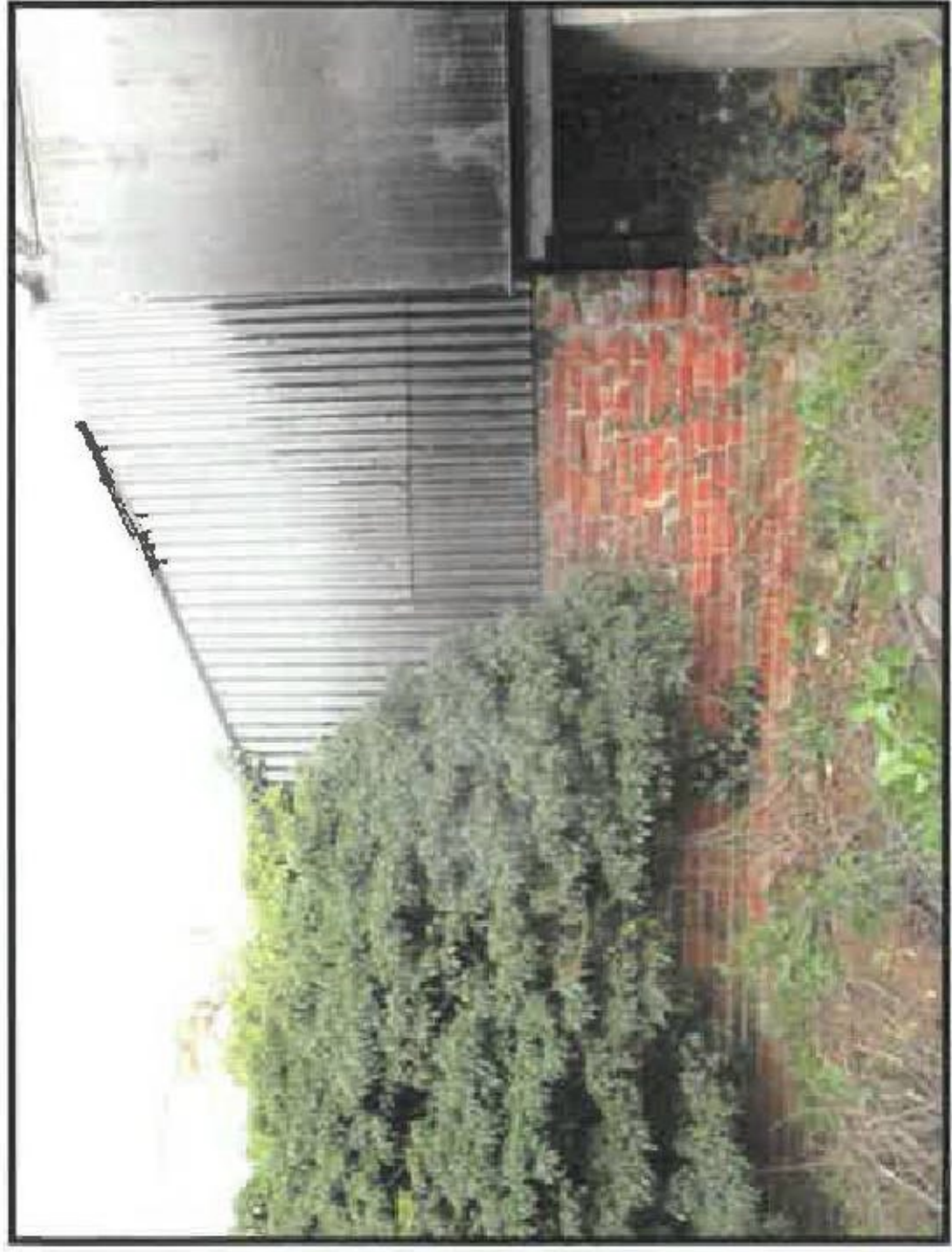
South-West Side Elevation - Photo 16



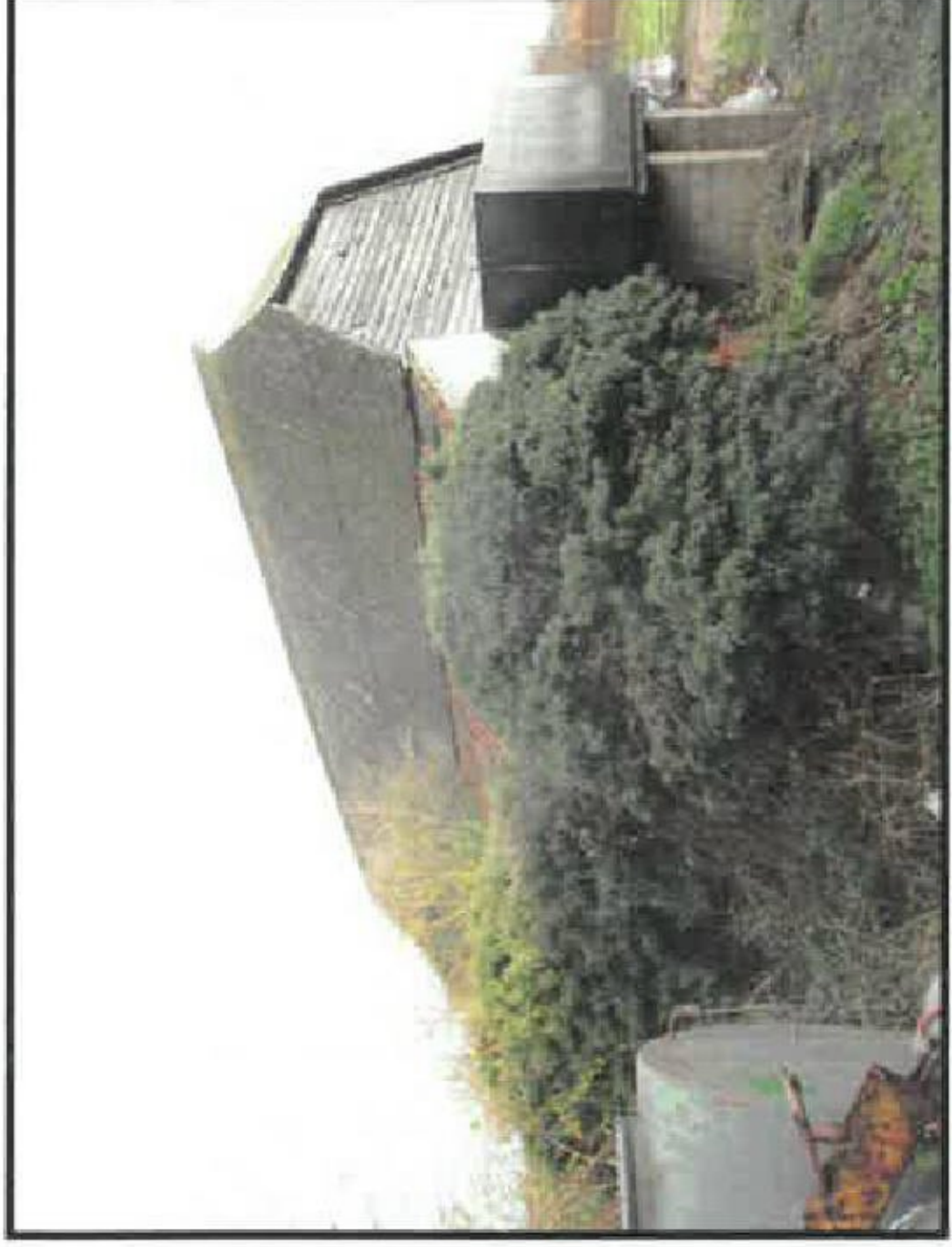
South-West Side Elevation - Photo 17



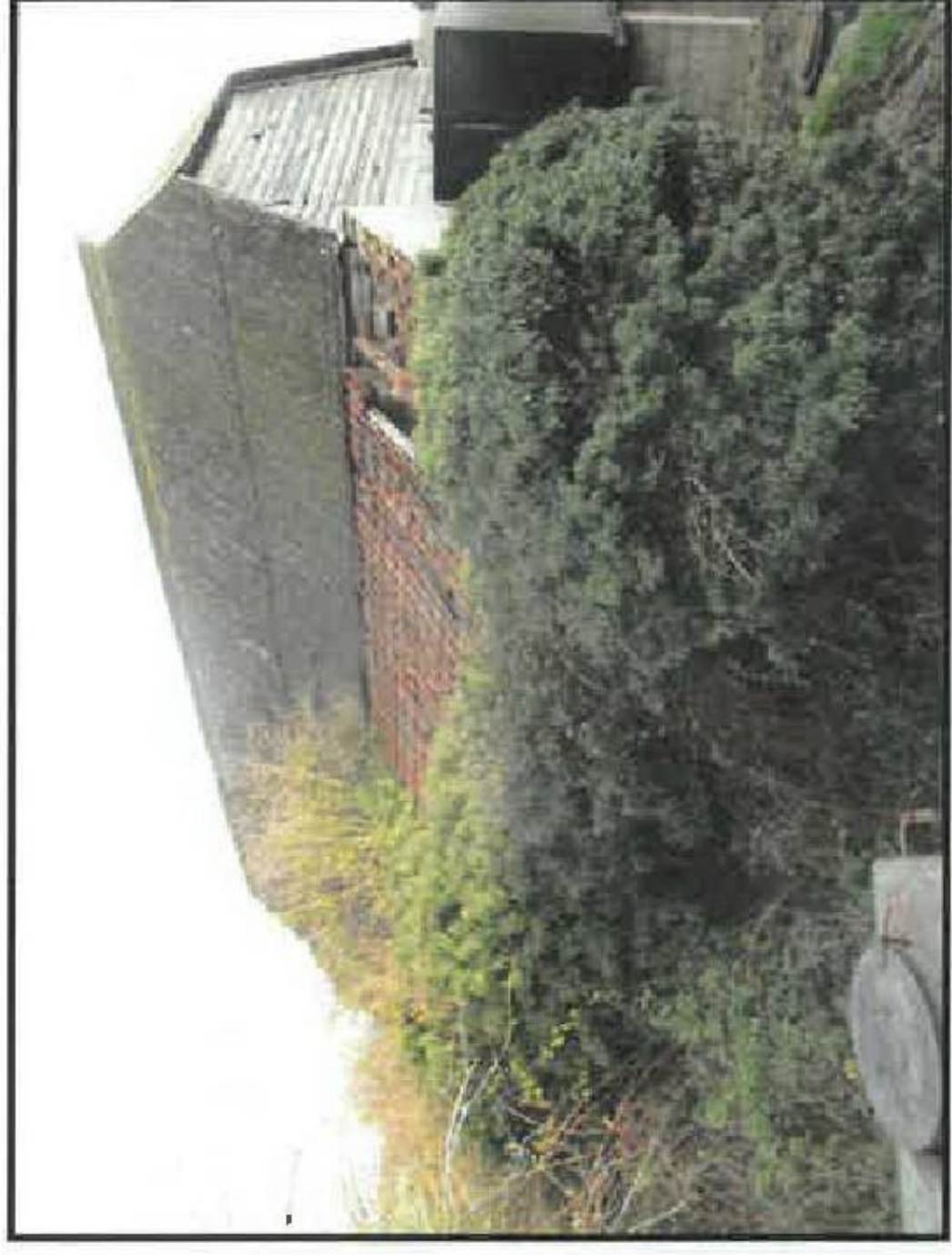
South-West Side Elevation - Photo 18



South-West Side Elevation - Photo 19



**South-West Side/
North-West Side Elevation - Photo 20**



North-West Side Elevation - Photo 21



North-West Side Elevation - Photo 22



North-West Side Elevation - Photo 23



North-West Side Elevation - Photo 24



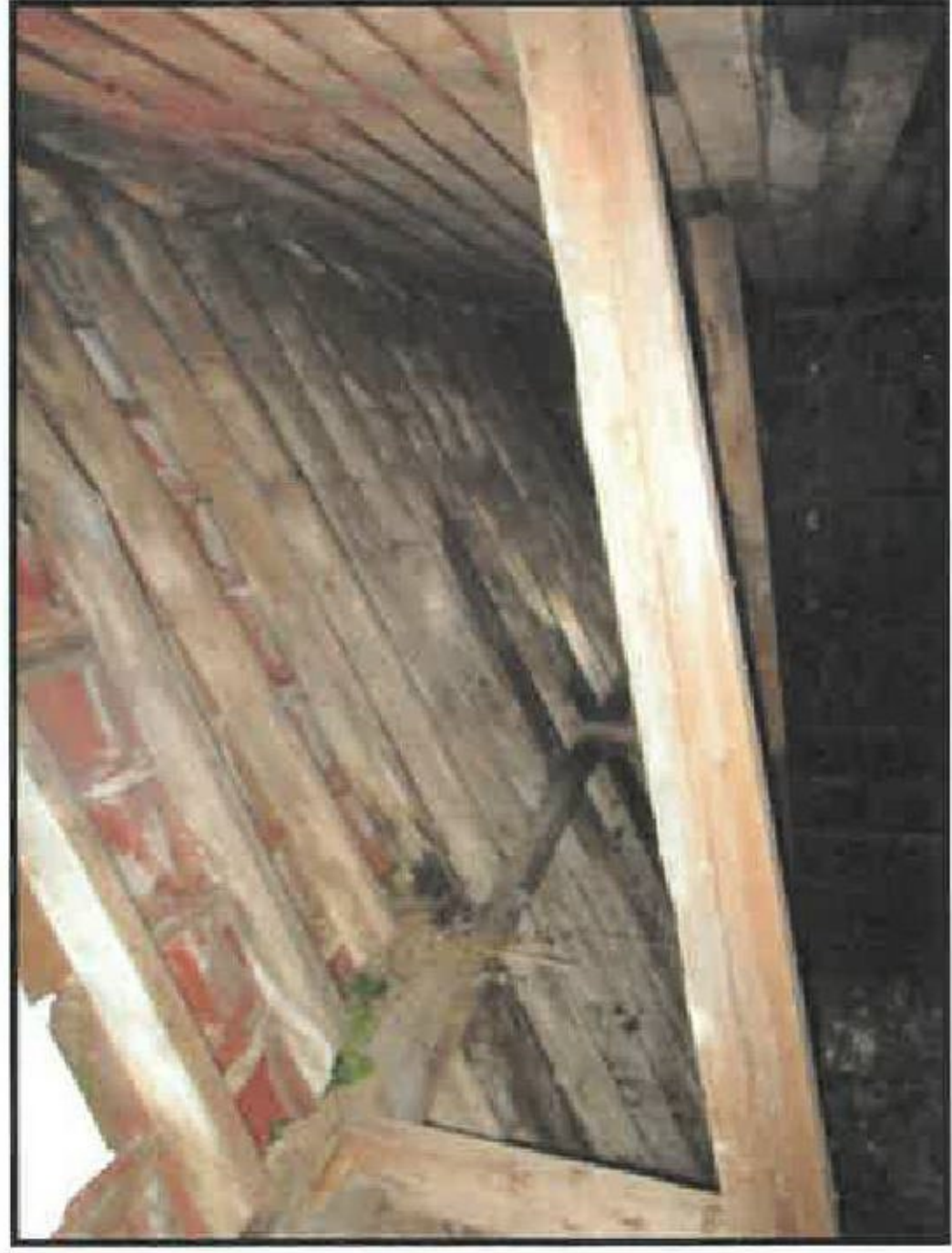
North-West Side Elevation - Photo 25



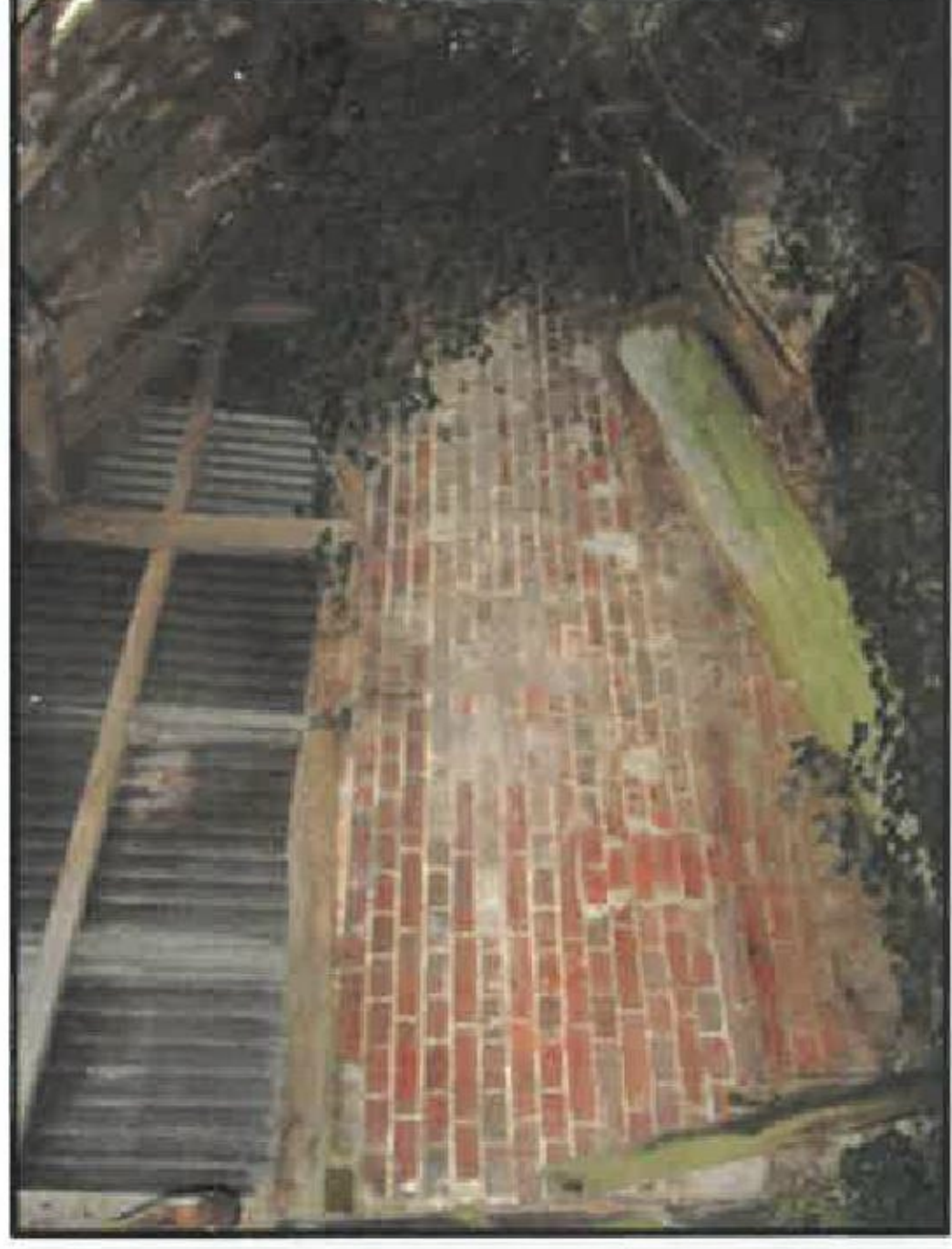
North-West Side Elevation - Photo 26



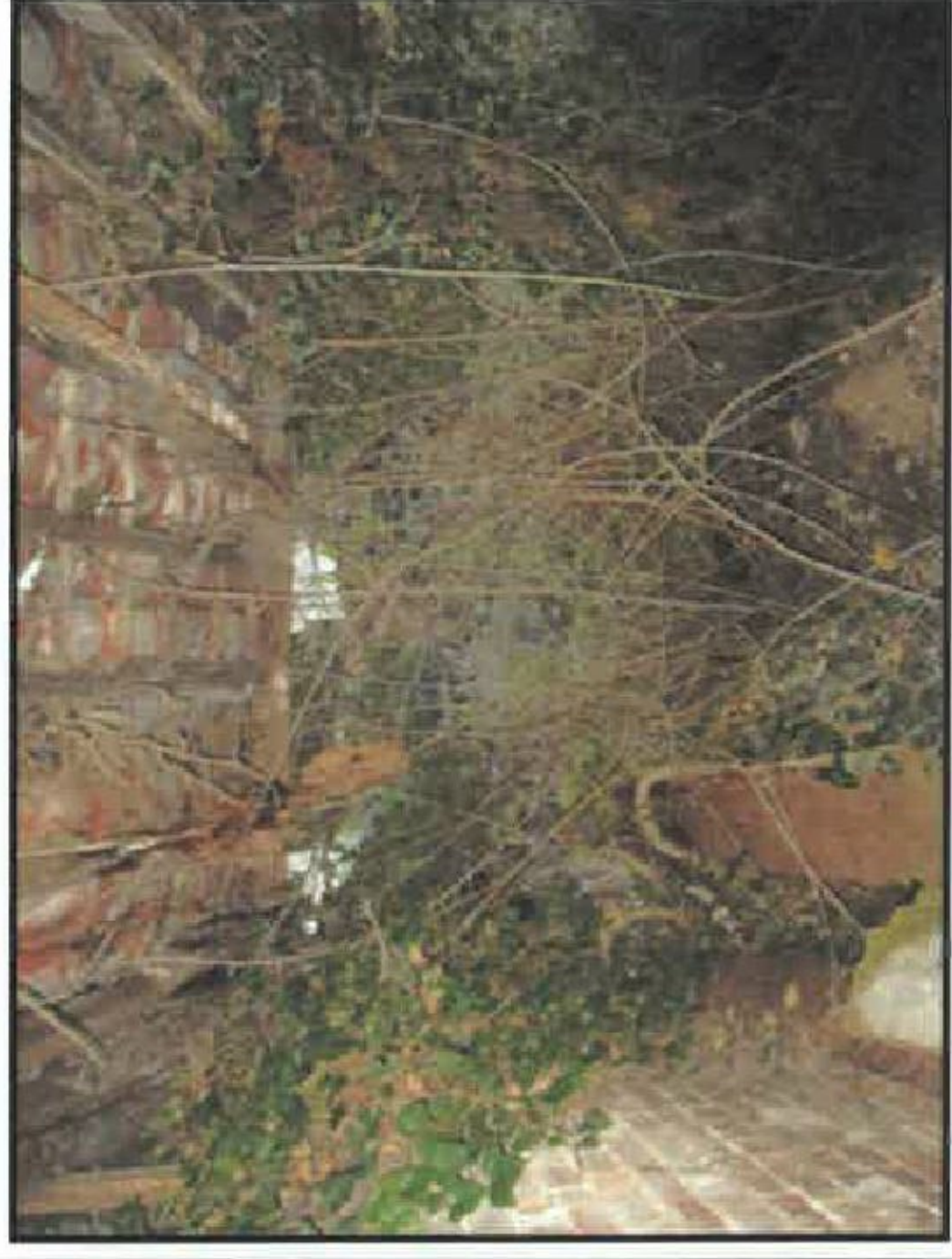
North-West Side Elevation - Photo 27



North-West Side Elevation - Photo 28



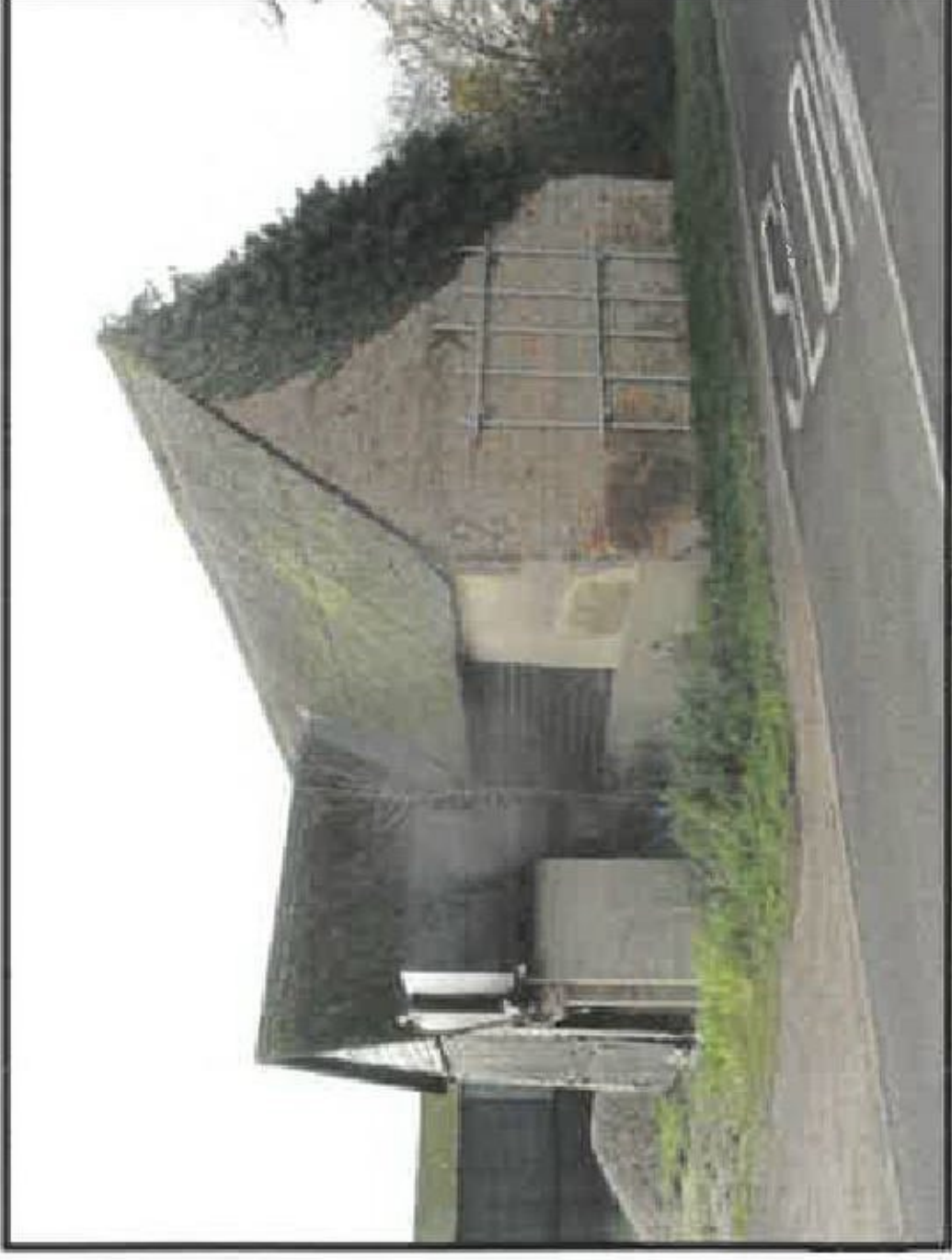
North-West Side Elevation - Photo 29



North-West Side Elevation - Photo 30



Front/North-East Side Elevation - Photo 31



Front/North-East Side Elevation - Photo 32



North-East Side Elevation - Photo 33



North-East Side Elevation - Photo 34



North-East Side Elevation - Photo 35



North-East Side Elevation - Photo 36



North-East Side Elevation - Photo 37



**North-East Side/
North-West Side Elevation - Photo 38**



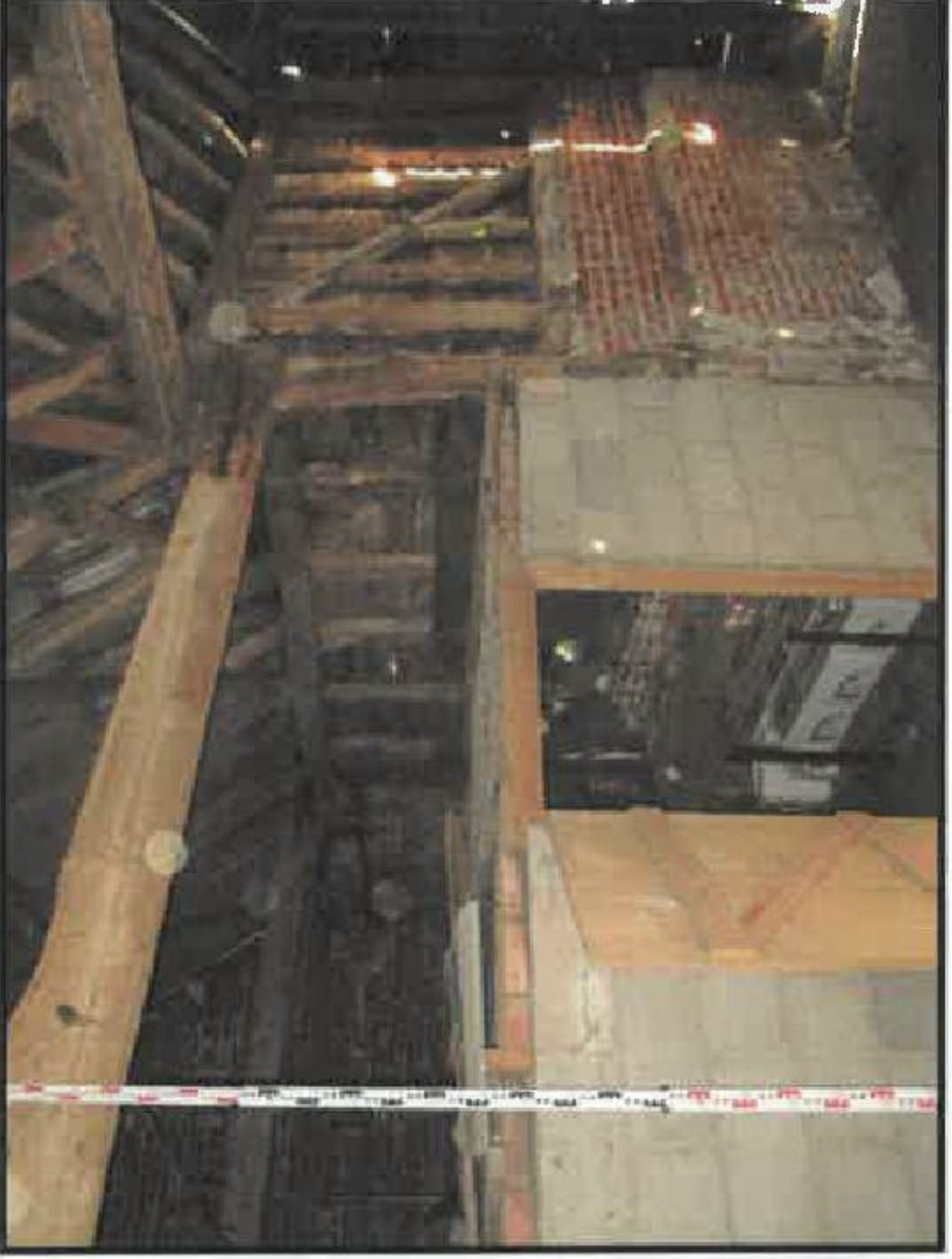
**North-East Side/
North-West Side Elevation - Photo 39**



North-East Gable Wall - Photo 40



North-East Gable Wall - Photo 41



Bays 1 & 2 - Photo 42



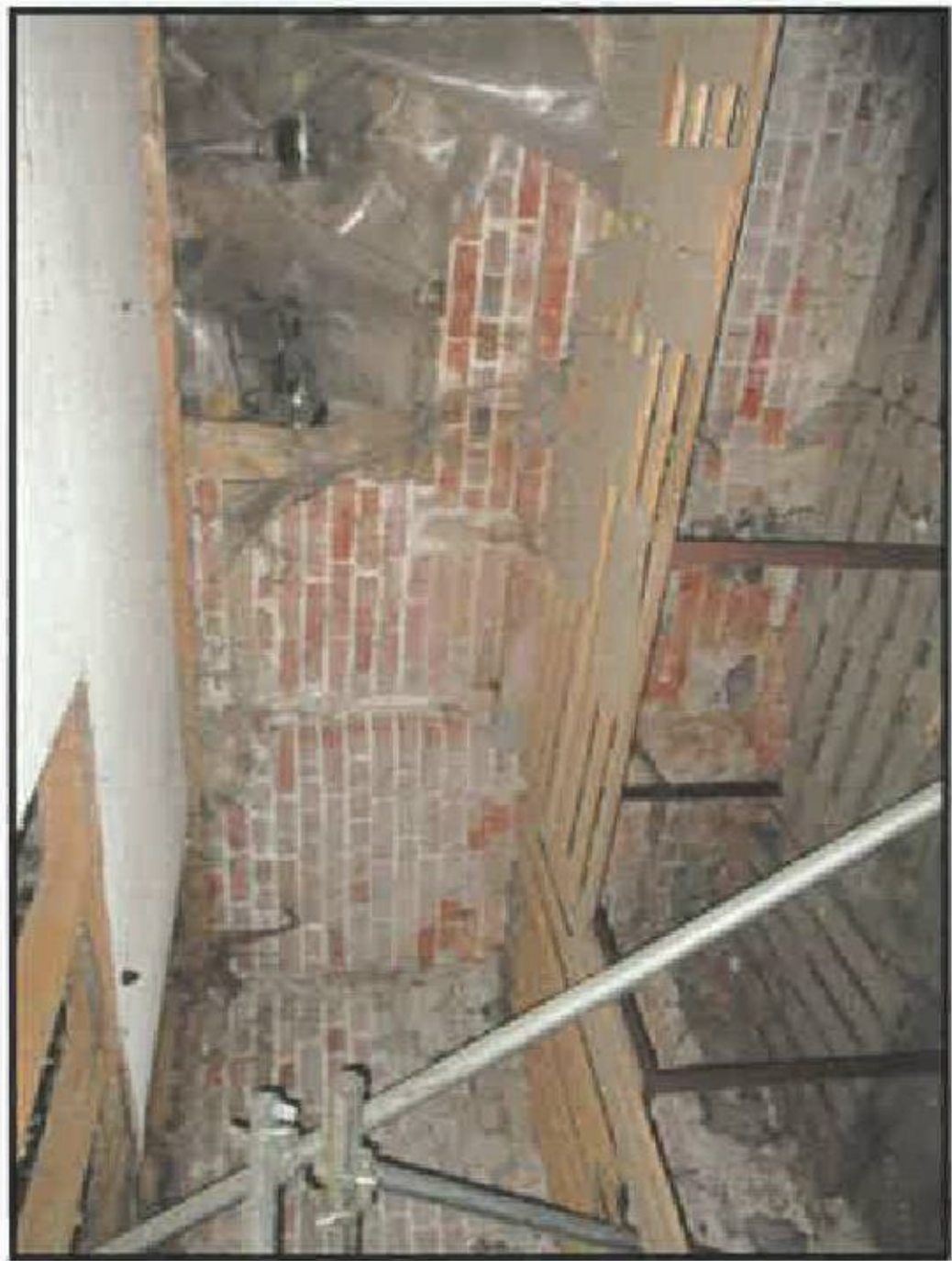
Bays 1 & 2 - Photo 43



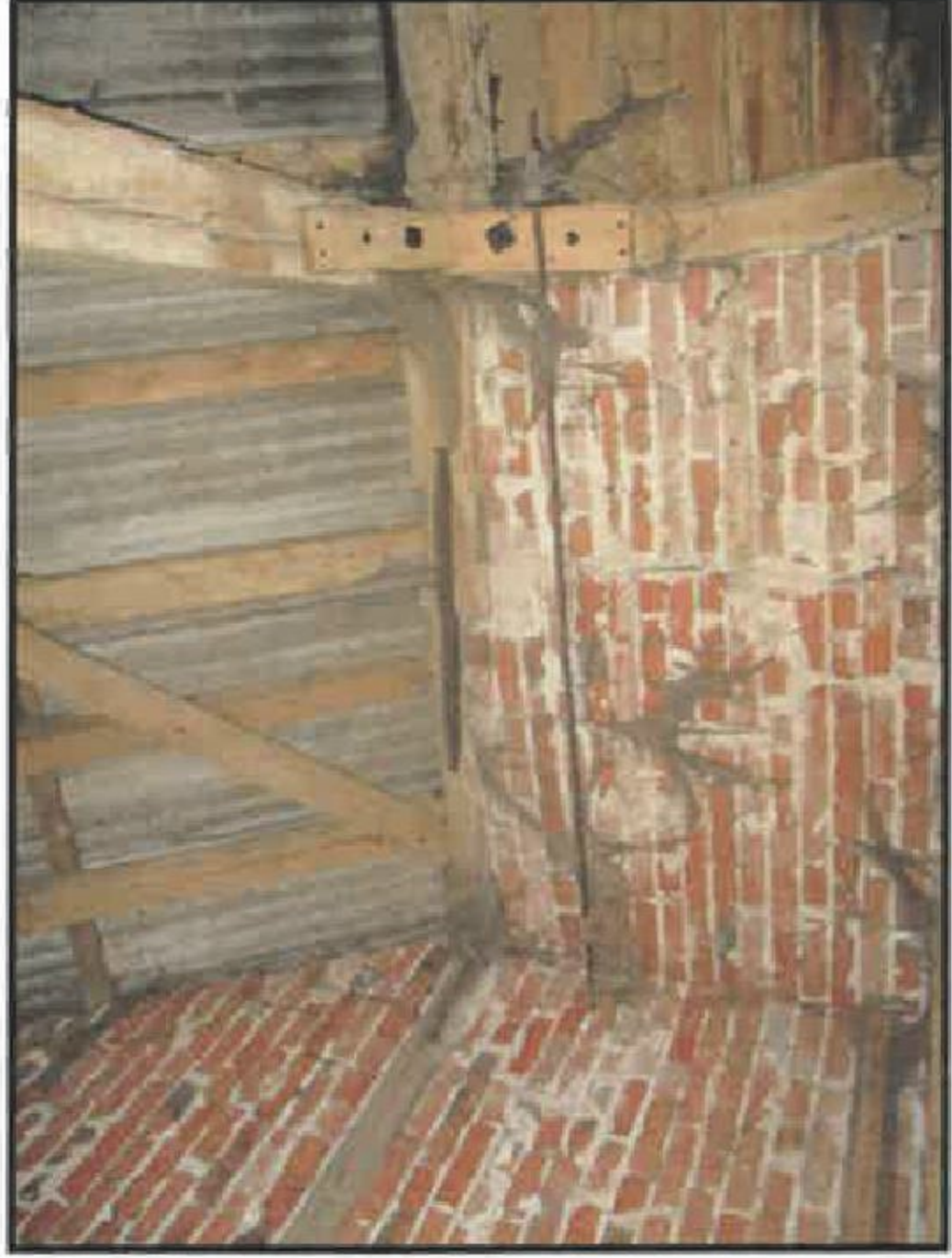
Bays 1 & 2 - Photo 44



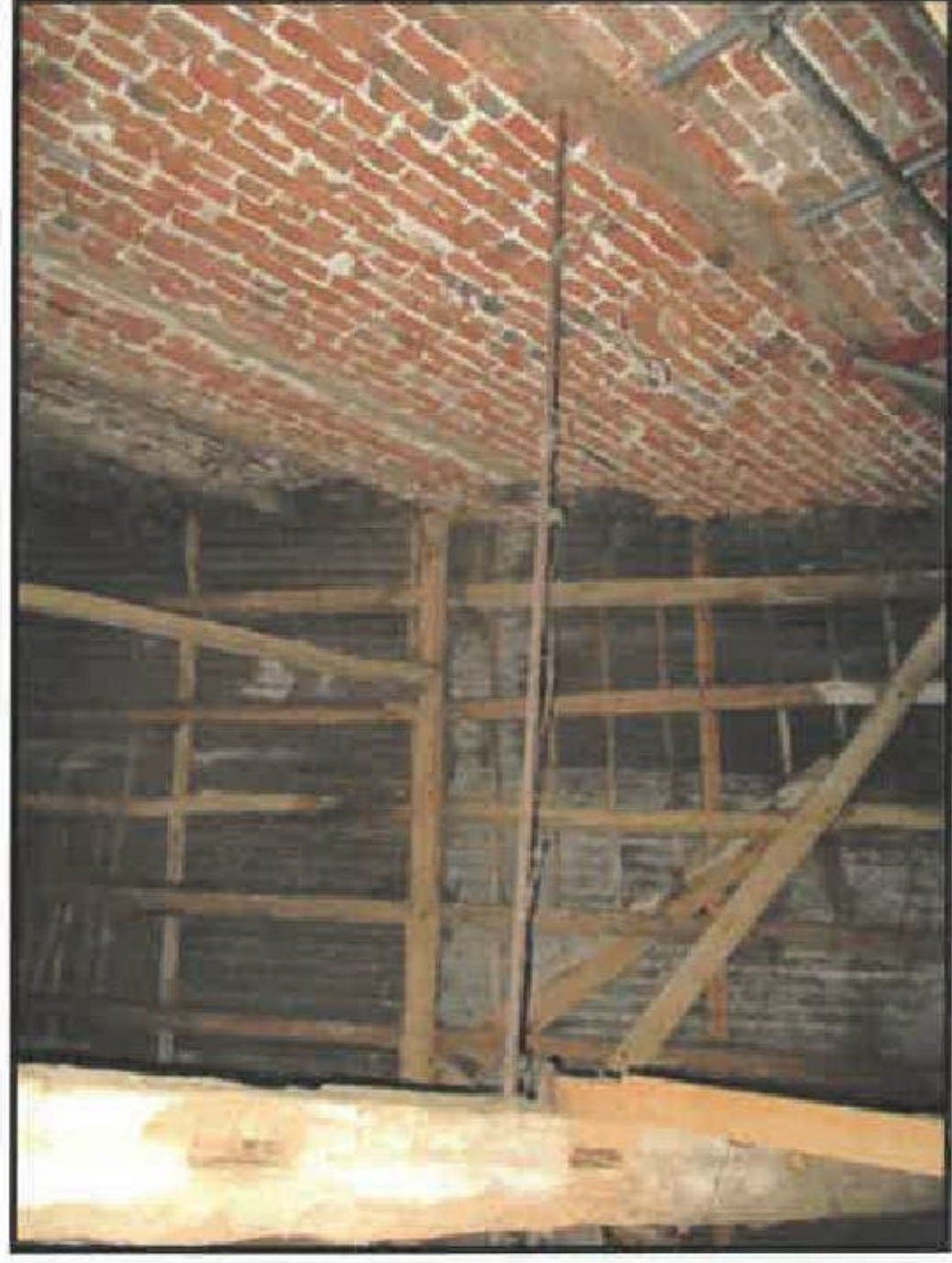
Bays 1 & 2 - Photo 45



Bays 1 & 2 - Photo 46



Bay 1 - Photo 47



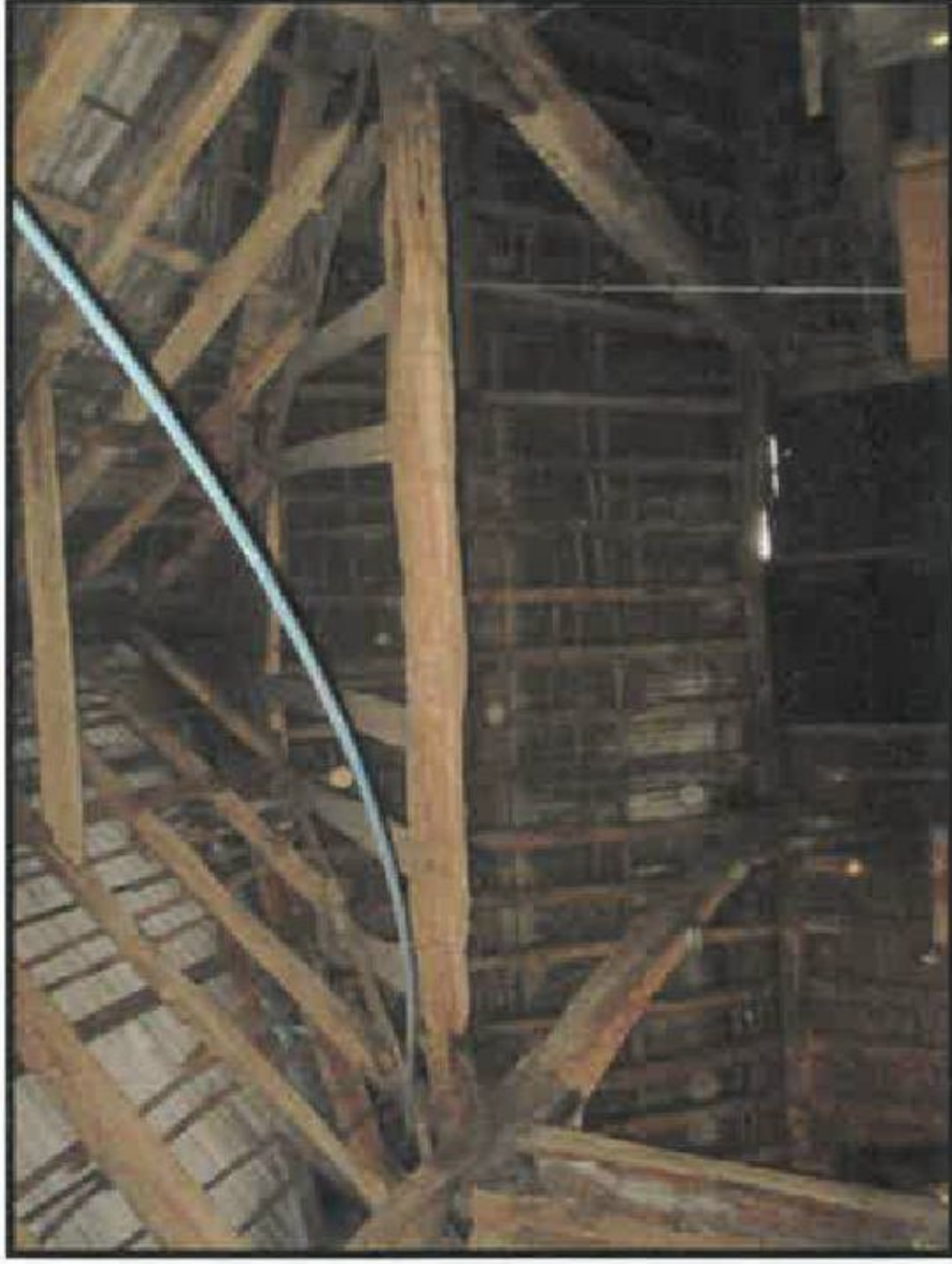
Bay 1 - Photo 48



Bay 3 - Photo 51



Bay 4 - Photo 54



Bay 3 - Photo 50



Bay 4 - Photo 53



Bay 3 - Photo 49



Bay 3 - Photo 52



Bay 5 - Photo 55



Bay 5 - Photo 56



Bay 5 - Photo 57



Bay 5 - Photo 58



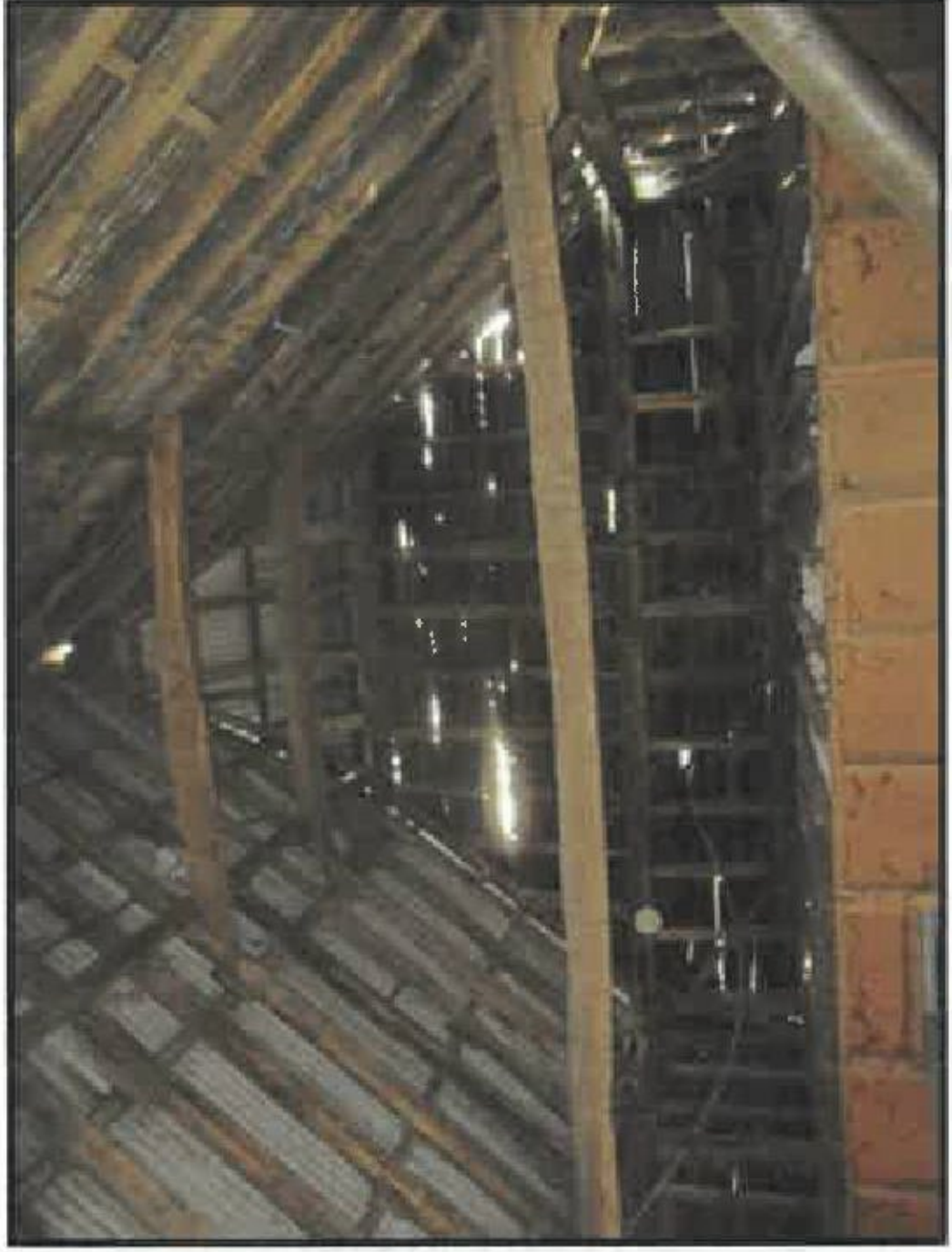
Bay 5 - Photo 59



Bay 5 - Photo 60



Bay 6 - Photo 61



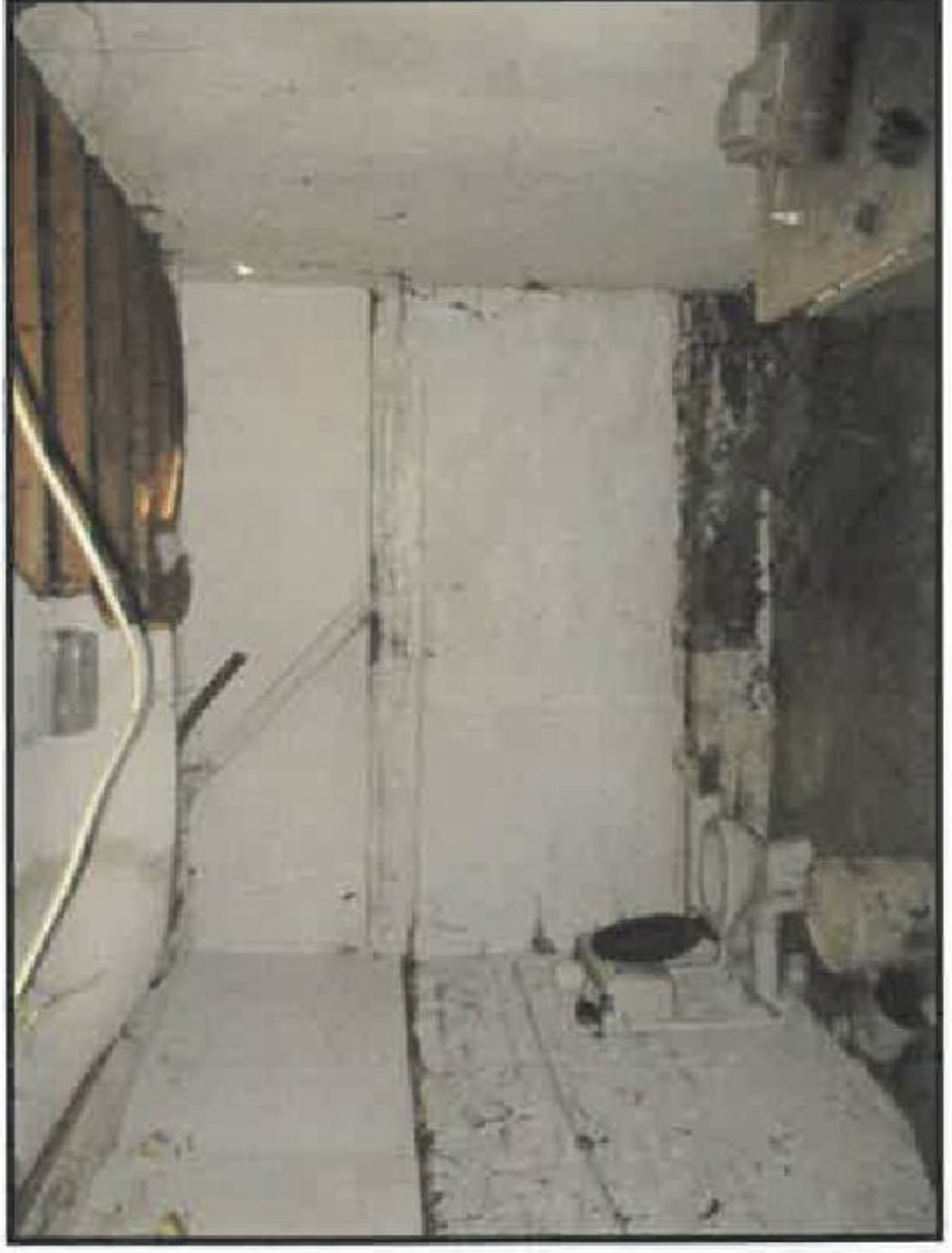
Bay 6 - Photo 62



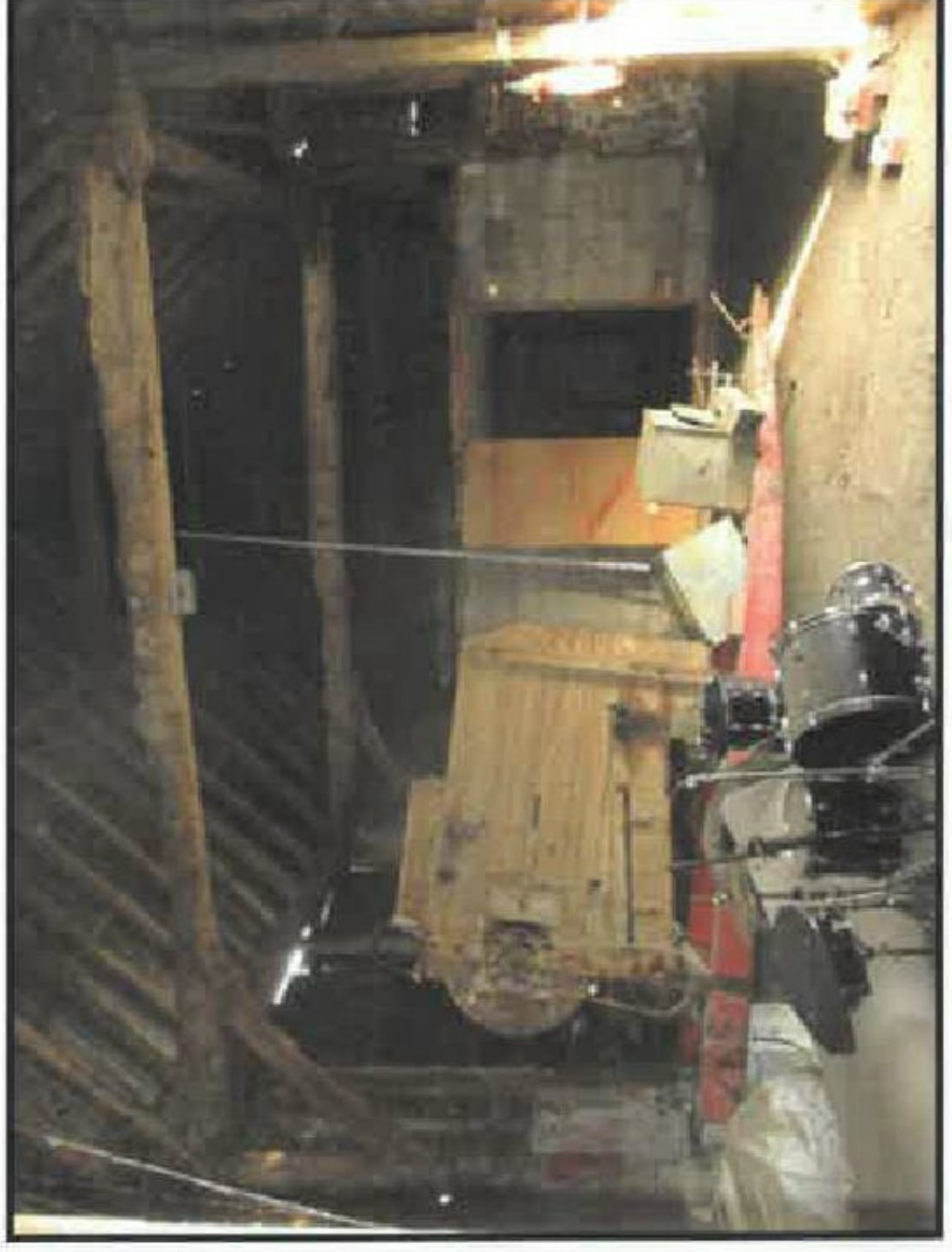
Bay 6 - Photo 63



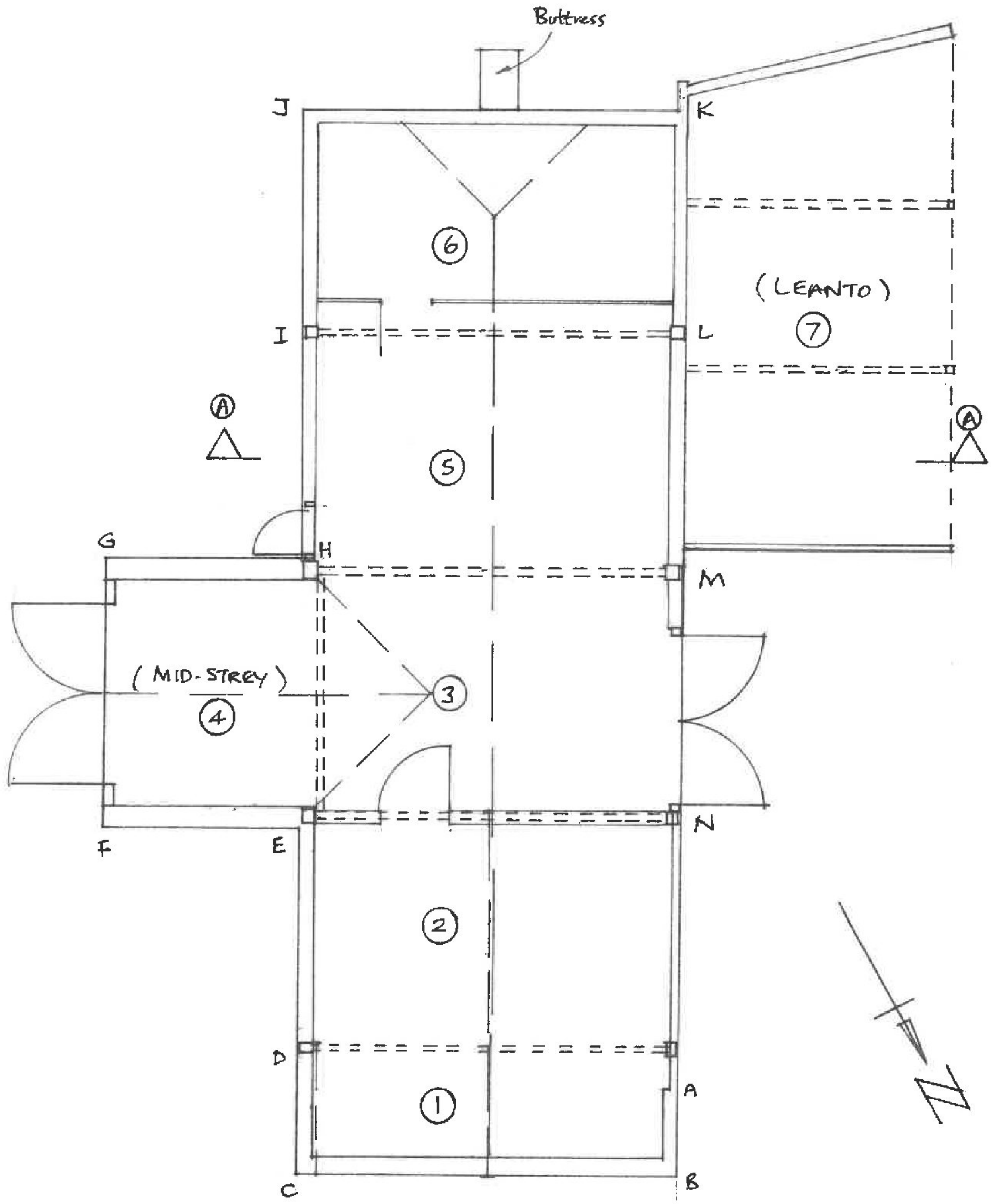
Bay 6 - Photo 64



Bay 6 - Photo 65

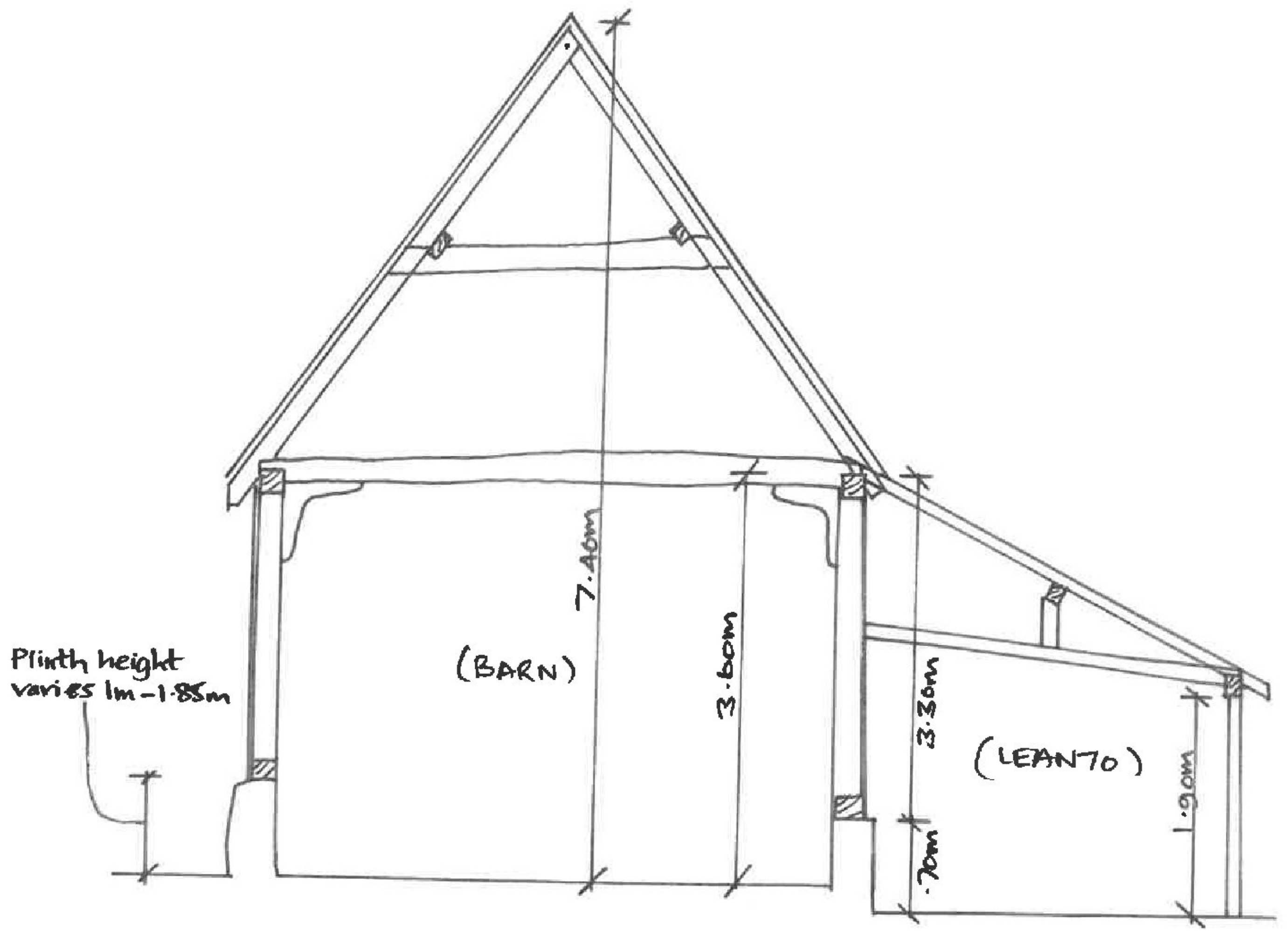


Bays 1-3 - Photo 66



- | | |
|---------------|---------------------------------------------|
| A - B - C - D | Full height solid brick |
| DE | 1.30m height " " |
| E-F | 1.85m height " " |
| G-H | } 1m - 1.15m height shuttered concrete |
| H-I-J | |
| J-K | 1.55m height (1.90m externally) solid brick |
| K-L-M | 1.45m height solid brick |

APPENDIX - C



TYPICAL CROSS SECTION A - A

Barn at Burnt House Farm, Bures Road, Little Cornard, Suffolk, CO10 0NU



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Site Plan

COMMERCIAL BUILDING INSPECTION

TERMS AND CONDITIONS OF ENGAGEMENT

Particulars

| | | |
|---------------------------------------------------------------------------------------------|---------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------|
| The Client: | (Name) (Address) | The Royal Agricultural Benevolent Institution (RABI) c/o Whirledge & Nott, The Estate Office, White Hall Margaret Roding, Chelmsford, Essex, CM6 1QL |
| The Surveyor: | (Name) (Address) | G.N. Harcourt-Powell Esq., FRICS Harcourt-Powell Ltd., 9 King Street Sudbury, Suffolk, CO10 2EB |
| Purpose of the Report: | | Building Condition Survey to report on feasibility of residential conversion into a single dwelling without significant re-building |
| Details of any special instructions: | | None |
| Likely inspection date: | | 29 th November 2018 |
| Likely Report delivery date: | | Friday, 7 th December |
| Number of copy Reports to be provided: | | One |
| Agreed Fee (inclusive of VAT): | | £1,080 (incl. VAT) |
| Additional Fees (inclusive of VAT): (See Clause 2 Additional Services) | | £N/A |
| Payment Date: | | With instructions. |
| Signature(s) of Client(s) to confirm acceptance of Terms and Conditions of Engagement | |  |
| Date: | |  |

Specific Terms

1. **Description of the Property to be inspected**

| | |
|------------------------|-----------------------------------------------------------------------------------------------------|
| Property Address: | Barn at Burnt House Farm, Little Cornard Sudbury, Suffolk, CO10 0NU |
| Property Type: | Detached timber frame and part brick Barn as shown edged red on the attached extract from Promap |
| Purchase Price/Rental: | N/A |

Jeremy Ford Authorized Agent
5/11/18

2. Additional Services (if applicable) *

2.1 Testing of services (specify at Clause 3.1 below) No

2.2 Additional investigation No

The Client will obtain the Property owner's consent to, and the Surveyor will carry out, the following additional investigations:

2.3 Arboricultural Report No

2.4 Costed estimates for repairs No

2.5 Market Valuation No

2.6 Insurance rebuilding cost assessment No

* Fees to be agreed if any Additional Services required.

3. Special Terms Agreed (if applicable)

3.1 [Record any special terms agreed] No

4. Principal Exclusions

4.1 [Record areas of limitations on Survey and Report] No

General Terms

1. Introduction

- a. This document sets out the contractual terms upon which the Surveyor will advise the Client by means of a written report as to his or her opinion of the visible condition and state of repair of The Property.
- b. The individual carrying out the inspection and providing advice will be a Chartered Surveyor.
- c. The Surveyor will use all of the care and skill to be reasonably expected of an appropriately experienced Chartered Surveyor.

2. Content of the Report

In accordance with these terms the Surveyor will use his or her best endeavours to report upon:

- a. the main aspects of the Property including assessing the site/location, the design, structural framework, fabric and services;
- b. the grounds, boundaries and environmental aspects considered to affect the Property;
- c. any requirements for further investigation arising from the inspection.

3. Delivery of the Report

- a. The Report is to be delivered by the date agreed or at such later date as is reasonable in the circumstances.
- b. The Surveyor will send the Report to the Client's address (or other agreed address) by first class post for the sole use of the Client. The Client agrees to keep the Report confidential disclosing its contents only to the Client's professional advisors. In particular (but without limit) the Client must not disclose the whole or any part of the Report to any person (other than a professional advisor) who may intend to reply upon it for the purpose of any transaction.

4. Payment of Fees

- a. The Client will pay the Agreed Fee, any Additional Fees, any VAT and any agreed disbursements in advance on presentation of a Proforma Invoice. The Client's fee will be paid into the Surveyor's Office Bank Account and is not protected by the RICS Client Money Protection Scheme.
- b. The Client will be liable for interest on any late payment at the rate of 8% p.a. above the Bank of England base rate current at the date of the relevant fee account.
- c. The Client will be entitled to cancel this Contract by notifying the Surveyor's Office at any time before the day of the inspection.
- d. In the event of cancellation by the Client on the day of the inspection the Surveyor will refund any money paid by the Client and reserves the right to charge for the abortive inspection and Report at an hourly rate of £75 per hour (plus VAT), subject to a minimum charge of £150 (plus expenses and VAT).

5. Assumptions

Unless otherwise expressly agreed the Surveyor while preparing the Report will assume that:

- a. the Property (if for sale) is offered with vacant possession.
- b. the Property is connected to mains services with appropriate rights on a basis that is known and acceptable to the Client; and
- c. access to the Property is as of right upon terms known and acceptable to the Client.

6. Scope of the Inspection

a. Generally

- i. The Surveyor will consider his or her advice carefully but is not required to advise on any matter the significance of which in relation to the Property is not apparent at the time of inspection from the inspection itself.
- ii. The Surveyor will inspect diligently but is not required to undertake any action which would risk damage to the Property or injury to him or herself or any other party.
- iii. The Surveyor will follow the guidance given in *Surveying Safely: A Commitment To Personal Safety* issued by the RICS in February 2002 (as amended).
- iv. The Surveyor will not undertake any structural or other calculations.
- v. The Surveyor will not produce a repair schedule, planned maintenance report, feasibility report or advise on design, procurement or project management unless expressly agreed with the Client.

b. Accessibility

- i. The Surveyor will inspect as much of the internal and external surface area of the building as is practicable but will not inspect those areas which are covered, unexposed (such as concealed timber or steel, foundations or footings and wall ties), or not reasonably accessible from within the site or adjacent public areas.
- ii. The Surveyor is not required to move any obstruction to inspection including, but not limited to, furniture and floor coverings.
- iii. The Surveyor will not open up or cut into the building fabric without specific directions from the Client. Such intrusive investigations, if instructed by the Client, will be at the risk and liability of the Client and will be assumed to be with agreement between the Client and the Building Owner.

c. Floors

The Surveyor will lift accessible sample loose floorboards and trap doors, if any, which are not covered by heavy furniture, ply or hardboard, fitted carpets or other fixed floor coverings. The Surveyor will not attempt to cut or lift fixed floorboards without express permission of the owner.

d. Fixed Covers or Housings

The Surveyor will not attempt to remove securely fixed covers or housings without the express permission of the owner.

e. Roofs

The Surveyor will inspect the roof spaces if there are available hatches which are not more than three metres above the adjacent floor or ground or a safe working platform available to work from. Where no reasonable access or safe working platform is available, the roof spaces will not be inspected. Similarly, outer surfaces of the roof or adjacent areas will be inspected, using binoculars, but will be excluded if they cannot be seen.

f. Dampness and Condensation

The Surveyor will take dampness readings throughout the building, where accessible and considered appropriate, with an electrical conductor damp meter. Where the Surveyor makes comments in his Report in respect of condensation, they are based on a visual assessment only as at the date of the inspection and not on the very complex test and investigations necessary to assess the precise risk of a future problem developing.

g. Boundaries, Grounds and Outbuildings

Where reasonable access is available, the inspection will include boundaries, grounds and permanent outbuildings but will not include temporary buildings or structures.

h. Services

The Surveyor will carry out a visual inspection of the service installations where accessible. Drainage inspection covers will be lifted where they are accessible and it is safe and practicable to do so. No tests of the service installations will be carried out unless previously agreed, although general overall comments will be made where possible and practicable. The Surveyor will report if it is considered that tests are advisable.

i. Areas Not Inspected

The Surveyor will identify any areas which would normally be inspected but which he was unable to reasonably inspect and indicate where he considers that access should be obtained or formed and, furthermore, he will advise on possible or probable defects based on evidence from what he has been able to see.

j. Environmental and Other Issues

- i. Particular noise, dust, flooding or contaminated land and disturbance affecting the Property will only be noted if it is reasonably significant at the time of the inspection or if specific investigation has been agreed between the Surveyor and the Client and confirmed in writing.
- ii. The Surveyor will report on any obvious health and safety hazards to the extent that they are apparent from elements of the Property considered as part of the inspection.
- iii. The Surveyor will not undertake a fire risk assessment or consider fire safety risks to the extent that they are apparent from elements of the property considered as part of the inspection.

k. Technical Equipment

The Surveyor will not cover in his Report any assessment of the building materials or their condition requiring the use of technical equipment other than the electrical conductor meter referred to at Clause f. above.

7. Hazardous Materials

- a. Unless otherwise expressly stated in the Report, the Surveyor will assume that no deleterious or hazardous materials or techniques have been used in the construction of the Property. However, the Surveyor will advise in the Report if, in his or her view, there is a likelihood that deleterious material has been used in the construction and specific enquiries should be made or tests should be carried out by a Specialist.
- b. Subject to clause 6b the Surveyor, based upon a limited visual inspection, will note and advise upon the presence of lead water supply pipes and asbestos.
- c. The Surveyor will advise in the Report if, to the best of his or her knowledge, the Property is in an area where, based on information published by the National Radiological Protection Board, there is a risk of radon. In such cases the Surveyor will advise that tests should be carried out to establish the radon level.
- d. The Surveyor will advise if there are transformer stations or overhead power lines which might give rise to an electro-magnetic field, either over the subject Property or visible immediately adjacent to the Property. The Surveyor is not required to assess any possible effect on health or to report on any underground cables.

8. Ground Conditions

The Surveyor will not be required to comment upon the possible existence of noxious substances, landfill or mineral extraction, or other forms of contamination, nor will the Surveyor advise on the adequacy of the substratum for any particular purpose unless geotechnical tests or specialist advice are commissioned by the Client.

9. Consents, Approvals and Searches

- a. The Surveyor will be entitled to assume that the Property (both the Building and Site) is not subject to any unusual or onerous restrictions, obligations or covenants which apply to the Property or affect the reasonable enjoyment of the Property.
- b. The Surveyor will be entitled to assume that all Planning, Building Regulations and other consents required in relation to the Property have been obtained. The Surveyor will not verify whether such consents have been obtained. Any enquiries should be made by the Client or the Client's legal advisers. Drawings and specifications will not be inspected by the Surveyor unless otherwise previously agreed.
- c. The Surveyor will be entitled to assume that the Property is unaffected by any matters which would be revealed by a Local Search and replies to the usual enquiries, or by a Statutory Notice, and that neither the Property nor its condition, its use or its intended use, is or will be unlawful.

10. Insurance Rebuilding Cost Assessment

The Surveyor will provide an insurance rebuilding cost assessment only if this is agreed at the time of taking instructions. Buildings insurance cost assessments will be calculated by referring to figures produced by Building Cost Information Service (BCIS).

11. Additional Services

The Surveyor will provide, for an additional fee, such additional services as may be specified in the Specific Terms or are agreed between the Surveyor and the Client and confirmed by the Surveyor in writing.

12. Miscellaneous

- a. In the event of a conflict between these General Terms and the Specific Terms, the Specific Terms prevail.
- b. Unless expressly provided, no term in the agreement between the Surveyor and the Client is enforceable under the *Contracts (Rights of Third Parties) Act 1999* by any person other than the Surveyor or the Client.
- c. Where the Client has instructed the Surveyor to make investigations which cause damage to the Property on the basis that the Client has obtained the owner's consent, the Client will indemnify the Surveyor against any loss or cost arising.

- d. **Dispute Resolution** – In the event that the Client has a complaint regarding the standard of service he or she has received, a formal complaints handling procedure will be followed. A copy of the Surveyor's complaints handling procedure is available upon request. Using the Surveyor's complaints handling procedure will not affect the Client's legal rights.
- e. The Client may only rely upon the Surveyor's advice and Report for purposes described in the Particulars or communicated to the Surveyor in writing prior to the agreement of the Fee and if the Client wishes to rely upon such advice and Report for any other purpose he or she may only do so with the written consent of the Surveyor.

Harcourt-Powell

Chartered Surveyors

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