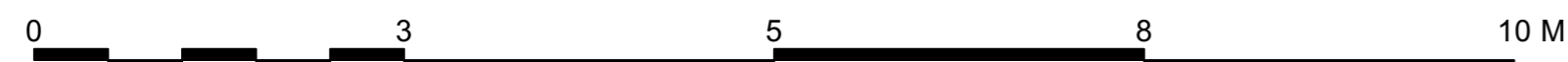
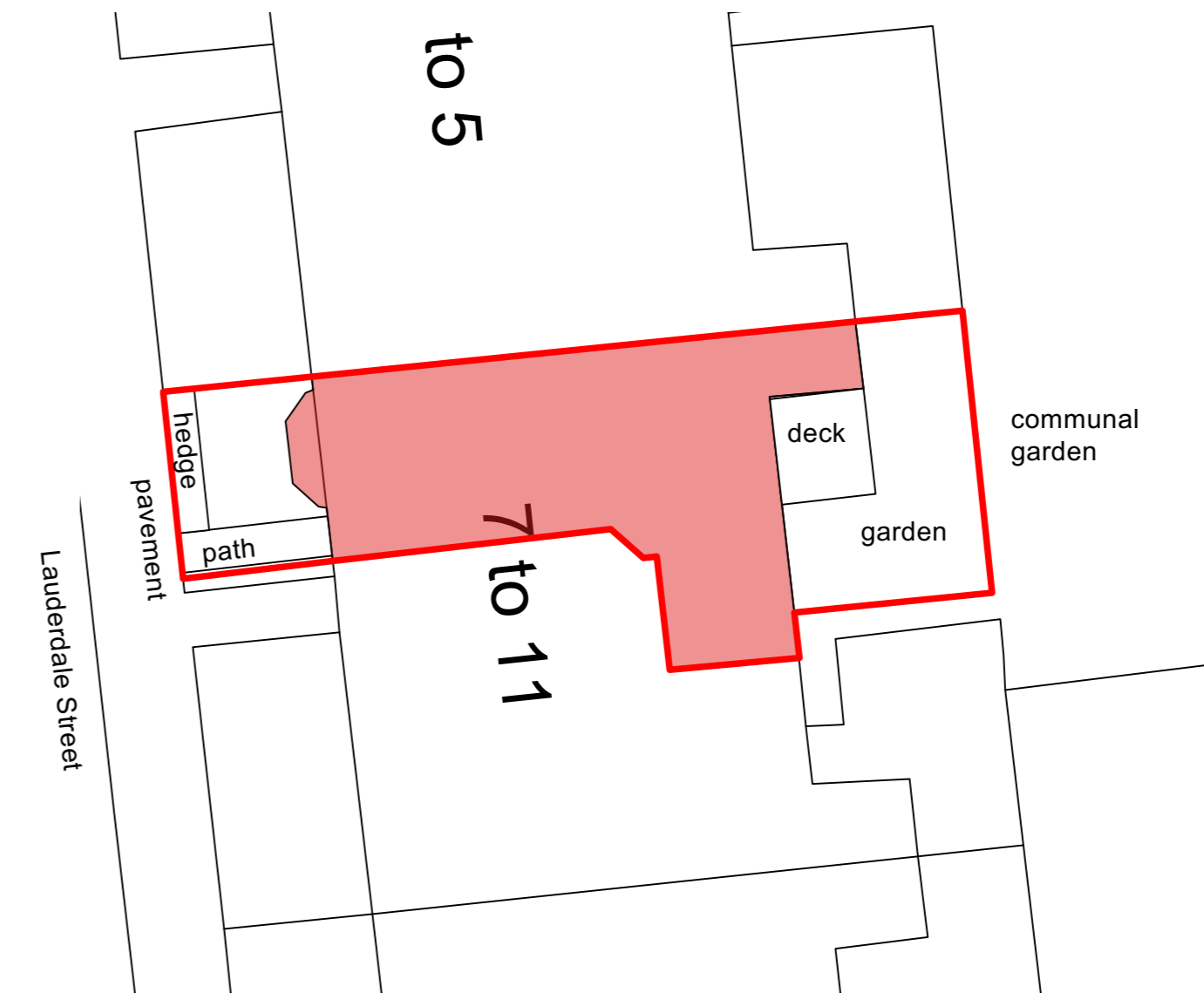


7 Existing Ground Floor Plan  
Scale: 1:50

Gross int floor area  
98sq.m.



1 Proposed Ground Floor Plan  
Scale: 1:50



3 Site Plan  
Scale: 1:200

**Proposal:**

Our client has recently purchased this ground floor flat at 7 Lauderdale Street. As part of wider renovations and alterations with an aim to improving the thermal efficiency and occupant comfort of the property.

We are herby seeking planning permission for the following items.

**Notes**

1. Remove existing rotten timber door. Install new double glazed full panel timber framed door.
2. replace window with new timber framed sliding sash and case double glazed window. Glazing to be slimlite double glazing. 4/6/4 Window to be sealed against stonework with sand mastic struck off using pointing trowel. Do not paint sand mastic. Windows frames to be white to match existing.
3. Remove canopy above door. Make good external wall.
4. Remove existing window. Remove wall below cill level to finished ground level to form new door opening. Install new red sandstone quions to match existing to complete door surround
5. Remove existing combi boiler and balanced flue. Use cored red sandstone from new flue to new boiler to plug hole externally. Point in with lime mortar. Make good finish internally.
6. New Worcester Bosch Greenstar 8000 Style combi boiler. Balanced flue cored out through external wall. Retain stone core to use to block up old flue hole.



Photos showing existing front door and bay window



Photos showing existing rear elevation



**Notes**

- Do not scale from drawings.
- Contractor to check all dimensions on site prior to commencement of work and ordering of materials.
- Do not deviate from the drawings without informing architect.
- Any discrepancies on site must be reported to the architect immediately.
- All work to be in accordance with the Building (Scotland) Regulations 2004 and all current amendments.
- All work to be in accordance with current British Standards.
- All work to be carried out in accordance with manufacturer's instructions.
- This drawing is not to be reproduced without permission. Copyright Jelfcoate Anderson Architects Ltd 2023.
- This drawing is to be read in conjunction with all related architect's and engineer's drawings and any other relevant information.

Rev	Details	Date	By

Client:  
A Corsie  
7 Lauderdale Street, Edinburgh, EH9 1DF

Job Title:  
Flat alterations  
7 Lauderdale Street, Edinburgh, EH9 1DF

Drawing No. 0816 PL 001 Revision

Status PL

Drawing Title: Existing & Proposed Plans Planning  
Scale: Date: 20/12/2023  
Drawn: