



**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
PLANNING AND COMPULSORY PURCHASE ACT 2004**

PLANNING AND HERITAGE STATEMENT INCLUDING DESIGN AND ACCESS STATEMENT

**APPLICATION FOR PLANNING PERMISSION FOR THE ERECTION OF 1NO.
DWELLING AND OUTBUILDING (OUTLINE) ASSOCIATED WITH THE EXISTING
DWELLING WITH ACCESS, LAYOUT AND SCALE TO BE DETERMINED AND OTHER
MATTERS RESERVED**

Highmead, Lower Tockington Road, Tockington, Bristol, BS32 4LF

February 2022

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Appendices

- 1. Decision Notice P19/11300/F**
- 2. Examples of infill development within the Green Belt in South Gloucestershire**

1. Introduction

- 1.1. This Planning Statement is submitted on behalf of Mr Ben Rudrum (*"The Applicant"*) in support of an application for outline planning permission for the erection of 1no. dwelling and ancillary outbuilding to the existing dwelling at Highmead, Lower Tockington Road, Tockington, Bristol, BS32 4LF (*"the application site"*).
- 1.2. This outline application seeks to secure permission of Access, Layout and Scale. Matters relating to Appearance and Landscaping are Reserved for future determination.
- 1.3. The proposed development is for the erection of 1no. new dwelling and detached garage on land to the rear of the existing house and an outbuilding ancillary to the existing dwelling (Highmead House) for use as a garage.
- 1.4. This Statement sets out the justification for the proposed development by reviewing the site and surroundings as well as summarising the relevant planning history, most notably the planning permission refused in November 2019 (P19/11300/F). It will then demonstrate how the proposal complies with both national and local planning policies and that the erection of the outbuilding and 1 no. new dwelling is an entirely acceptable development for this site.
- 1.5. This revised proposal has been amended to reflect the 2019 reasons for refusal and includes one new dwelling (compared to two previously proposed) and a smaller outbuildings that will be used as domestic garages and storage. In addition to addressing the reasons for refusal, this Statement demonstrates that it is compliant with the requirements of the NPPF and Local Development Plan.
- 1.6. This Statement should be read in conjunction with the proposed site plans and elevations prepared by Goodchild Interiors; and an Preliminary Ecological Appraisal prepared by Abricon. Given the site's location within the Tockington Conservation Area, this Statement includes a Heritage Statement which assesses the impact of the proposal on the significance of the Heritage Asset.

2. Site and Surrounding Area

2.1. The application site is situated in a village location on the southern edge of Tockington. **Image 1** below confirms the sites location on Lower Tockington Road and its surrounding context. The site comprises of a large, detached dwelling house (Highmead) with a long rectangular plot of land to the rear, as shown in **image 2**.



Image 1 – Location of the application site (source: Google maps)

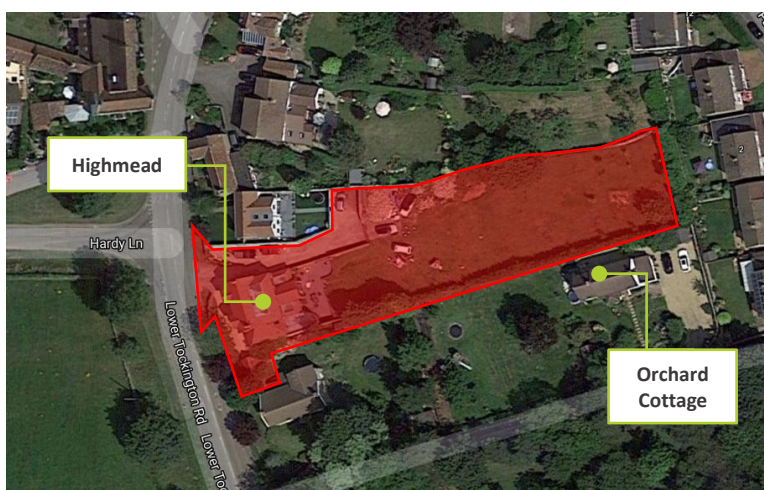


Image 2 - The application site including Highmead (source: Google maps)

2.2. The land at the rear comprises a very large garden associated with Highmead (**image 3**) that is accessed via an existing driveway (**image 4**) off Lower Tockington Road. The land is generally

level and laid to grass. The site is within a residential area with other residential gardens backing onto the site. To the south is a two storey dwelling known as ‘*Orchard Cottage*’ (image 5), details of its history are set out in Section 4 of this Statement.



Image 3 – The existing rear garden from Highmead towards application site



Image 4 – Existing access to site from Lower Tockington Road (source: Google Maps)



Image 5 – Orchard Cottage

- 2.3. South Gloucestershire Council’s Policies Map (**image 6**) confirms that the site is within the settlement boundary of Tockington. Tockington is a small village approximately three miles south west of Thornbury and nine miles north of Bristol.
- 2.4. The Policies Map also confirms the site is located within the Bristol/ Bath Green Belt and within the Tockington Conservation Area. The Swan Inn, a Grade II Listed Building, is located approximately 90m to the north of the site on Lower Tockington Road.



Image 6 – Planning policies map extract showing location of site (source: SGC)

3. The Proposal

- 3.1. The proposal is for outline planning permission for the erection of 1no. single storey outbuilding for use as a garage to serve the main dwelling (Highmead House) and the erection of 1no. new two-storey dwelling and ancillary garage on the land to the rear of Highmead House.
- 3.2. The proposed layout is shown at **image 7** (an extract taken from the Block Plan [drg ref: GI-311-22a]) and confirms the siting of the outbuilding and new dwelling (identified as Olive House) to the rear (east) of Highmead.

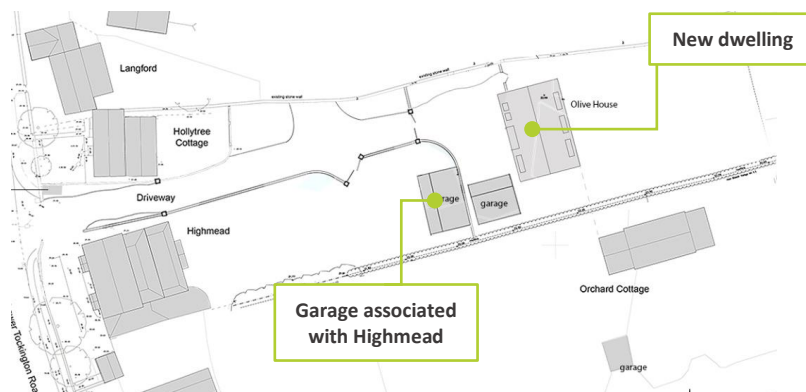


Image 7 – Proposed layout of new garages and dwellings (extract from Block Plan – drg ref: GI-311-22a)

- 3.3. As an outline application, matters relating to Access, Layout and Scale are submitted for determination. Appearance and Landscaping are Reserved for future determination. However, the proposed drawings provide an indication of both Reserved Matters.
- 3.4. The existing and proposed uses of the site both fall within a Class C3 residential use, as defined in the Town and Country Planning Use Classes Order (As Amended). The proposed location of the site is within the Tockington settlement boundary and is surrounded on all sides by existing residential dwellings. As a result, it is considered to amount to limited infilling within a Green Belt settlement.

Layout

- 3.5. The proposed new dwelling is to be erected within the large rear garden of Highmead. The siting and layout of the new dwelling has been driven by the siting and location of the surrounding dwellings, notably Highmead to the west and Orchard Cottage to the south. The proposed dwelling is sited to the west of the end elevation of Orchard Cottage (**image 5**) ensuring that there is no impact on residential amenity for either occupiers of the new dwelling or this existing dwelling. Further, the proposed layout and siting has considered the existing mature boundary trees that provide a further screen between this existing and proposed dwelling.
- 3.6. The layout and siting is also orientated on an east/ west axis having consideration for the potential outlook and overlooking towards Orchard Cottage. This siting and orientation is a significant distance (almost 50m) from Highmead and 35m from the houses to the west off Manor Park, thereby ensuring no overlooking or resultant impact on residential amenity.
- 3.7. The proposed layout includes a driveway to the new dwelling accessed off the existing driveway (**image 8**) that leads to a new area of hardstanding serving the proposed dwelling. A spur off will provide access to the garage for Highmead.



Image 8 – Rear garden and access to new dwelling and garage

Access

- 3.8. Access to the proposed dwelling is via the existing driveway accessed off Lower Tockington Road (**image 4**). Visibility to the north and south is good along this stretch of road (**images 9 and 10**), which has a speed limit of 30 mph. **Image 9** also confirms that there is good visibility onto the junction with Hardy Lane ensuring that the continued use of this existing access will not harm highway safety.
- 3.9. The existing access passes Highmead (**image 4**) and leads to an existing parking and turning area serving the host dwelling and Hollytree Cottage to the north. The existing gate shown in **image 8** will be used to access the driveway of the new dwelling. A spur off this will also access the proposed garage for Highmead.
- 3.10. As the existing access will continue to serve a residential use, the intensification to serve 1no. additional dwelling will not have any adverse impact on highway safety.



Images 9 & 10 – Visibility to the north and south (source: Google maps)

- 3.11. The ancillary outbuilding to Highmead is proposed to be located to the rear of the existing dwelling and serve as a garage. The building will consist of a triple-aspect timber structure with vertical slats to the back (east) and side (north and south) elevations. The front (west) elevation will be open.

Scale

- 3.12. The proposed scale of the new dwelling is shown to be a two storey building with the first floor accommodation set within the roof, thereby limiting the height. The proposed scale and height is similar to the surrounding properties. The proposed outbuilding to serve Highmead and

ancillary garage to the new dwelling are both one storey. The illustrative sections (drg ref: *GI-311-28B*) demonstrates that the new buildings would be no higher than the adjacent Highmead House and Orchard Cottage. Several properties in the locality also benefit from single storey garages, similar in size to both the garages proposed.

3.13. In terms of the massing of the buildings, the new dwelling would be of a similar massing to houses in the immediate vicinity of the site, which are also detached. The block plan extract shown in **image 7** shows that the footprint of the proposed new dwelling and garages would be similar to nearby houses.

Access

3.14. Vehicular and pedestrian access is to be taken as an extension of the driveway in the north west corner of the application site. Access to the highway will therefore be as existing, via Lower Tockington Road.

3.15. The following matters are Reserved for future determination but an indication of the appearance and landscaping is provided below.

Appearance

3.16. The proposed appearance of the new dwelling is shown as a pitched roof dwelling with dormer windows in the roof serving accommodation within the first floor. This appearance is intended to reflect the local character and appearance of the surrounding residential dwellings which would be of a modern style, with a pitched roof, picking up on traditional styles and materials from the local area. Detailing such as, stonework, brickwork, pitched roofs with natural red clay rooftiles and large windows all seen in the local area will be considered as part of the detailed design which will be determined at the Reserved Matters stage.

Landscaping

3.17. A Landscape Plan has been prepared to support the proposal which indicates planting within the rear garden of the new dwelling as well as on the boundaries to the neighbouring dwellings, particularly to the north. The boundary planting will improve the screening for the new dwelling, compared to the existing levels of planting.

3.18. Further planting is shown within the garden of the new dwelling to the north of Orchard Cottage, including specimen trees

Drainage

3.19. In respect of drainage, storm water will be served by soakaways and foul water will be connected to the mains Wessex Water sewer located within the highway.

4. Planning History

4.1. The planning history of the site is summarised in the table below:

Reference	Proposal	Decision	Decision Date
PT15/1683/F	Demolition of existing outbuilding and conservatory. Erection of single storey side and rear, and two-storey rear extension.	Approve	June 2015
PRE18/0929	A Pre-Application was submitted in September 2018 regarding, however a response was not provided by the Local Planning Authority.	N/a	N/a
P19/11300/F	Erection of 1no detached 2 storey outbuilding to form garage and gym ancillary to Highmead. Erection of 2no detached dwellings, with access, parking and associated works	Refuse	November 2019

4.2. The most relevant part of the history is the application refused in 2019 (ref: P19/11300/F) for a much larger proposal described as the *“Erection of 1no detached 2 storey outbuilding to form garage and gym ancillary to Highmead. Erection of 2no detached dwellings, with access, parking and associated works”*. The proposal was refused for 7no reasons and a copy of the decision notice is attached at **appendix 1**. This revised proposal has sought to address each reason by providing further, more detailed justification and also additional evidence, as summarised below and set out in more detail in this Statement:

1. The proposal does not constitute limited infill and therefore is not considered appropriate development in the Green Belt; **RESPONSE - The application site is located within the settlement boundary of Tockington and is surrounded by residential development on three sides (north, east and south) and therefore the new dwelling can be described as infill development. The proposed scheme is one of a much smaller scale than the previous application refused in 2019**

given that the number of new dwellings has been reduced from two to one and the size of the outbuilding has also been reduced in size, now consisting of only a single storey garage. The proposed 1no. dwelling and 1no. outbuilding therefore conforms with what can be defined as a 'small scale' and limited infill development. Limited infill development is an acceptable form of development within the settlement boundary and within this 'washed over' Green Belt (GB) location.

Further, the reduced number of dwellings has significantly decreased the need for parking and other ancillary domestic uses, reducing the impact on the openness of the GB.

- 2. The proposal is considered to cause harm to the character and appearance of the Conservation Area; RESPONSE - The proposal is of a smaller scale than the previous proposal and ensures that a larger proportion of the existing garden is retained. The principle of infill development in the Conservation Area (CA) has been established by the erection of the adjacent dwelling at Orchard Cottage and the new dwelling will have the same impact on the setting of the Heritage Asset (HA) as this existing dwelling.**

Previous concerns also related to the reduction in the green and open character of the site. Given the reduced scale of the development compared to that previously submitted, this issue has now been addressed in the revised proposal.

- 3. Insufficient details provided regarding turning and parking or sustainable transport; RESPONSE – The revised layout shows a large turning area for cars ensuring that they will be able to enter and egress the site in a forward gear. These details are set out in the main assessment section below.**

4. Arboricultural Impact Assessment was not submitted with the application; **RESPONSE – the proposal has significantly reduced the quantum of development and sited the only dwelling in the centre of the plot, away from all trees.**

Further, an application (ref: P19/4680/TCA) was granted planning permission in May 2019 to fell a number of trees on site, including those shown in image 11. Consequently, there will be no impact on the existing trees that are retained following implementation of the development.

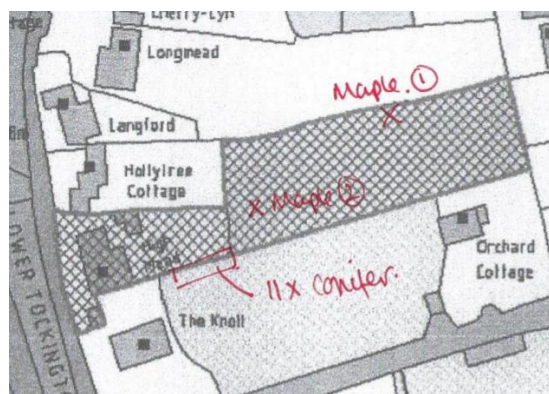


Image 11 – Location of trees approved for removal under ref: P19/4680/TCA

However, additional planting and landscaping is shown on the Indicative Layout Plan which confirms that the boundaries of the site can be planted with a mix of trees, hedgerows and plants to enhance the landscape setting of the site. This issue is Reserved but the details shown on the layout plan confirm that additional planting can be provided on site.

5. Insufficient ecology/ biodiversity report; **RESPONSE – A Preliminary Ecological Assessment (PEA) has been prepared by Abricon to consider the impact of the proposal on protected species, including bats and Great Crested Newts. The PEA concludes that there is no harm to protected species including bats, badgers, dormice, Great Crested Newts and reptiles.**

6. Insufficient details are provided regarding the surface water and foul drainage method; **RESPONSE – Surface water will be served by soakaways and foul water will be connected to the mains sewer that are located within the highway outside the site. Further details can be provided via a planning condition or during the determination of this application.**

7. The proposal is considered to cause adverse impacts to be detrimental to the living condition of the neighbouring residents; **RESPONSE – The reduction in the number of dwellings (from two to one), coupled with the revised siting of the new dwelling to the west of the end elevation of Orchard Cottage, coupled with the east/ west orientation, ensure that there will be no overlooking into this dwelling. Further, given the significant distances between the proposed and existing houses, there will not be any overlooking and resultant adverse impact on residential amenity.**
Further, the scale of the dwelling, with the first floor accommodation set within the roof, ensures that it is not overbearing to Orchard Cottage.

Orchard Cottage

- 4.3. Planning permission was granted for Orchard Cottage in April 2013 (ref: PT13/0420/F). A copy of the approved site layout plan is attached at **image 12**. Orchard Cottage was granted as an extension to an existing dwelling but the proposal comprised a large extension to create the dwelling now in situ.

- 4.4. There was no harm considered to be caused to the character or appearance of the CA and no harm to the openness of the GB.



Image 11 – Approved location plan of Orchard Cottage (PT13/0420/F)

5. Planning Policy and Assessment

5.1. This section summarises the national and local planning policy and guidance relevant to the development proposal. The plan-led approach to development, as enshrined by Section 38 (6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to accord with the adopted Development Plan unless material considerations indicate otherwise.

5.2. The South Gloucestershire Development Plan comprises:

- South Gloucestershire Policies, Sites and Places Plan (PSP) (adopted November 2017);
and
- South Gloucestershire Core Strategy (CS) (adopted December 2013).

5.3. Documents other than those that make up the Development Plan but which are material considerations to which differing weight is attached include:

- National Planning Policy Framework (NPPF) – Significant weight is attached to this document;
- Residential Parking Standards Supplementary Planning Document (SPD) – adopted December 2013;
- Sustainable Drainage Systems (SuDS) SPD (2021);
- Revised Landscape Character Assessment SPD (2014);
- Annex and Outbuildings SPD (2021); and
- Technical Advice Note (TAN) Assessing Residential Amenity (June 2016).

5.4. This section of the Statement will now assess the proposal against the key policies and demonstrate that the previous reasons for refusal have been addressed.

1. Principle of Development

- 5.5. **Paragraph 10** of the NPPF advises that so that sustainable development is pursued in a positive way, at the heart of the Framework is a *presumption in favour of sustainable development*. For decision-taking this means: approving development proposals that accord with an up-to-date development plan without delay.
- 5.6. **Paragraph 38** of the NPPF advises that *“Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.”*
- 5.7. Overall, the NPPF confirms that the primary objective of development management is to foster the delivery of sustainable development, not to hinder or prevent it.
- 5.8. In terms of local plan policy in regard to the principle of residential development it is noted that South Gloucestershire Council can only marginally demonstrate a 5 year housing land supply. This is however a fluid situation and has been this way for a number of years, with the Council adopting a position whereby limited infilling of one to two dwellings are supported in the GB. The Council’s housing requirement should be treated as a true minimum and the revised NPPF still refers to the Government’s objective of *“significantly boosting”* the supply of homes at **paragraph 60**. Nevertheless, the development plan policies are up-to-date. In this scenario **paragraph 11** of the NPPF advises that *“For decision-taking this means: approving development proposals that accord with an up-to-date development plan without delay.”*
- 5.9. This is supported by **Policy CS5 part 6(a)** which confirms the Council’s approach to development within the settlement boundaries of villages in the Green Belt, such as Tockington. Part 6 (a) confirms that small scale infill development may be permitted within the settlement boundaries of villages ‘*washed-over*’ by the Green Belt. However, as can be seen on the location plan and block plan, and Proposals Map extract (**image 6**), the proposed dwelling is within the settlement

boundary and is surrounded by existing dwellings on all sides and would therefore sit within the context of existing built form and in turn can be defined as infill development.

5.10. In accordance with **policy CS34**, the proposal will protect the GB from inappropriate development (part 4); and maintain the settlement boundary (part 5) by developing within and not outside of it.

5.11. The principle of 1no. new residential dwelling at Highmead, Tockington Lane is therefore acceptable in principle. However, this was the case in respect of the 2019 proposal and the next assessment is made against GB policy.

Green Belt

5.12. **Paragraphs 147** and **148** of the NPPF confirm that inappropriate development in the Green Belt is, by definition, harmful and should not be approved except in very special circumstances. Such circumstances *“will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations.”* This is reiterated in PSP Plan **Policy PSP7**.

5.13. **Paragraph 149** of the NPPF confirms that the construction of new buildings in the Green Belt should normally be regarded as inappropriate but goes on to list seven categories of development which constitute exceptions to this, including part (e) *‘limited infilling in villages.’*

5.14. The Council’s adopted Supplementary Planning Document (SPD) – Development in the Green Belt (adopted 2007), whilst published before the NPPF remains a material consideration and was referred to in the previous delegated report supporting the refusal of planning permission in 2019. It provides guidance on GB policy and explains the limited development that is permitted in the Green Belt includes infill development. The SPD goes on to define infill development as *“development that is small in scale and which fits into an existing built up area in a defined settlement boundary, normally in-between existing buildings, in a linear formation”*.

5.15. The application site is therefore considered to meet this definition of infilling, for the following reasons:

1. The application site is surrounded by residential development on three sides (north, east and south);
2. The proposal for the erection of 1no. ancillary outbuilding and 1no. new dwelling is small in scale and has been reduced in quantum, size and scale from the 2019 proposal;
3. The application site is within the settlement boundary of Tockington and so development of the site is entirely appropriate given the built form of the surrounding area;
4. **Appendix 2** includes evidence of other 10 sites within South Gloucestershire where limited infilling in villages has been granted planning permission. It is considered all of these examples have similarities to the proposal and demonstrate that limited infilling in this type of village location where development tends to be lower density and more rural in appearance. Many of the examples are a significant distance (100m+) from settlement boundaries and only have development on two sides. This is markedly different to the application site which, as **image 2** confirms is surrounded on three sides by residential dwellings.
5. There is a clear visual link between the building line of the adjacent dwelling at Orchard Cottage to the south of the site, the houses in Manor Park to the east and Highmead to the west.

5.16. Given the above it is considered that the development proposal constitutes *limited infilling within a village*.

5.17. The first reason for refusal of the 2019 application considered that the proposal did not constitute limited infilling. However this proposal was for 2no. detached dwellings and a two storey outbuilding for use as a carport/ gym with living accommodation above. The reduction of the scale of the proposal to only 1no. dwelling. The proposed outbuildings are single storey and only to be used as domestic garages and is therefore significantly different from the refused scheme upon which concerns were raised about the quantum of development. The reduction in

the scale of development proposed has resulted in this being able to be supported as “limited infilling” in the GB.

5.18. As such, the proposed development would not be inappropriate development within the Green Belt and by definition not harmful to its openness.

2. Impact on the Tockington Conservation Area

5.19. The impact of the proposal on the character and appearance of the Tockington Conservation Area is considered in the Heritage Statement.

3. Parking and Access

5.20. the third reason for refusal referred to the inadequate parking/ turning space for the new dwellings. By reducing the proposal to 1no. new dwelling, additional space is provided to allow for greater residential garden space, parking and turning.

5.21. **Policy PSP16** and the **South Gloucestershire Council Residential Parking Standards SPD (March 2013)** set out the Council’s minimum parking and cycle standards. For car parking for 4+ bedroom properties, a minimum of two spaces should be provided.

5.22. There is ample space on-site for three car parking spaces for the proposed new dwelling which would also accommodate visitor parking. In addition, a dual aspect garage is also proposed ancillary to the new dwelling. This is in accordance with **policy PSP16** and also the **Residential Parking Standards SPD**. Final arrangements will be secured at the reserved matters stage.

5.23. There is ample space on the site for waste and recycling storage to be provided for the proposed new dwelling, with easy access to Lower Tockington Road via the existing driveway, an extension of which will serve the proposed dwelling. Waste and recycling collection will be from the roadside. Access to the proposed outbuilding to serve Highmead and the 1no. new dwelling is via the driveway off of Lower Tockington Road. Access is existing and established at this junction and so the proposal is unlikely to result in an adverse impact to highway safety. The proposal is therefore in accordance with **policy CS1** of the Core Strategy, **policy PSP16** of the PSP Plan and the **Residential Parking Standards SPD**.

4. Impact on trees

- 5.24. The fourth reason for refusal referred to the impact on trees and absence of an Arboricultural impact assessment. As described in the planning history section of this Statement, an application to remove a number of trees was approved in 2019. The siting of these is shown in **image 11**. Their removal, coupled with the altered siting of the proposed dwelling in the centre of the site away from the boundary where these trees were located, ensures that there will be no adverse impact or loss of any trees.
- 5.25. In fact, whilst landscaping is a Reserved Matter, the indicative landscaping plan shows significant planting of trees and other planting on the site boundary and within the proposed rear garden of the new dwelling.

5. Ecology

- 5.26. The fifth reason for refusal of the 2019 proposal referred to the absence of any ecological assessment of the impact of the proposal on protected species.
- 5.27. **Paragraph 111** of the NPPF states that *'The planning system should contribute to and enhance the natural and local environment by... recognising the wider benefits of ecosystem services...and minimising impacts on biodiversity and providing net gains in biodiversity where possible'*.
- 5.28. **Policy CS9** of the Core Strategy states that new development will be expected to *"conserve and enhance the natural environment, avoiding or minimising impacts on biodiversity and geodiversity"*.
- 5.29. **Policy PSP18** requires that developments which have a significant adverse impact on protected species will not be acceptable unless the effects are avoided or mitigated against. **Policy PSP19** relates to the loss of biodiversity.
- 5.30. The Preliminary Ecological Appraisal (PEA) prepared by Abricon concludes that there is no harm to protected species arising from the development and mitigation is not considered necessary.

5.31. On this basis, the proposal is therefore in accordance with **policies CS9, PSP18 and PSP19** as well as the NPPF.

6. Drainage

5.32. The sixth reason for refusal the lack of details of surface water and foul drainage. In this respect, soakaways will accommodate storm water and surface water runoff. Foul water connections to the existing sewerage system on Lower Tockington Road as confirmed in **image 12**.

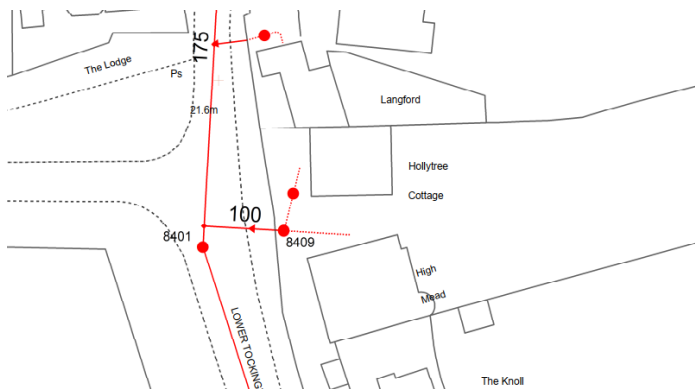


Image 12 – Extract from Wessex Water Network Plan

Residential Amenity

5.33. The seventh reason for refusal considered that the proposed siting would have an adverse impact on residential amenity, scale, fenestration and the siting of the proposed dwellings as well as the intensification of the proposed access would result in noise and disturbance to existing dwellings., contrary to policies **CS1, CS34, PSP8 and PSP38**.

5.34. **Paragraph 130** of the NPPF states that planning decisions should ensure that developments create places with *‘a high standard of amenity for existing and future users’*.

5.35. **Policy PSP8** of the PSP Plan states *“Development proposal(s) will be acceptable provided that they do not create unacceptable living conditions or have an unacceptable impact on the residential amenity of occupiers of the development or of nearby properties. Unacceptable impacts could result from (but are not restricted to):*

- a. loss of privacy and overlooking;*
- b. overbearing and dominant impact;*
- c. loss of light (daylight/sunlight);*
- d. noise or disturbance; and*
- e. odours, fumes or vibration”.*

5.36. Given the distances of the proposed dwelling from the existing properties, coupled with the existing and proposed boundary planting and landscaping, there is no harmful overbearing or loss of privacy. The scale and height of the dwelling is the same as Orchard Cottage to the south thereby and sited to the north, thereby ensuring no adverse daylight/ sunlight impact.

5.37. The linear layout of the proposed new dwelling with Orchard Cottage has been designed so as to minimise its impact on the neighbouring property. The siting of the dwelling in the centre of the plot is also at a distance from any other dwellings nearby. The appearance of the proposed dwellings is a reserved matter; however, an obscured glass window is shown on the south elevation. For these reasons, there is no conflict with **policy PSP8**.

5.38. **Policy PSP38** relates to development within existing residential curtilages and requires that within “*defined settlement boundaries, development within existing residential curtilages, including extensions and new dwellings, and residential extensions elsewhere, will be acceptable where they:*

1. respect the building line, form, scale, proportions, window and door shape and reveals, alignment of openings, architectural style/detailing and external materials and boundary treatments, and hard and soft landscaping of the street and surrounding area; **RESPONSE -**

2. would not prejudice the amenities of neighbours **RESPONSE - this issue is considered above.**

3. would not prejudice highway safety or the provision of an acceptable level of parking provision for existing and any new buildings, where appropriate; **RESPONSE – there is no adverse impact on highway safety through the use of the existing access**

off Lower Tockington Road to serve this additional dwelling. No concern was raised in respect of the access off the adopted highway in respect of the assessment of the 2019 proposal

With regards to parking, the proposed dwelling is shown with a garage for 2no. cars and a large parking/ turning area in front. The Council's Residential Parking Standard SPD (2013) sets out the residential parking standards for dwellings as a minimum of 2 spaces for a 4 bedroom dwelling. The proposed parking easily meets this minimum standard.

The proposed three car garage for Highmead serves this existing family dwelling and therefore does not need to be assessed against the SPD, even though it meets the proposed standards in the PSP.

4. would not prejudice the provision of adequate private amenity space, or lead to the loss of trees and vegetation that provide valuable relief in highly built up localities or garden(s) that form part of a settlement pattern that contributes significantly to local character. **RESPONSE** – the retained private garden space for Highmead is 420 sqm, exceeding the minimum garden space standards set out in policy PSP43 which requires a minimum of 70sqm for a 4 bedroom dwelling. The garden space for the new dwelling measures 620sqm and also exceeds this standard.

5.39. For these reasons, the proposal accords with **policy PSP38** and provides a high quality level of amenity.

5.40. The impact of the use of the existing access was previously considered to harm residential amenity. Now that the proposal has been reduced in quantum so that only 1 new dwelling is proposed, the impact of these additional movements will not very low in intensity and

5.41. PSP Plan **policy PSP43** states that '*All new residential units (including those created by the change of use, development or sub-division of existing buildings), will be expected to have access to private amenity space*'. Minimum standards are set out: for 4+ bedroom dwellings, a minimum

of 70sqm should be provided. As described above, the proposed private gardens will be well in excess of this minimum size requirement, thereby ensuring compliance with **policy PSP43...**

Other issues - Design and appearance

5.42. **Paragraph 126** of the NPPF confirms that *“The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.”*

5.43. **Paragraph 130** of the NPPF sets out that *“Planning policies and decisions should ensure that developments:*

a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience”.

5.44. Core Strategy **policy CS1** seeks to ensure high quality design with regards to siting, form, scale, height, massing, detailing, colour and materials that should be informed by and enhance the character and distinctiveness of an area. PSP Plan **policy PSP1** – ‘*Local Distinctiveness*’ requires new development to demonstrate an understanding of, and respond constructively to the buildings and characteristics that make a particularly positive contribution to the distinctiveness of the area / locality. Tockington has a mix of properties and architectural styles, with post-war, modern styles mixed amongst detached, semi-detached and terrace housing. In the immediate surrounding area to the application site are a number of large, detached houses with separate garages, as such the proposed design responds directly to these characteristics.

5.45. No objection was raised in respect of design and appearance of the previous proposal. A comparison of the refused scheme is shown at **image 13** and the proposed elevations **image 14**. Photographs of the dwellings surrounding the site are shown in **images 3, 4, and 5** above which confirm the general design and appearance is formed by detached dwellings with pitched roofs and rendered finishes. The use of stone is more common in older buildings in the heart of the village to the north of the site (**images 15 and 16**).

5.46. The proposal includes the use of stone on the ground floor with render on the first floor to reflect the more historic core of Tockington and more modern finishes nearby. The use of both traditional and modern materials is considered to provide a good balance with reflects the local distinctiveness required by **policies CS1 and PSP1**.



Image 13 – images of refused 2019 west elevation



Image 14 – Extract of proposed west elevation



Images 15 & 16 – Examples of traditional materials used in heart of village to the north of the site (source: Google maps)

Scale

5.47. The scale of the proposed dwelling is considered to be commensurate with the surrounding development. No objection was raised in respect of the height and scale of the dwellings previously which, as **image12** confirms, was also two storeys in height. The proposed dwelling is lower in height and has a smaller scale by virtue of its height and footprint.

5.48. The resultant reduction in the density is also considered to be appropriate for the site given the surrounding context. The proposed new dwelling would be subservient in height and size to the existing host building of Highmead House and neighbouring property at Orchard Cottage. The scale has been informed by the character of the immediate context of the site and the proposal is therefore in accordance with **policy PSP1** of the PSP Plan and **policy CS1** of the Core Strategy.

6. Heritage Statement

- 6.1. **Policy PSP17** concerns Heritage Assets (HA) and the historic environment and states *“Development proposals should serve to protect, and where appropriate, enhance or better reveal the significance of heritage assets and their settings. They should be conserved in a manner that is appropriate to their significance.”*
- 6.2. The site lies within the Tockington Conservation Area (CA), where development is expected to *“preserve or, where appropriate, enhance those elements which contribute to their special character or appearance; and pay particular attention to opportunities to enhance negative parts of conservation areas and to draw on local character and distinctiveness”*.
- 6.3. First designated a CA in July 1975, the historic core of Tockington is located around Tockington Green, approximately 155m to the north of the application site. Other notable buildings include Grade II Listed Tockington School and previously mentioned Grade II Listed Swan Inn. It is noted that the historic pattern of development within Tockington follows a strong ‘T’ form which is considered an important characteristic of the village.
- 6.4. The application site itself is not a listed building, nor considered in close proximity to a listed building. The location of the site away from the historic core centred around Tockington Green also ensures the proposal would have limited impact on the special architectural or historic interest of the Conservation Area.
- 6.5. Planning application ref: P19/11300/F was previously refused at the site for a number of reasons including the failure to respect the form and pattern of the historic settlement with a resultant loss in green open space. The proposal however is of a smaller scale than this previous proposal including for a reduced number of dwellings (now only 1no. additional dwelling compared to two). The erection of 1no. outbuilding and 1no. new dwelling will ensure that the larger expanse of open garden is retained for both Highmead and the new dwelling.
- 6.6. In respect of the historic ‘T’ form pattern of development within Tockington referred to previously, the proposal is for an ancillary garage to serve Highmead and a singular new

residential dwelling. As demonstrated in the Green Belt assessment section of this Statement, the reduced scale is now considered to constitute infill development and reflect the existing pattern of housing that is perpendicular to Lower Tockington Road. Although not immediately fronting Lower Tockington, the proposed new dwelling is sited to face Tockington Lower Road. The siting is similar to the recently approved Orchard Cottage to the south and reflects this new building line created.

6.7. The proposed access remains off of Lower Tockington Road via the existing driveway. The siting of the proposal therefore does not impact the dominant 'T' form of the historic development pattern of the village. The proposed dwelling is set back but is still fronted toward and accessed via the main component of Lower Tockington Road. As such, the proposal is considered to have no detrimental impact to the overall characteristics of the CA and thus, accords with **policy PSP7**.

6.8. **Paragraph 194** of the NPPF states that *'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.'*

6.9. **Paragraph 199** states that *'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.'*

6.10. **Policy CS1** of the Core Strategy states that development proposals will be required to demonstrate that *"existing features of landscape, nature conservation, heritage (our emphasis) or amenity value and public rights of way, are safeguarded and enhanced through incorporation into development"*. **Policy CS9** of the Core Strategy reaffirms **Paragraph 194** in stating that new development will be expected to *"ensure that heritage assets are conserved, respected and enhanced in a manner appropriate to their significance"*. This is also supported within the council's most up-to-date planning document the PSP Plan and specifically **Policy PSP17**. This

policy also contains a number of criteria which should be met, and these are discussed in more detail below.

- 6.11. The council have also carried out an appraisal for Tockington CA which is supported by current policy context, pictures and mapping. The appraisal includes a very brief summary of the setting and history of Tockington and neither section highlights anything significant in regard to the application site. Similarly, the section on the character of the CA does not make any mention of the application site or land to the rear, instead concentrating on the entrance to the village from the south as well as the open space of Tockington Green and Tockington Manor School to the east.
- 6.12. Finally, the appraisal contains a Summary Map (shown in **image 17**) which confirms that the nearest heritage asset is the Listed Building of the Swan Pub to the north, more than 90m from the proposed new dwelling between which are a number of existing dwellings ensuring no direct line of sight or relationship between the two. As a result the setting of the listed building would not be impacted upon as a result of the proposals.
- 6.13. The Summary Map also confirms the organic evolution of the village in respect of a settlement pattern consisting of buildings fronting directly, at right angles, to the rear of and in roads and lanes off the main roads. The proposed dwelling continues this 'organic' evolution of the village.

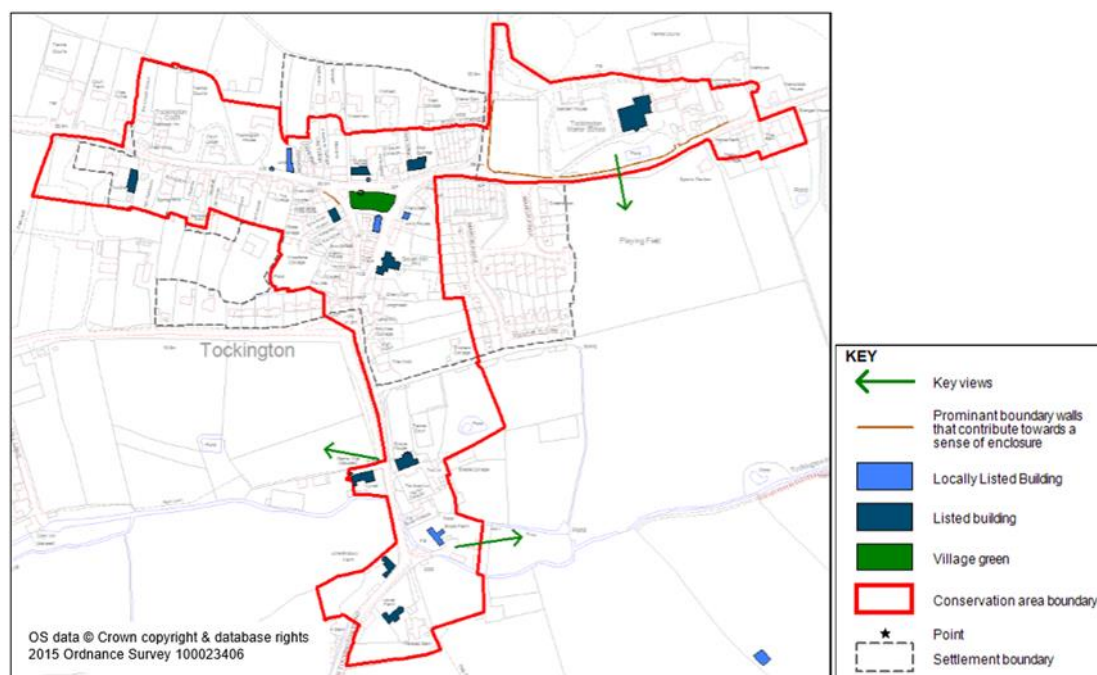


Image 17 – Summary Map taken from Tockington Conservation Area appraisal (source: www.southglos.gov.uk)

6.14. **Policy PSP17** of the PSP Plan states that in regard to conservation areas ‘Development within or affecting the setting of a conservation area will be expected to:

- *preserve or, where appropriate, enhance those elements which contribute to their special character or appearance; and*
- *pay particular attention to opportunities to enhance negative parts of conservation areas and to draw on local character and distinctiveness’.*

6.15. Specifically, the policy then requires that proposals satisfy three criteria and these are responded to having regard to the proposals, as follows:

‘Proposals should demonstrate that size, form, position, scale, materials, design, colour and detailing have proper regard to the distinctive character and appearance of the conservation area; and’

6.16. The proposed materials reflect those seen in the CA. As has already been discussed, the design of the proposed dwelling has been influenced by the surrounding dwellings, both old and new

and the use of stone and render reflects well this character. The new dwelling's position to the rear of Highmead would leave it largely screened from the CA with only glimpsed views of the building from the private rear gardens of surrounding properties to the east and west.

6.17. It is considered the proposal has proper regard to the distinctive character and appearance of the CA. The amended scale and quantum of development has ensured that the proposal has addressed the concerns raised in the previous reasons for refusal in respect of the impact on the conservation area.

6.18. **Policy PSP17** then requires:

'Proposals should demonstrate that buildings, groups of buildings, historic street and plot patterns, open spaces, building lines, views, vistas, ground surfaces, boundary walls and other architectural or hard landscape features, which contribute to the character or appearance of the conservation area are retained; and'

6.19. The proposals do not involve the demolition of any structures that contribute to the character and appearance of the conservation area. The proposed addition of a plot to the rear of Highmead would result in a logical extension to the secondary building line which exists to the rears of the houses, including Orchard Cottage to the south.

6.20. **Policy PSP17** then requires:

'Proposals should demonstrate that existing trees, hedges and green spaces, or other natural features, which contribute to the character or appearance of the conservation area, will be retained and protected'.

6.21. The existing trees on site that were considered in the 2019 application have been removed lawfully by virtue of a 2019 application. However additional compensatory replacement planting is shown around the site, controlled as one of the Reserved Matters.. As such, the proposal would not have an adverse impact on any green space that contributes to the character or appearance of the conservation area.

6.22. Overall, it is considered that the designated heritage assets and their settings would be safeguarded and enhanced by the proposals, the scheme would not result in substantial harm to the designated heritage assets and the scheme is therefore in accordance with the NPPF, **Policies CS1 and CS9** of the Core Strategy and **Policy PSP17** of the PSP Plan.

7. Summary and Conclusion

- 7.1. The proposal is for outline planning permission for the erection of an outbuilding ancillary to the existing dwelling and erection of 1no. new dwelling at Highmead, Lower Tockington Road, Tockington.
- 7.2. This Planning and Heritage Statement, accompanying drawings and Preliminary Ecological Appraisal has provided the evidence required to address the reasons for refusal of the previous proposal that was refused planning permission in 2019. This resubmission has reduced the quantum of development by only proposing 1no. new dwelling and single storey outbuilding for Highmead. This Statement has confirmed that the proposal is wholly compliant with adopted policies in the Development Plan and the NPPF.
- 7.3. The proposal represents “*limited infilling in villages*” in the Green Belt and the proposed layout and scale would respect the character and appearance of the area. It represents a logical addition to the built form of Tockington, and protect and conserve the setting of the Conservation Area.
- 7.4. The proposed access demonstrates an appropriate area for turning and manoeuvring of vehicles. Evidence has confirmed that there are no issues relating to the loss of trees.
- 7.5. For these reasons the proposal is considered entirely acceptable and should be granted planning permission.