

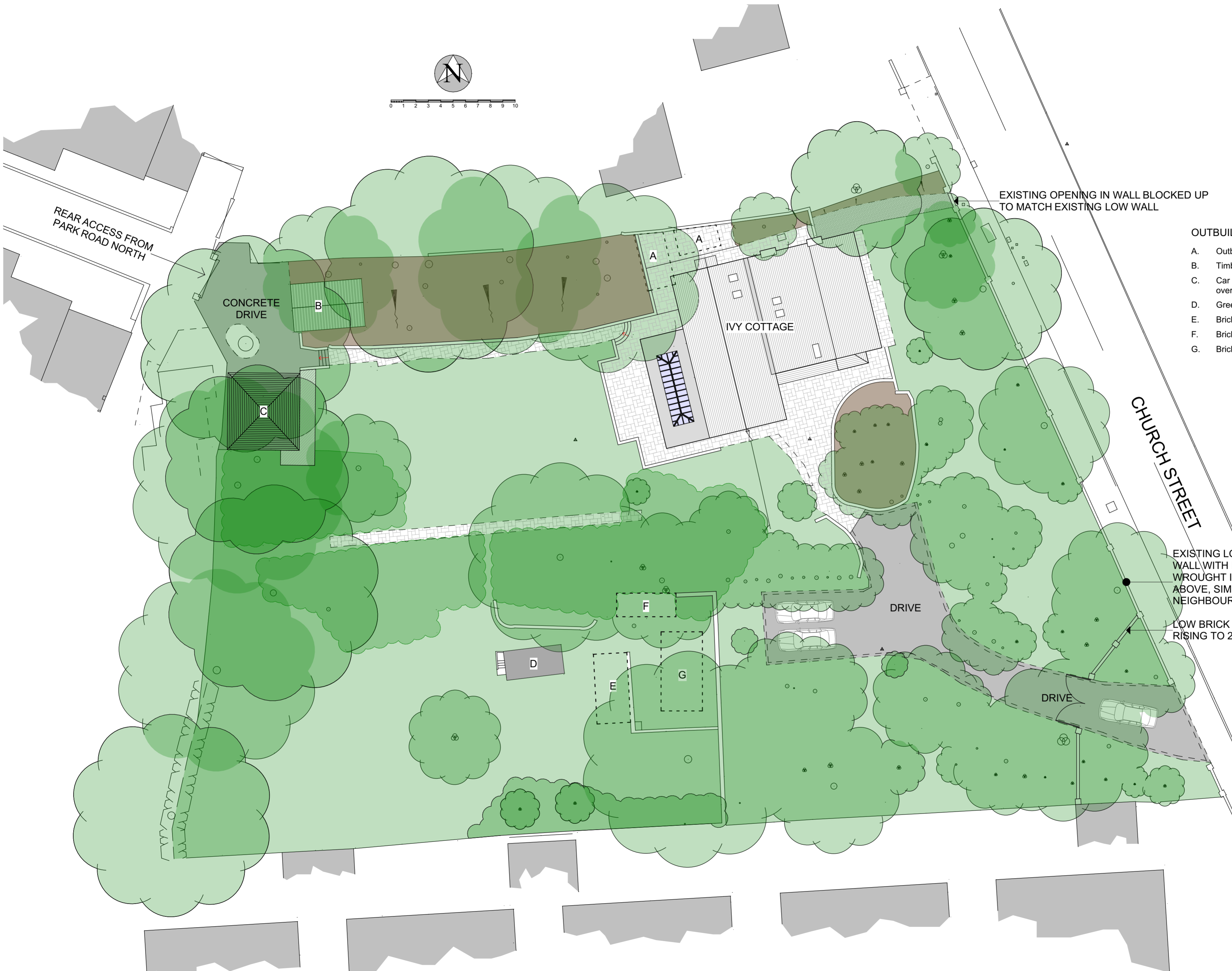
PLANNING APPLICATION ISSUE

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Adjacent buildings, roads, etc scaled from O.S. plans. Trees indicated for illustrative purposes only.

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rev.	notes	date
A	amendments as discussed with clients	04.04.23
B	updated to suit plan amendments	03.05.23
C	minor amendments submitted for HH Planning Application	03.05.23 12.23



EXISTING OPENING IN WALL BLOCKED UP TO MATCH EXISTING LOW WALL

- OUTBUILDINGS - Removed / Replaced / New**
- A. Outbuilding / Store - demolished
 - B. Timber painted summer house - refurbished
 - C. Car Port - replaced with timber framed Garden Building over existing concrete base + deck.
 - D. Greenhouse - part glass/part brick - refurbished
 - E. Brick outbuilding/store - demolished
 - F. Brick outbuilding/store - demolished
 - G. Brick outbuilding/store - demolished



EXISTING LOW BRICK WALL WITH NEW WROUGHT IRON RAILING ABOVE, SIMILAR TO NEIGHBOUR. see image ▶

LOW BRICK WALL TO MATCH EXISTING RISING TO 2m HIGH AT GATE POSTS

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PROPOSED SITE PLAN

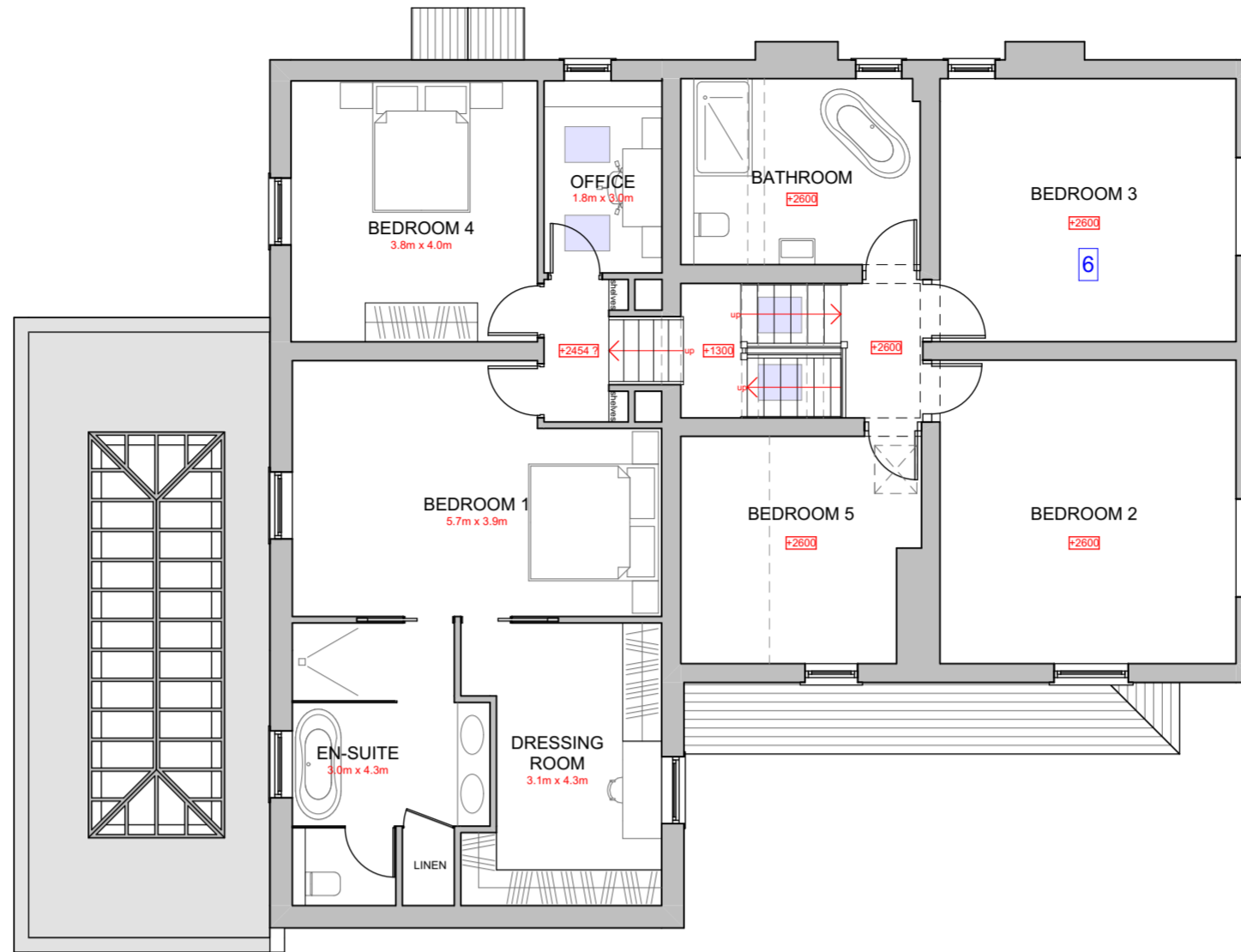
Project No. 1880	Drawing No. 1880 PL 101	Rev No. C	Size A2
Scale 1:200	Drawn By RH	Checked By KMS	Date 18/12/2023

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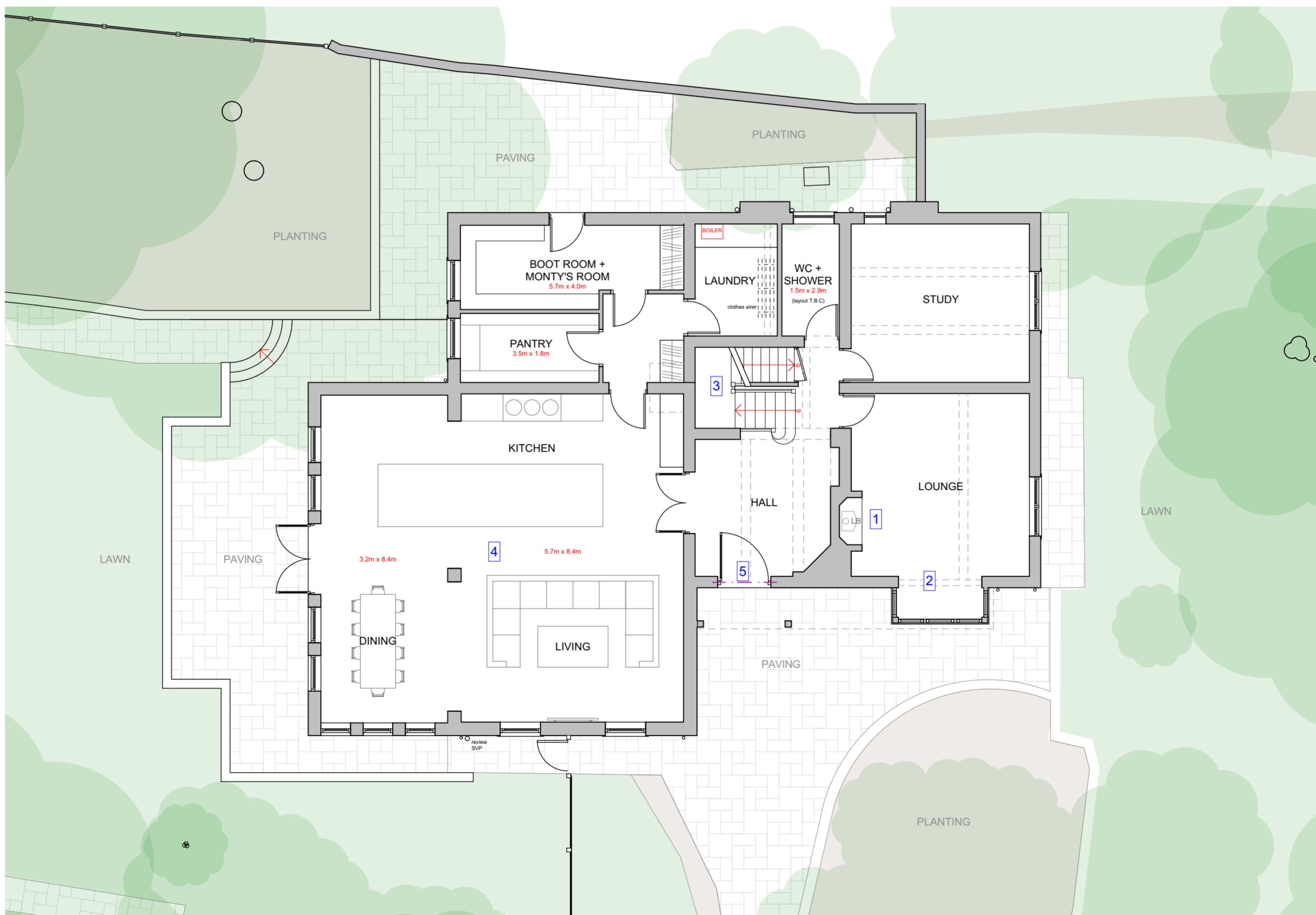
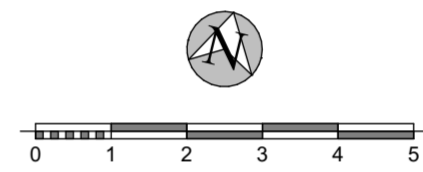
1. New log burner existing chimney liner to be checked
2. Reclaimed oak beam over opening
3. Replace existing staircase with new complete stair (to client spec) including half landing at 1st floor
Refurb option to - replace spindles and handrail and newel posts as an alternative option
4. Open plan Kitchen/ Living /Dining space to accommodate (layouts tbc)
 - a. dining and eating space for 12
 - b. "U shaped" sofa for 8 with log burner in living space
 - c. Kitchen with large island with space for 4 to 6 stools
 - d. Walk in Pantry off the Kitchen
5. New steel beam over existing doorway
6. Level existing floor and move existing radiator to suit door opening blocked up

General Notes

Parquet flooring throughout the ground floor
Traditional windows and doors required



PROPOSED FIRST FLOOR



PROPOSED GROUND FLOOR

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PROPOSED PLANS

Project No. 1880 Drawing No. 1880 PL 102 Rev No. B Size A2

Scale 1:100 Drawn By RH Checked By KMS Date 18/12/2023

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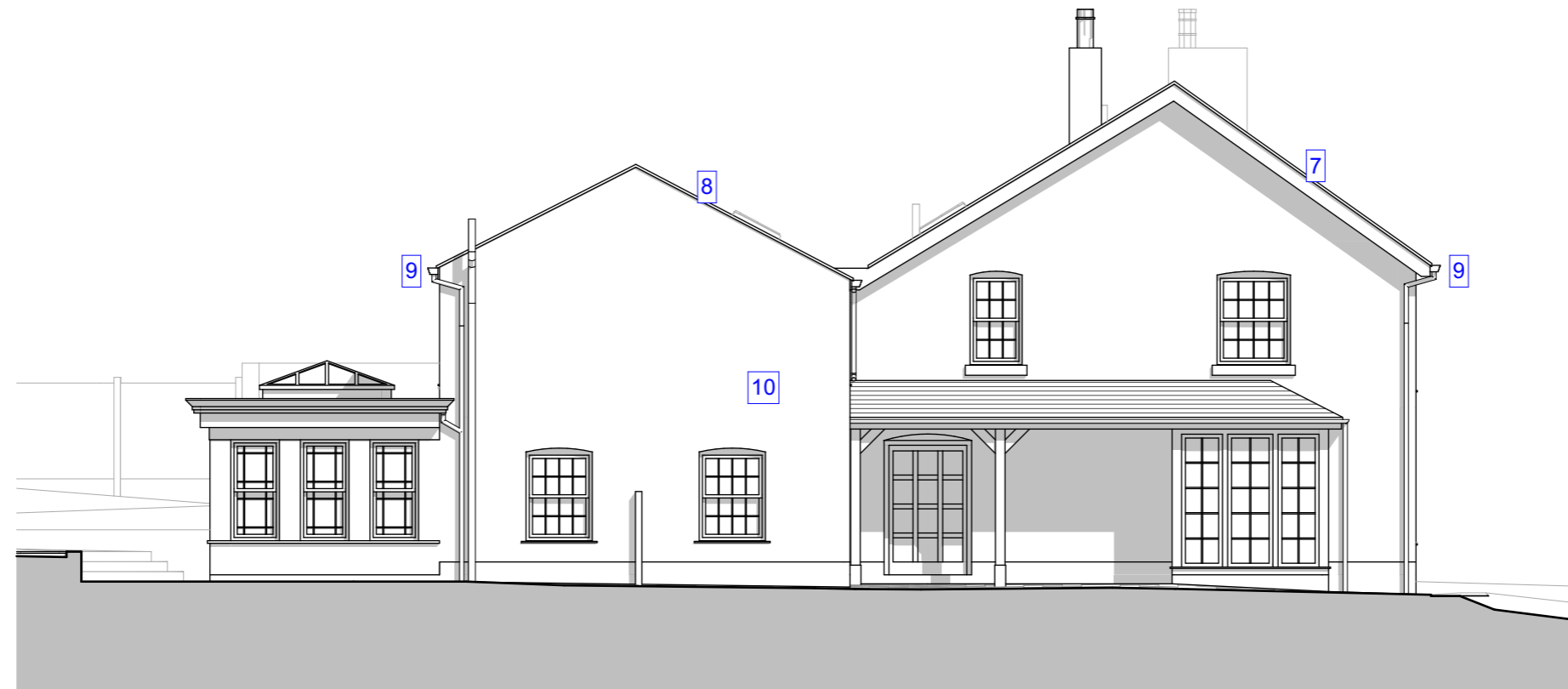
ARB Architects Registration Board

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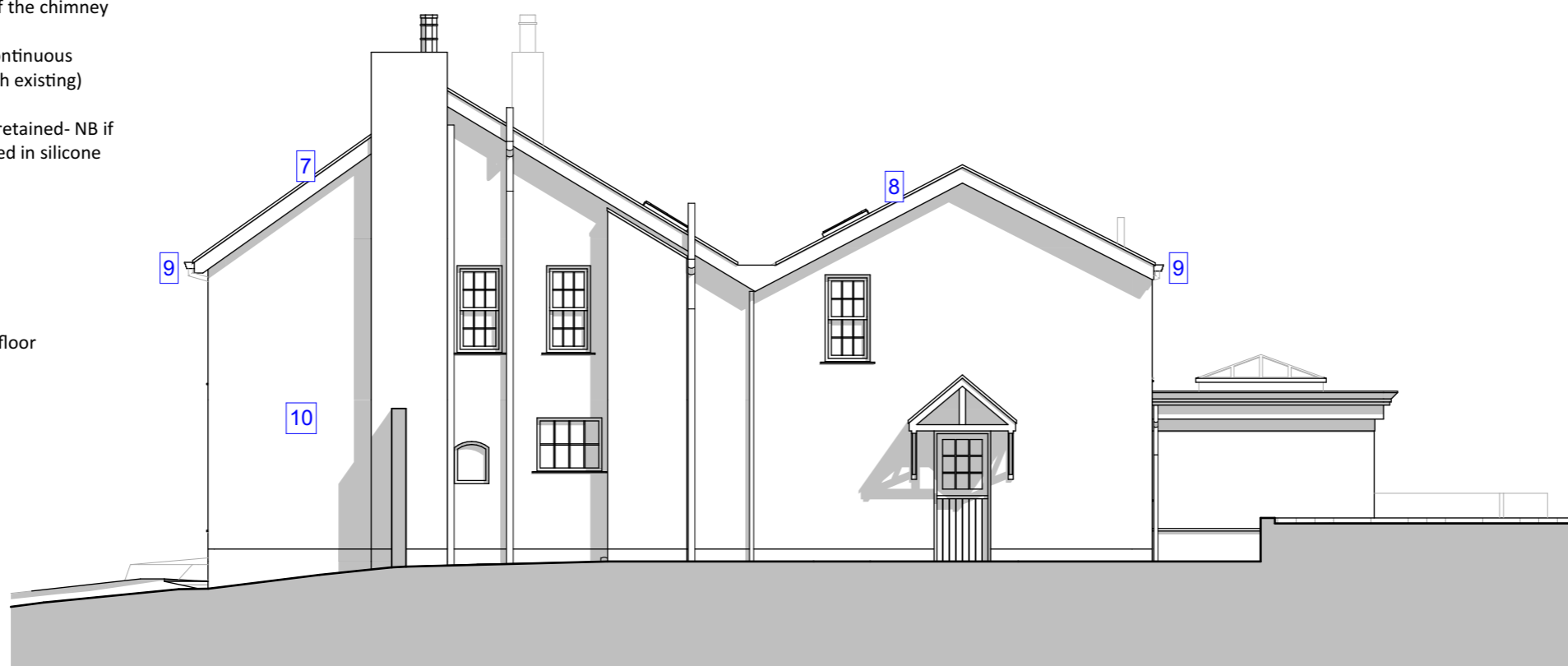


SOUTH ELEVATION (SIDE)

- 7. Existing main roof retained with repairs as required but with new lined valley detail
- 8. Roof to existing west facing block to be stripped and replaced if required following removal of the chimney
- 9. Review gutters - allow to replace with continuous aluminium guttering profile tba (to match existing)
- 10. Existing rough cast render repaired and retained- NB if sound treat and re-decorated or re-coated in silicone through-colour render system

General Notes

Parquet flooring throughout the ground floor
 Traditional windows and doors required



NORTH ELEVATION (SIDE)

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MATERIALS

WALLS

House: white through-colour render
 Orangery: part white through-colour render / part timber painted heritage colour

WINDOWS

traditional sash windows in heritage colour

DOORS

Front Door: hardwood/glazed door in heritage colour
 Rear Door: hardwood/glazed door in heritage colour
 Orangery Doors: timber/composite French doors in heritage colour

ROOFS

House: natural slate
 Orangery: liquid water proofing membrane in grey

FASCIAS

House: timber painted black
 Orangery: timber painted heritage colour

RAINWATER GOODS

Gutters: black aluminium Ogee style gutters
 Downpipes: black uPVC

PAVING

stone paving flags - to match existing / stone / porcelain

DRIVE

Tarmac - as existing



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PROPOSED ELEVATIONS I A

Project No. 1880
 Drawing No. 1880 PL 104
 Rev No. B
 Size A3

Scale 1:100
 Drawn By RH
 Checked By KMS
 Date 18/12/2023

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PRINCIPAL ELEVATION - FRONTING CHURCH STREET (EAST)

- 7. Existing main roof retained with repairs as required but with new lined valley detail
- 8. Roof to existing west facing block to be stripped and replaced if required following removal of the chimney
- 9. Review gutters - allow to replace with continuous aluminium guttering profile tba (to match existing)
- 10. Existing rough cast render repaired and retained- NB if sound treat and re-decorated or re-coated in silicone through-colour render system

General Notes

Parquet flooring throughout the ground floor
 Traditional windows and doors required



WEST ELEVATION (REAR)

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MATERIALS

WALLS
 House: white through-colour render
 Orangery: part white through-colour render / part timber painted heritage colour

WINDOWS
 traditional sash windows in heritage colour

DOORS
 Front Door: hardwood/glazed door in heritage colour
 Rear Door: hardwood/glazed door in heritage colour
 Orangery Doors: timber/composite French doors in heritage colour

ROOFS
 House: natural slate
 Orangery: liquid water proofing membrane in grey

FASCIAS
 House: timber painted black
 Orangery: timber painted heritage colour

RAINWATER GOODS
 Gutters: black aluminium Ogee style gutters
 Downpipes: black uPVC

PAVING
 stone paving flags - to match existing / stone / porcelain

DRIVE
 Tarmac - as existing



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PROPOSED ELEVATIONS II A

Project No.	Drawing No.	Rev No.	Size
1880	1880 PL 105	B	A3
Scale	Drawn By	Checked By	Date
1:100	RH	KMS	18/12/2023

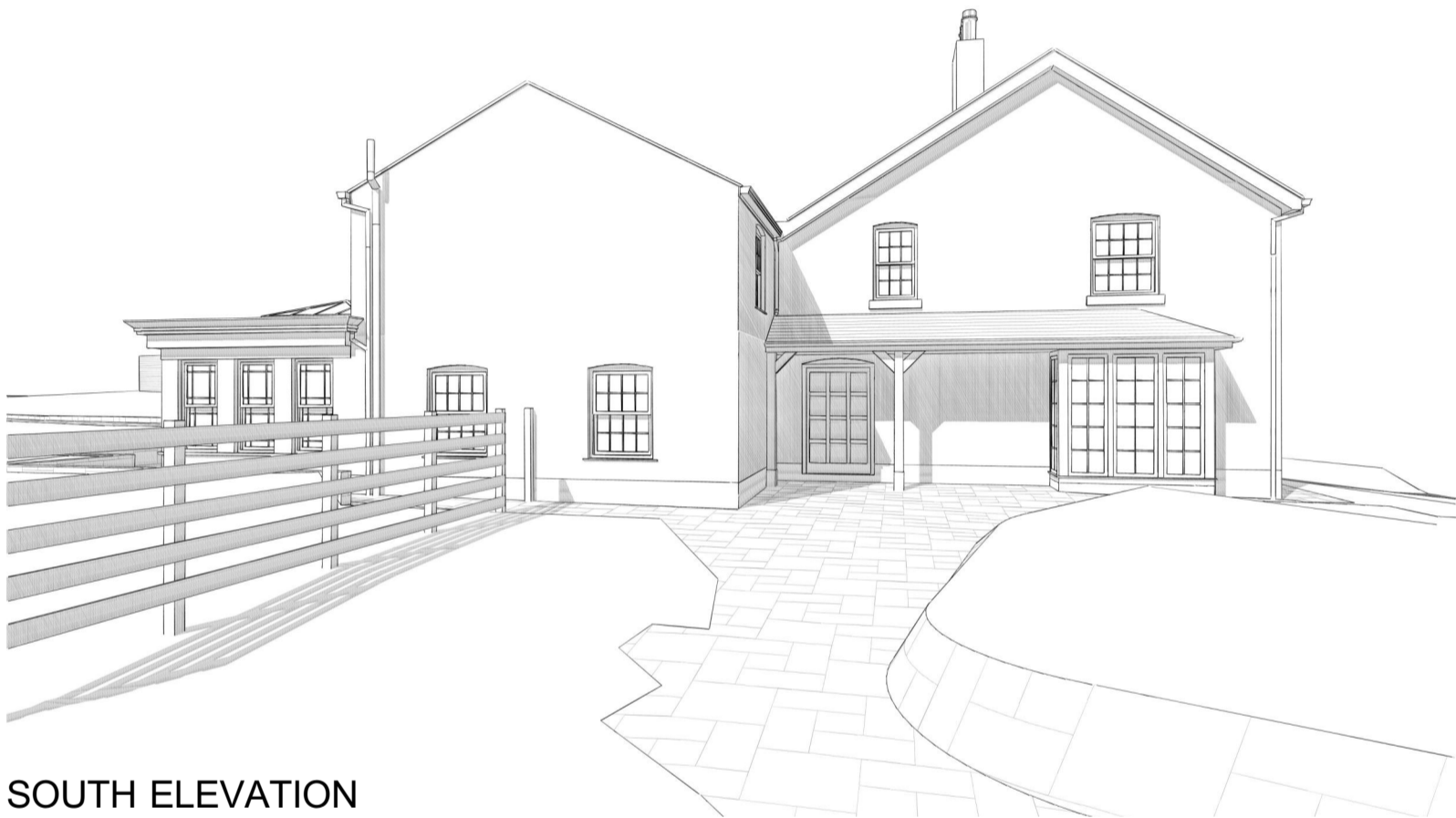
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WEST ELEVATION



SOUTH ELEVATION



VIEW FROM DRIVE

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Project No. 1880 Drawing No. 1880 PL 106 Rev No. C Size A3

Scale 1:200 Drawn By RH Checked By KMS Date 18/12/2023

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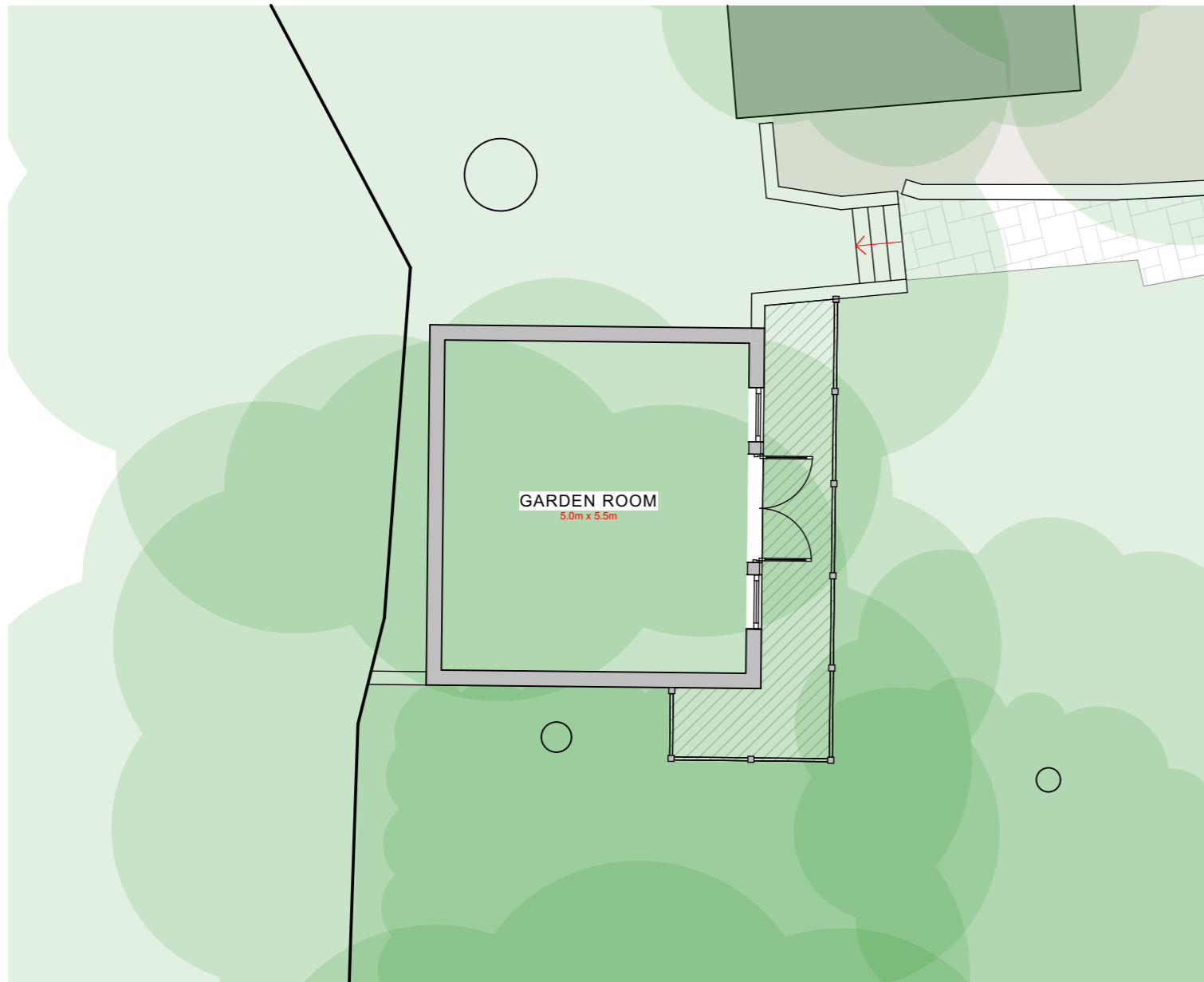
PROPOSED 3D SKETCHES A



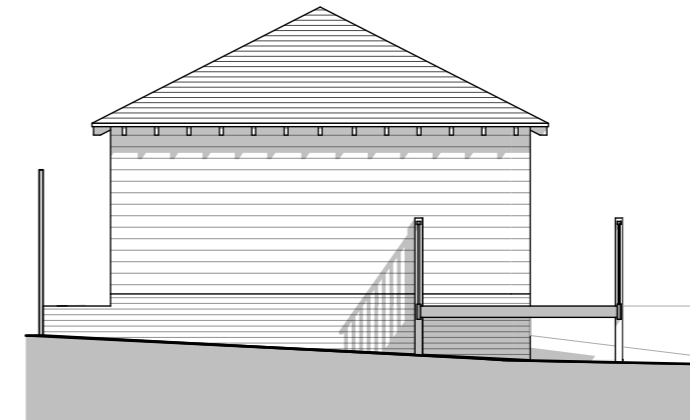
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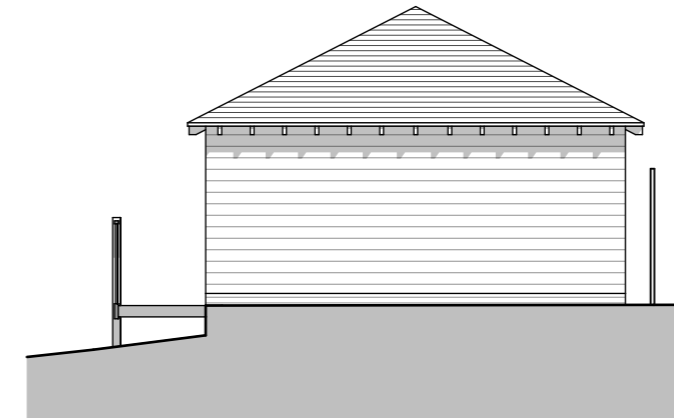
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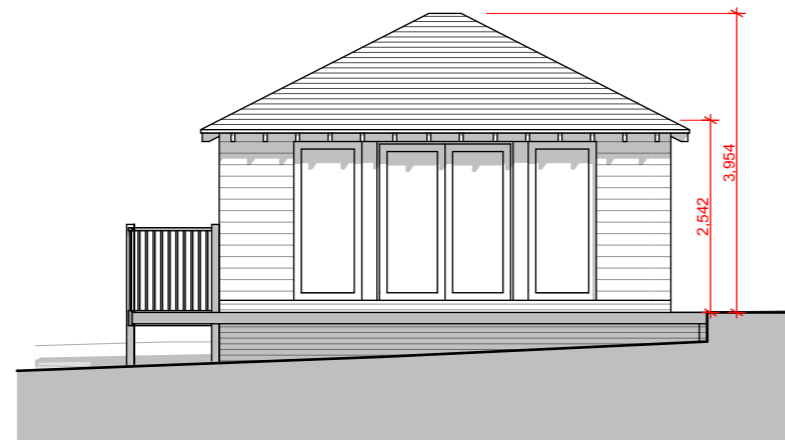
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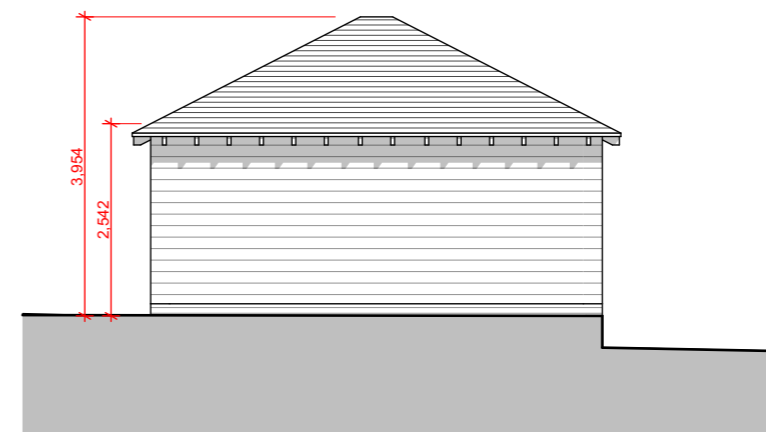
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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MATERIALS

- WALLS
oak frame with timber cladding
- WINDOWS
Oak frames
- DOORS
natural oak
- ROOFS
Slate to match main house
- FASCIAS
N/A - exposed rafters
- SOFFITS
N/A - exposed rafters
- RAINWATER GOODS
Gutters: brown uPVC
- DECKING
Composite Decking



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GARDEN ROOM PLANS AND ELEVATIONS

Project No. 1880	Drawing No. 1880 PL 107	Rev No. A	Size A3
Scale 1:100	Drawn By RH	Checked By KMS	Date 18/12/2023

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