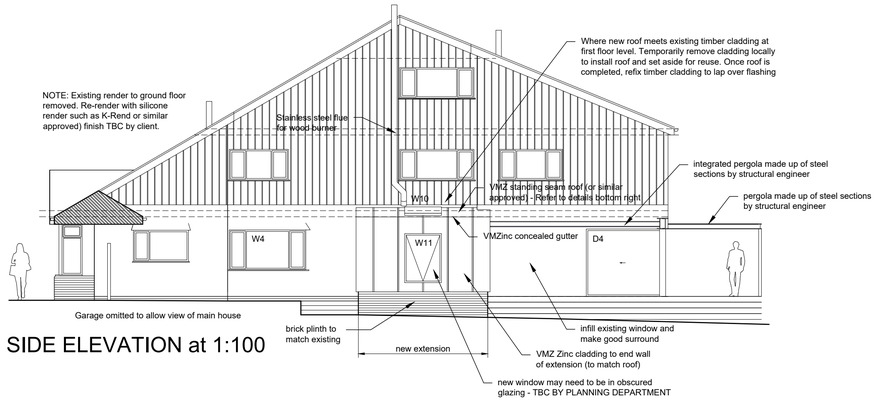
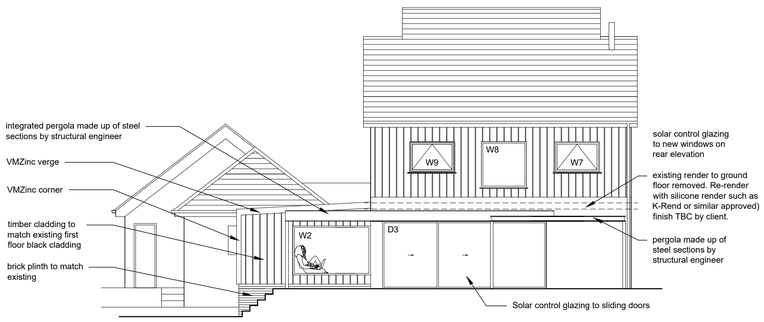
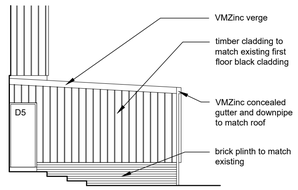


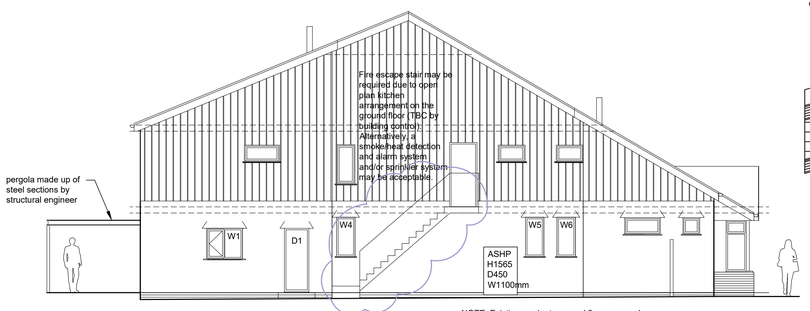
SIDE ELEVATION at 1:100



REAR ELEVATION at 1:100

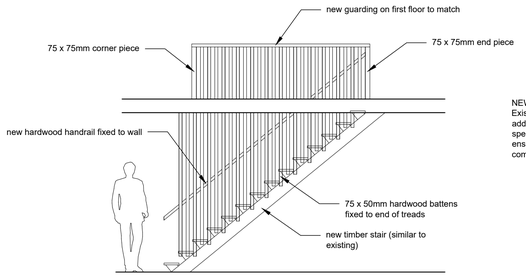


F) ELEVATION at 1:100



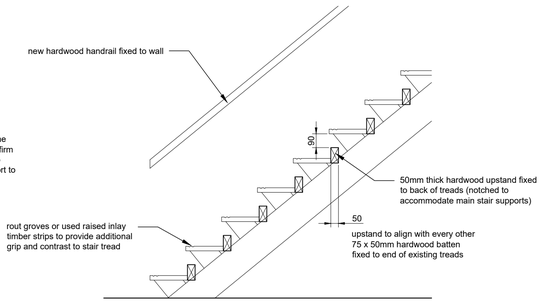
SIDE ELEVATION at 1:100

NOTE: Existing render to ground floor removed. Re-render with silicone render such as K-Rend or similar approved) finish TBC by client.



E) STAIR ELEVATION at 1:50

NEW STAIR
Existing stair replaced with similar but with the additions as shown either side. Client to confirm species and finish of timber. Manufacturer to ensure new timbers provide adequate support to comply with building regulations.



STAIR DETAIL at 1:20

RADON PROTECTION

The proposal has been identified as being in an area which may be affected by Radon. Once the work has been completed it is advisable that the property is tested in accordance with the National Radiological Protection Board's recommendations. Any cracks or service entries in the existing floor of the building should be sealed to an airtight standard.

Provide a Radon membrane to the floor of the proposed extension/building (a membrane of at least 1200 gauge polythene is required.Provide Radon proof trays in the cavity walls of the extension/building linked to the floor membrane. Joints between a floor membrane and any cavity wall trays should not form a slip plane and the joints are to be hermetically sealed or taped so as to be airtight.

A Radon barrier is to be continued across the party wall to act as a drainage channel.

Service penetrations are to have an airtight seal. Due to the presence of Radon in this area stepped foundations should be avoided.

INTERNAL PARTITIONS

Timber stud partitions as per NHBC guidance with 63mm x 38mm studs and maximum 600 ctrs. Framing joints secured with two nails per joint. Firmly fixed to each other and abutting walls; noggings or extra studs should be used where necessary; fixed to the structure where possible and fixed to noggings when parallel to structural elements. Noggings should be provide to support fittings, such as radiators, wall mounted boilers, sanitary fittings and kitchen units. Cavity barriers should be installed and the perimeter and with junctions with fire-resisting floors and walls. Rooms containing a WC should have additional sound insulation with 75mm timber studwork and one layer of 12.5mm plasterboard on each side, with joints staggered and filled and 25mm unfaced mineral wool between the studs.

All soil pipes running horizontally through a floor void above or below a habitable room should be wrapped in at laest 25mm of mineral wool and be adequately supported to avoid contact with the floor decking or ceiling. Sound insulation should be provided to soil pipes passing through homes by an encased boxing, using material (15kg/m sq.) and wrapping the pipe with a minimum 25mm of unfaced mineral fibre (10kn/m cubed min). The insulation should be continued through the thickness of each sound-insulating floor).

DRAINAGE

Consultation with Dwr Cymru/Welsh Water - Approval under the building regulations is conditional upon obtaining (prior to commencement of any works on site) written agreement to continue from the owner of the sewer i.e. 'The sewerage undertaker'. You may also be required, by the 'sewerage undertaker', to enter into a legal agreement before they will allow any building over, or within 3m of the sewer. The 'sewerage undertaker' in this instance is: Network Development Consultant - Dwr Cymru/Welsh Water.

Above ground drainage:- Rainwater goods in aluminium. Colour and profiles to match existing.

Below ground drainage:- All new drains are to be 100mm dia PVCu polypipe or similar with flexible joints laid to falls on a granular bed. Minimum fall of 1:40. Where pipes pass under the building foundations; encase in minimum C20 concrete 150mm. Concrete lintels over openings in walls for drainage pipes. All back inlet gullies and rainwater gullies to have rodding access. Patent Wavin GRP chambers to house connections on 150mm concrete base.

The erection or extension of a building or work involving the underpinning of a building shall be carried out in a way that is not detrimental to the continued maintenance of the drain, sewer or disposal main. The construction must be carried out in manner which will not overload or otherwise cause damage to the drain, sewer or disposal main either during or after the construction. The work must not obstruct reasonable access to any manhole or inspection chamber on the drain sewer or disposal main. In the event of the drain, sewer or disposal main requiring replacement, there is a satisfactory route or the building or the extension will not unduly obstruct work to replace the drain, sewer or disposal main. on its present alignment. At any points where pipes are built into a structure, including an inspection chamber, manhole, footing beam or wall, suitable measures should be taken to prevent damage or misalignment. This may be achieved by either:-

a) Building in a length of pipe (as short as possible) with its joints as close as possible to the wall faces (within at most 150mm) and connected on each side of rocker pipes by a length of at most 600mm and flexible joints or

b) Forming an opening to give at least 50mm clearance all round the pipe and the opening masked with rigid sheet material to prevent ingress of fill or vermin. It is important that the void is also filled with a compressible sealant to prevent ingress of gas.
A drain trench should not be excavated lower than the foundations of any building nearby unless either:-

c) where the trench is within 1m of the foundation the trench is filled with concrete up to the lowest level of the foundation or

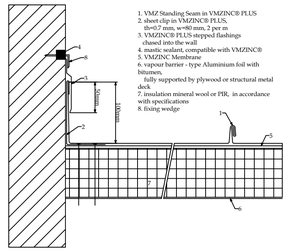
d) where the trench is further than 1m from the building, the trench is filled with concrete to a level below the lowest level for the building equal to the distance from the building, less than 150mm.

Pipes also need to be protected from damage and if the limits of cover are not attainable it may be possible to choose another pipe strength and pipe bedding class combination (as BS EN 1295-1 National Annex NA). Alternatively special protection can be provided. The choice of bedding and backfilling depends on the depth at which the pipes are to be laid and the size and strength of the pipes.

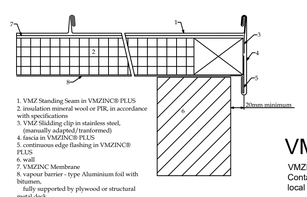
Rigid pipes - the types of bedding and backfilling which should be used for rigid pipes of standard strength laid in a trench of any width are shown in diagram 10 and tables 8 and 9. Minimum and maximum depths of cover are also shown for each type.

Flexible pipes - These will become deformed under load and require support to limit the deformation. The bedding and backfilling should be as shown in diagram 10. Minimum and maximum depths of cover are also shown in table 10. Where pipes have less than the minimum recommended cover in tables 8, 9 or 10, the pipes should, where necessary be protected from damage by a reinforced concrete cover slab with a flexible filler and at least 75mm of granular material between the top of the pipe and the underside of the flexible filler below the slabs. Where it is necessary to backfill the trench with concrete in order to protect nearby foundations movement joints formed with compressible board should be provided at each socket or sleeve joint face. Access points to sewers (serving more than one property) should be in places where they are accessible and apparent for use in an emergency. Examples of suitable locations include, highways, public open space, unfenced front gardens and shared or unfenced driveways.

JUNCTION AT VERGE OF ROOF



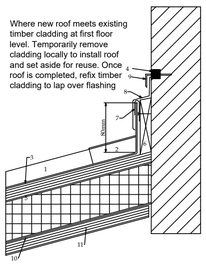
VERGE



1. VMZ Standing Seam in VMZINC® PLUS
2. insulation mineral wool or PIR, in accordance with specifications
3. VMZ Slidding clip in stainless steel, (manually adapted/transformed)
4. fascia in VMZINC® PLUS
5. continuous edge flashing in VMZINC® PLUS
6. wall
7. VMZINC Membrane
8. vapour barrier - type Aluminium foil with bitumen, fully supported by plywood or structural metal deck

HEAD VERGE WALL ABUTMENT

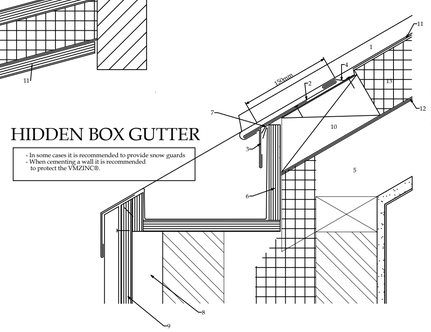
Where new roof meets existing timber cladding at first floor level. Temporarily remove cladding locally to install roof and set aside for reuse. Once roof is completed, refix timber cladding to lap over flashing



1. VMZ Standing Seam in VMZINC® PLUS
2. VMZ Head saddle piece
3. VMZINC Membrane
4. mastic sealant, compatible with VMZINC®
5. Metdeck composite panel, incorporating an 18 mm WBP plywood factory bonded to the Rosel foam
6. roof boarding
7. sheet clip in VMZINC® PLUS, th=0.7 mm min., w=80 mm, 2 per m.
8. continuous capping piece in VMZINC®PLUS
9. fixing wedge
10. vapour barrier - type Aluminium foil with bitumen
11. vapour barrier support (plywood or structural metal deck)

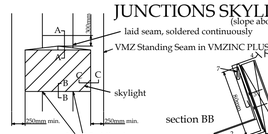
HIDDEN BOX GUTTER

- In some cases it is recommended to provide snow guards
- When cementing a wall it is recommended to protect the VMZINC®.

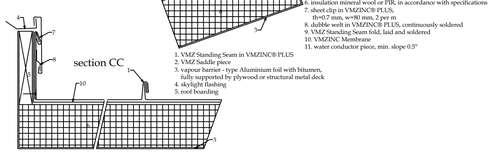


1. VMZ Standing Seam in VMZINC® PLUS
2. continuous eaves apron strip in VMZINC® PLUS
3. folded strip in VMZINC® PLUS, th=0.7 mm, continuous
4. sheet clip in VMZINC® PLUS, th=0.7 mm, w=80 mm, 2 per m
5. loadbearing structure
6. zinc box gutter on marine grade ply
7. breather membrane draped over box gutter
8. continuous unobstructed vertical ventilation gap created by vertical timber battens, consult zinc manufacturer for width requirements
9. vertical standing seam zinc finish on marine grade ply
10. rafter, 5 mm thinner than the insulation
11.VMZINC Membrane
12. vapour barrier - type Aluminium foil with bitumen, fully supported by plywood or structural metal deck
13. insulation mineral wool or PIR, in accordance with specifications

JUNCTIONS SKYLIGHT (slope above 5° (5%))

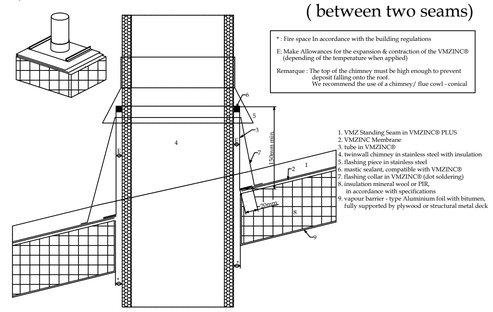


Penetrations must not interupt more than three seams. At this level, expansion of the VMZINC® must be, towards the ridge not the eaves,
* no VMZ Fixed clip at the ridge.



1. VMZ Standing Seam in VMZINC® PLUS
2. VMZ Saddle piece
3. vapour barrier - type Aluminium foil with bitumen, fully supported by plywood or structural metal deck
4. skylight flashing
5. roof boarding
6. insulation mineral wool or PIR, in accordance with specifications
7. sheet clip in VMZINC® PLUS, th=0.7 mm, w=80 mm, 2 per m
8. dubble welt in VMZINC® PLUS, continuously soldered
9. VMZ Standing Seam fold, laid and soldered
10. VMZINC Membrane
11. water conductor piece, min. slope 0.5°

JUNCTION WITH CHIMNEY IN STAINLESS STEEL (between two seams)



* : Fire space In accordance with the building regulations

E: Make Allowances for the expansion & contraction of the VMZINC® (depending of the temperature when applied)

Remarque : The top of the chimney must be high enough to prevent deposit falling onto the roof.
We recommend the use of a chimney/ flue cowl - conical

1. VMZ Standing Seam in VMZINC® PLUS
2. VMZINC Membrane
3. tube in VMZINC®
4. twinwall chimney in stainless steel with insulation
5. flashing piece in stainless steel
6. mastic sealant, compatible with VMZINC®
7. flashing collar in VMZINC® (dot soldering)
8. insulation mineral wool or PIR, in accordance with specifications
9. vapour barrier - type Aluminium foil with bitumen, fully supported by plywood or structural metal deck

VMZINC DETAILS - NOT TO SCALE

VMZINC to be installed by VMZINC recognised installer.
Contact Richard Parrett (07500 703 556) of VIMZINC for list of local installers. Roof to have a minimum 30 warranty.

DRAWING TO BE READ IN CONJUNCTION WITH VALE CONSULTANCY STRUCTURAL DESIGN

DESIGN SUBJECT TO PLANNING & BUILDING REGULATION APPROVAL - NOT FOR CONSTRUCTION

kotzmuth williams
architects
penseirt

T 02921 780001

office@kwarchitects.com
www.kwarchitects.com

Canton House
435-451 Cowbridge Rd East
Cardiff / Caerdydd
CF5 1JH

Revision	Description	By	Date
P	Initial draft for client	SDW	27/09/23
P1	2nd draft for client	SDW	23/10/23
P2	Revised structure	SDW	09/11/23
P3	ASHP added. Issued with PA & for BR	SDW	24/11/23
P4	Fire escape detail added for PA	SDW	08/01/24

Revision	Description	By	Date

Revision	Description	By	Date

Project: The Sunne Rising, Lisvane Rd, Cardiff, CF14 0SG

Description: Proposed Elevations

Job Number	Drawing Number	Revision
122110	L(00) 102	P P1 P2 P3 P4

Drawn: SDW
Date: 11/10/22
Scale at A1: 1:50
Status: PLANNING/BR