

MAGRI WILLIAMS

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PROJECT DETAILS

Client	Samantha and Graham Lester
Site Address	144 Carshalton Park Road, Carshalton, Surrey, SM5 3SG
LPA	London Borough of Sutton
Listed	N/A
Conservation	N/A
TPO's	N/A

DESIGN TEAM

Architect	Magri Williams Alice Williams / Joe Magri
Quantity Surveyor	Decco London Denton Cole
Surveyor	Modelling Architecture Ltd Yeray Rodriguez
Structural Engineer	-
Approved Inspector	-
Party Wall Surveyor	-

1 INTRODUCTION

1.1 Client

This Design and Access statement has been prepared by Magri Williams on behalf of our clients, Samantha and Graham Lester.

The drawings and illustrations contained within this report are to be read in conjunction with the planning application, including the application form, drawings and reports. Any queries should be discussed directly with Magri Williams.

1.2 Description of the works

The existing property at 144 Carshalton Park Road is a two story detached house. The proposal seeks to erect a single storey rear and side ground floor extension to enlarge the kitchen and dining room.

EXISTING

2 EXISTING

2.1 Location and site

Property description / Character and appearance

The house is located at Carshalton Park Road. It is not within a Conservation Area, nor is the property listed or locally listed.

The existing property is an Edwardian detached property built in the 1900's. The property is likely to be constructed from stock brick, but it is now fully rendered. The windows and doors are predominately painted timber.

Context

Carshalton Park Road and the surrounding streets, are predominately residential consisting of a mixture of Edwardian detached and late 20th century properties.



Site location plan

2 EXISTING

2.2 Site considerations

Party walls

The works will fall under the Party Wall Act 1996 and the relevant Party Wall notices will need to be issued to the adjoining owners outlining the proposals. These will be organised following an approved planning application.

Daylight / sunlight

The proposed extension has been designed to not have an adverse impact on the daylight / sunlight levels of the neighbouring properties.

Both adjoining properties have existing rear extensions at a similar depth to the proposed rear extension. The boundary with number 146 has a flank elevation wall and it is not considered that there would be any harmful loss of light at this property as a result of the proposal. The boundary with number 142 has a small access alleyway with a side elevation window on this property at ground floor level. To support this ground floor room, there is also a window on the rear elevation and a roof window, as shown on the existing and proposed rear elevation drawings.

Ground conditions

Soil investigations have not been carried out but when the structural engineer is appointed we will review the existing soil conditions and the structural scheme will be developed accordingly.

Flood risk

The site is deemed very low risk for surface water flooding. Drainage design will be included as part of the structural engineer's scope and we will ensure a suitable design is in place to facilitate the extension.

Conservation and listing

The site is not located within a Conservation area and is not listed.

Tree Protection Order

There are no TPOs on the site.

2 EXISTING

2.3 Planning context

The pre-planning application service was used to support this planning application, albeit by a different design studio. The case officer was John Grierson and the application number was PRE2022/00054.

The pre-planning application sought feedback for a single storey side and rear extension and a loft extension, however works to the loft do not form part of this application.

The conclusion of notice letter was that the ground floor would likely be considered acceptable in design terms and would not have a significant or detrimental impact on the amenity enjoyed by neighbouring residents.

The pre-planning application made the recommendation that a daylight and sunlight report should be submitted to ensure the proposed works would not cause any material loss of light to number 142. It should be noted that this was for an extension that was 4.2m deep and 3.4m at the eaves.

To reduce the potential impact to number 142, the proposed design incorporates a stepped extension, with a depth of 4.07m at the boundary with number 142. Furthermore, the height at the eaves has been reduced down to 3.1m. Due to these design changes, the proposed extension is very close to the parameters set by Permitted Developed and as such a daylight and sunlight report has not been undertaken. If the council would like to see further information, the clients are happy to commission a report if necessary.



PROPOSAL

3 PROPOSAL

3.1 Design process

Layout

The proposed rear extension seeks to provide an open plan kitchen and living arrangement. The side extension will house a utility room, accessed from the side alley. The ground floor has been remodelled to provide a wc and storage.

Scale

The scale of the extension is sensitive to the surrounding context. The side extension steps away from the front elevation by 2.7m to ensure it is subordinate to the original building. The rear extension has a stepped plan form and this responds to the neighbour's existing extensions. The depth of the extension ranges from 4.07m to 4.9m. The elevation has a stepped parapet design and ranges from 3.05m at number 142's side, to 3.20m at 146's side.

Appearance and materials

The design of the extension has sought reference from the existing building to ensure the new design sits comfortably within the existing context.

The rear extension's key materials are as follows:

Rear / side extension: light render

Roof coping: coping stone

Roof material: grey GRP waterproofing, or similar

All roof windows: double glazed, aluminium roof light

Extension sliding door: double glazed, aluminium

Extension window: double glazed, aluminium

Front elevation replacement windows: timber sash, painted

Rear elevation replacement windows: timber sash, painted

Side extension door: timber door with glazed panels, painted

Boundary fences: Painted timber fence above rendered wall

Trees and landscaping

There are no TPO's on site. There is an existing tree within the garden, however this is due to be removed. To offset the removal of this tree, the proposed works will include two large planters in the rear patio.

Access

Access to the property will remain as existing which is off street level.

Sustainability

The proposed extension will meet current building regulations and will take a fabric first approach by using enhanced levels of floor, wall and roof insulation. The windows will

be replaced throughout the whole house to improve the thermal efficiency within the property.

Low energy appliances will be used throughout the works and materials will be selected for their low carbon properties.

Drainage

Following the approval of this planning application, a civil engineer will be instructed to produce a full drainage scheme.

3 PROPOSAL

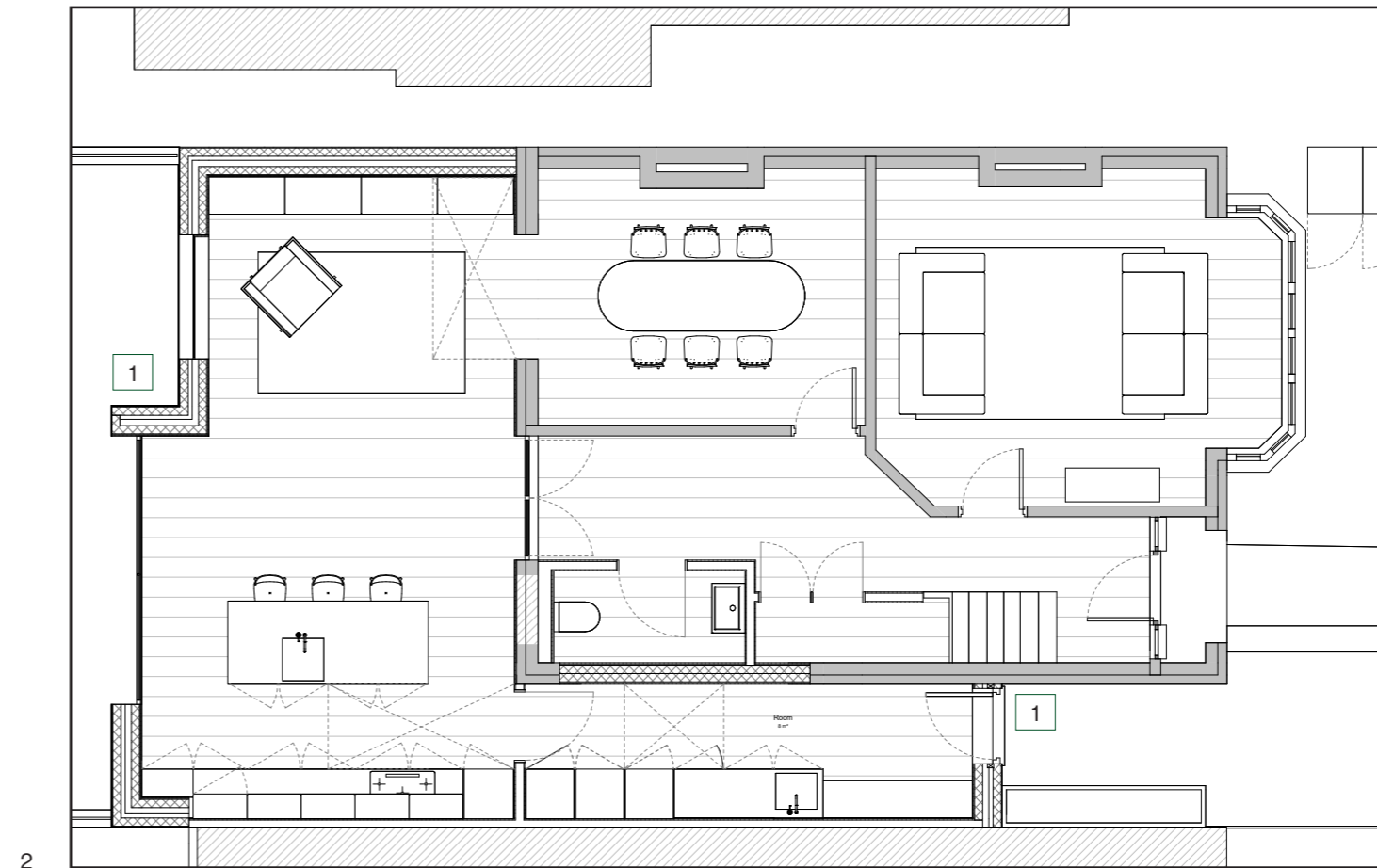
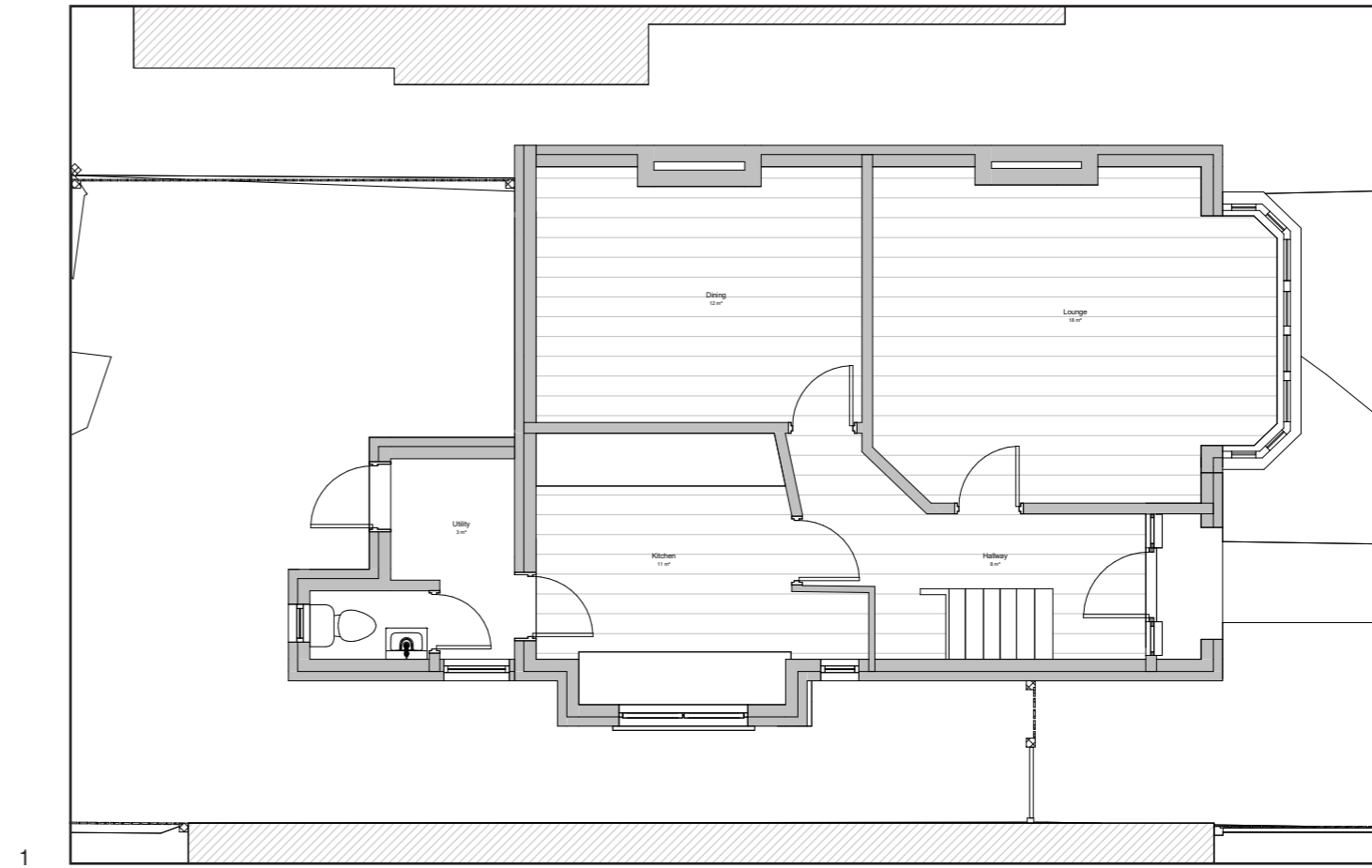
3.2 Existing and proposed drawings

1 Existing ground floor plan

2 Proposed ground floor plan

Key elements of work:

1. Rear and side ground floor extension



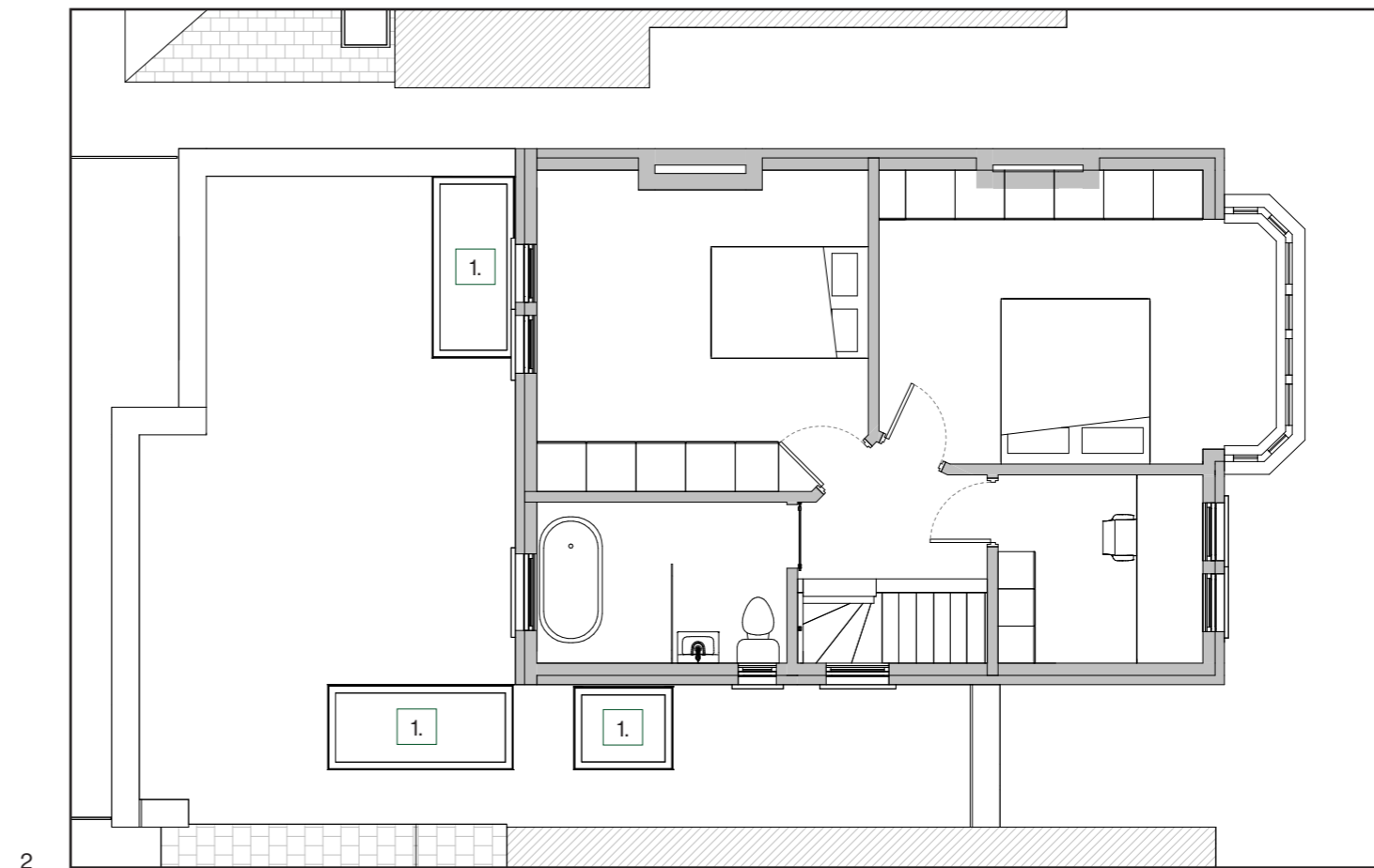
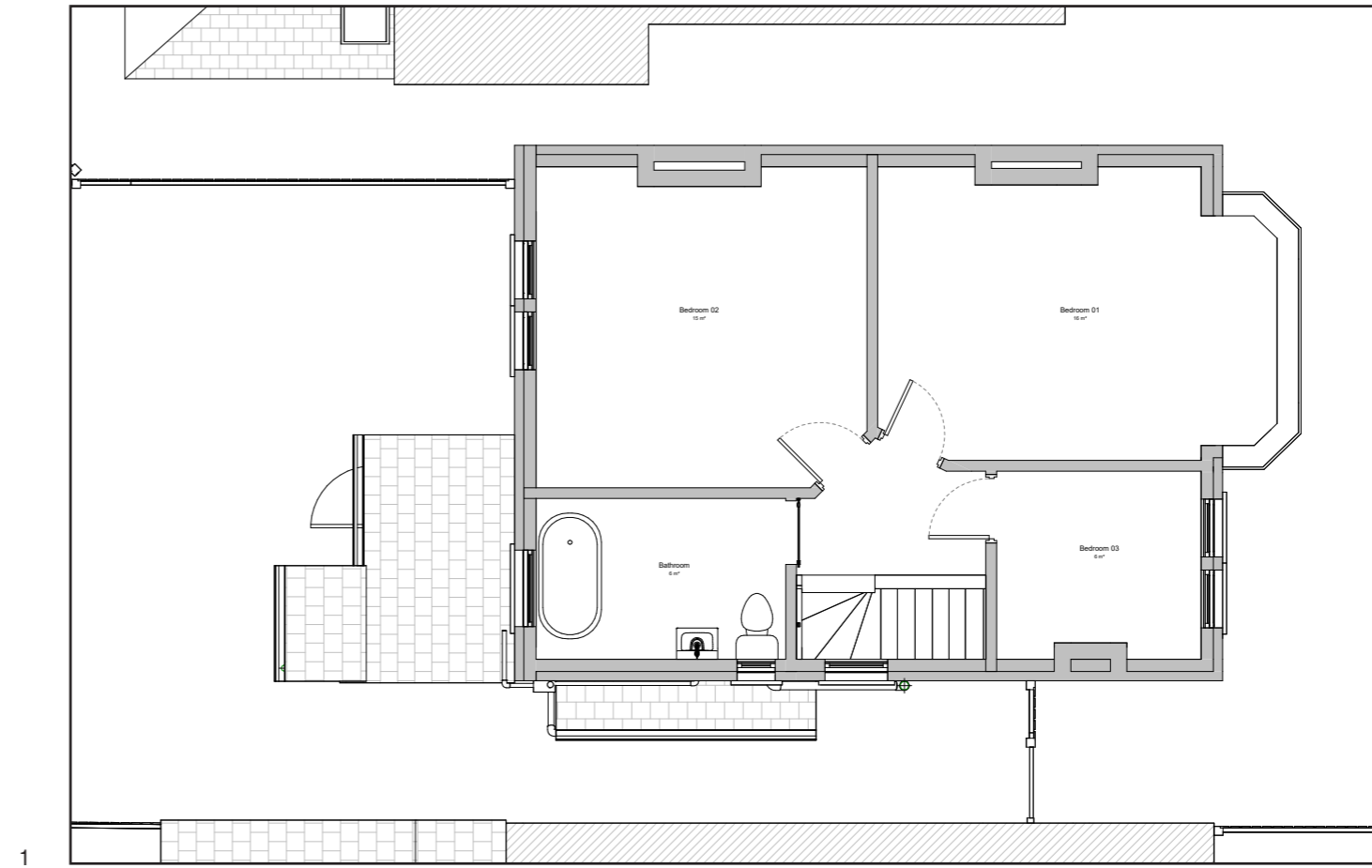
3 PROPOSAL

3.2 Existing and proposed drawings

- 1 Existing first floor plan
- 2 Proposed first floor plan

Key elements of work:

- 1. New roof lights



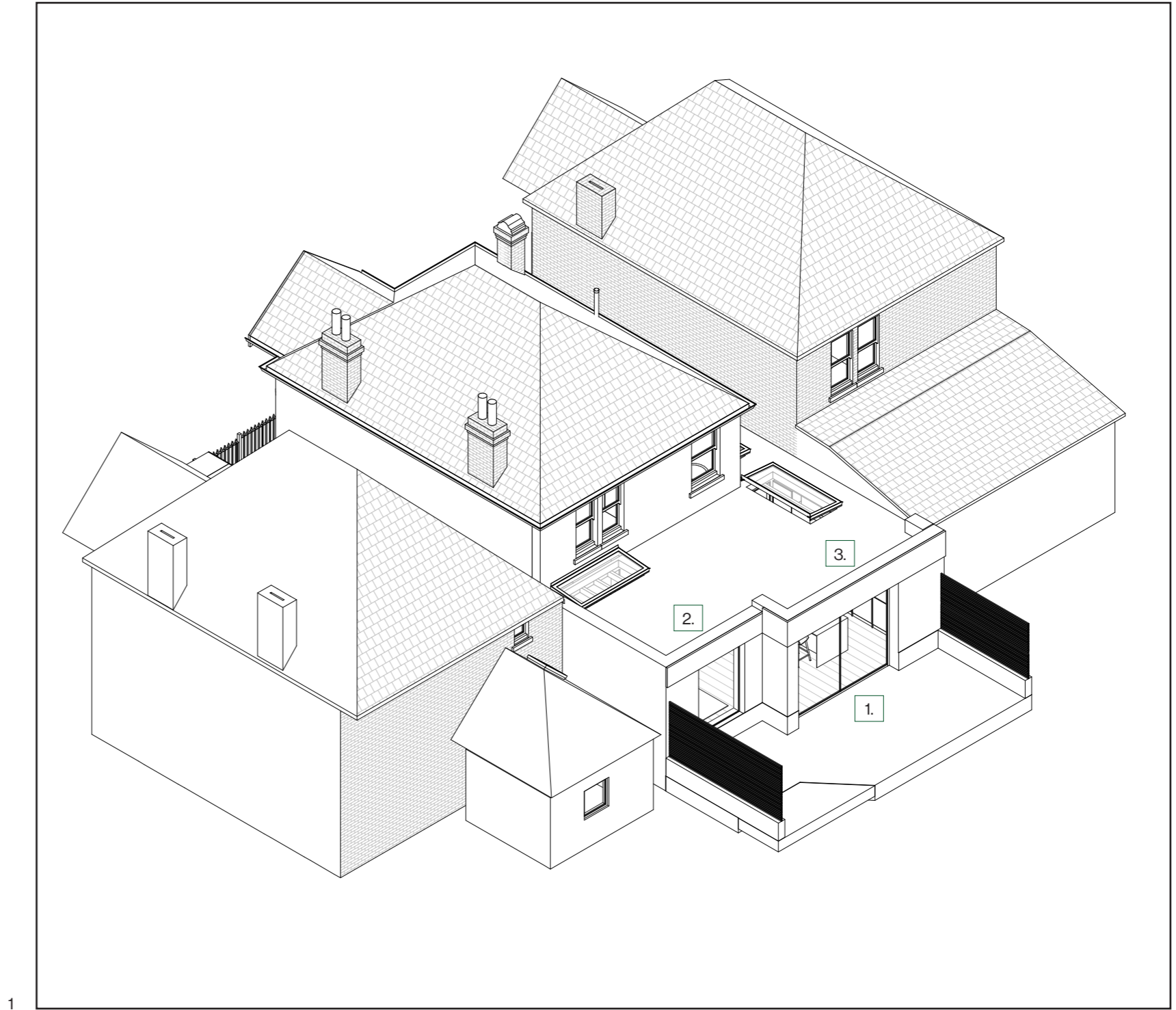
3 PROPOSAL

3.3 Proposed drawings

1 Proposed rear axo

Key elements of work:

1. Rear and side ground floor extension
2. Extension stepped back at number 142 boundary
3. Rear wall parapet steps in height





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