

73 Plantation Road

vine
architecture
studio

Design & Access Statement - Householder Planning Application
Proposed single storey ground floor rear extension, first floor rear extension and a rear dormer window

Issue date
08 12 2023

Project ref
VINE124

Document ref
VINE124 - DAS

For and on behalf of
Rory Pennant-Rea & Rosie Kinchen

Site address
73 Plantation Road, OX2 6JE

1	Introduction & Summary	03	4	Planning Precedents	22
1.1	Introduction	04	4.1	Precedents Overview	23
1.2	Design Principles	04			
1.2	Summary - Ground Floor	04	5	Conclusion	24
1.3	Summary - First Floor	05	5.1	Conclusion	25
1.4	Summary - Loft	05			
2	Context	06	6	Appendices	26
2.1	Site Location & Area Character	07	6.1	Site Photographs	27
2.2	Building Character	09	6.2	Precedents - Dormers	28
2.3	Planning Designations	10	6.3	Precedents - First Floor	29
2.3	Planning Policy	11	6.4	Precedents - Ground Floor	30
3	Design proposal	13			
3.1	Design Principles	14			
3.2	Design and Layout	14			
3.3	Extensions	15			
3.4	Access	15			
3.5	Design Details	15			
3.6	Proportions and Massing	15			
3.7	Materiality	17			
3.8	Daylight and Sunlight	17			
3.9	Overlooking	17			
3.10	Amenity	18			
3.11	Arboricultural	18			
3.12	Street View	20			

1 Introduction & Summary

1.1 Introduction

This Design and Access Statement has been prepared by Vine Architecture Studio on behalf of Rory-Pennant Rea (of Vine Architecture Studio) and Rosie Kinchen made to Oxford City Council.

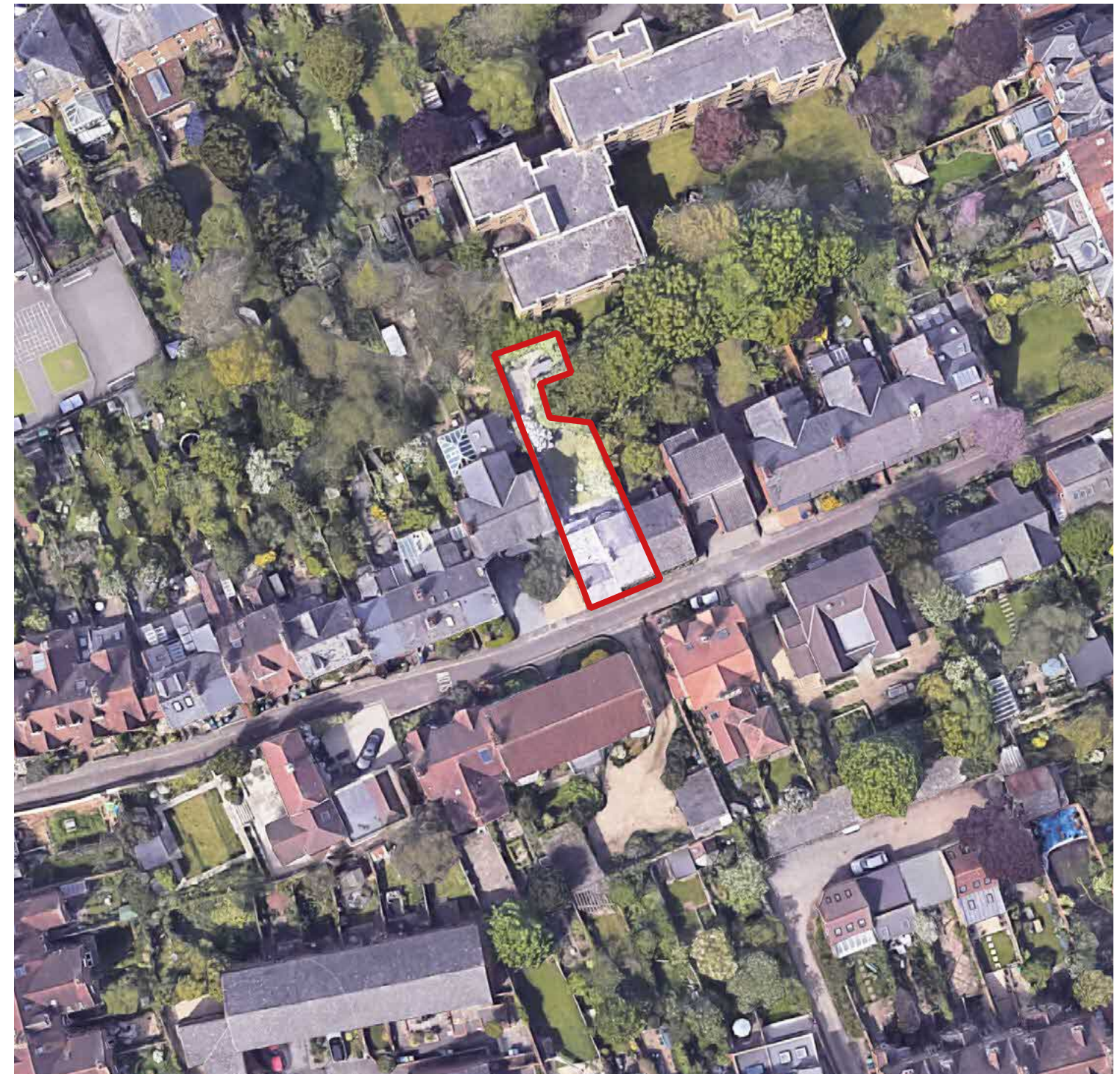
The application is for the creation of a ground floor rear extension to provide a larger, open plan kitchen and living space. It also includes a first floor roof extension to increase the floor to ceiling height of the master bedroom and a rear dormer window to create a loft room.

1.2 Summary - Design Principle

- Our proposals follow the conservation area principle of 'preserve or enhance'. We are seeking to preserve the original and historical parts of the house whilst re-designing (enhancing) later features which currently detract from the overall architectural appearance.

1.3 Summary - Ground Floor Extension

- There are a number of similar or larger ground floor extensions in height and depth that have been permitted in the surrounding area.
- We have kept the eaves height low on the boundary with 75 Plantation Road.
- Our design takes the typical / traditional form of a simple dual pitched roof which are prevalent in historical architecture and in the area as opposed to a flat roof or mono-pitched roof.
- The proposed material selection uses the local, timeless and textured materials of timber, stone, brick and zinc.
- The impact of sunlight / daylight to neighbours is negligible.
- The (remaining) garden area is large at 130sqm and longer than 19m .



73 Plantation Road Aerial View

1.4 Summary - First Floor Extension / Alterations

- There are a number of permitted first floor / roof extensions in the area. Our proposal would therefore be in keeping with the existing roofscape and other extensions.
- The first floor roof eaves height has been set so as not to be higher than the existing adjacent eaves at 71b Plantation Road.
- The rear first floor proposals replace the poorly built and incongruous existing first floor bathroom with its mono-pitch roof and uneven floors.
- The proposed materials of natural slate and painted render match the existing flank wall and roof. The proposed rear wall finish of timber (and stone / brick below at ground level) are to be consistent with the ground floor rear extension to add some unity to the otherwise disjointed existing rear elevation.

1.5 Summary - Dormer Window Extension

- There are a number of permitted dormer windows in the area to facilitate a loft room. Our proposal would therefore be in keeping with the existing roofscape and other extensions.
- The dormer extension has been designed to be set back 750mm from the eaves of the existing roof to be subordinate and respectful to the existing house.
- The dormer window has been designed so as to be below the ridge of the existing roof.
- Our dormer window follows the Oxford City Council guidance for dormers.
- There are a number of flat roof dormer extensions in the area with some being on the front pitch of houses so are visible from the street.






Proposed Rear Elevation

2 Context

This satellite view shows how the street is arranged as a mixture of house types and layouts. The typical rear footprint of the houses along the north in the street step in at 73 and 75 Plantation Road. A rear extension in this location therefore seems consistent with the prevailing rear building line in the street.



Aerial View of Plantation Road

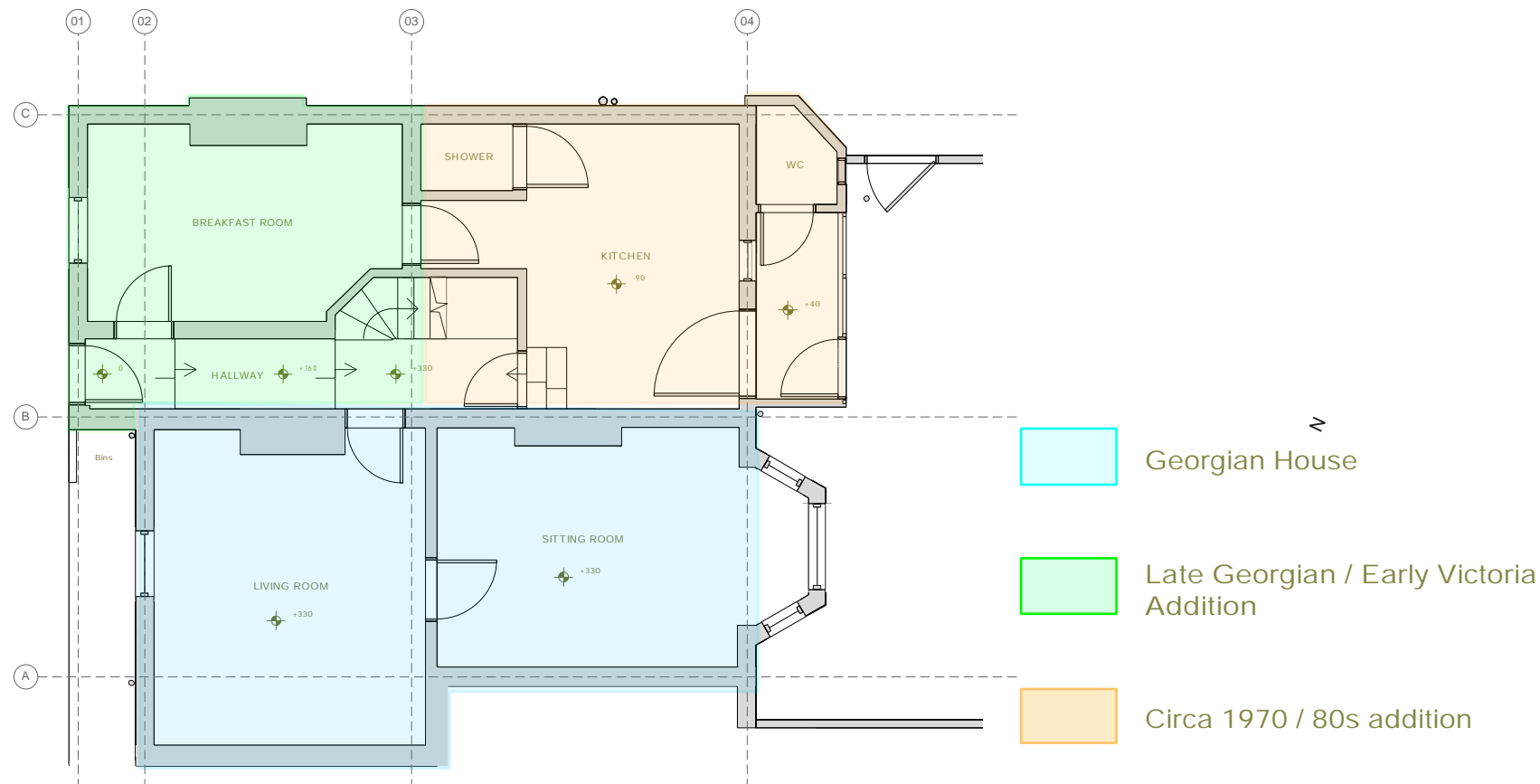
-  Profile of Plantation Road's extensions
-  Profile of Plantation Road's original houses
-  Anomalies in the typical development pattern

2.2 Building Character

We believe the house has been formed via a historical sub-division with number 75 Plantation Road. It is late Georgian / early Victorian with diaper brickwork to the front right half matching number 75 with a step in the front facade. The house is two storeys and, given this sub-division, does not have a typical architectural coherence or symmetry and is therefore visually split into two halves. The eastern half of house between grid lines A&B was built before the second western half of the house between grid lines B&C. Equally the rear of the western section of the house was built after the front eastern section (please see the plan below which illustrates this). The result of this is that the house is disjointed and lacks a coherent architectural identity.

Front Facade

The front elevation of the house reads as two halves with the western half of the house stepping out beyond the facade of the eastern half. This step is also apparent to the rear ground floor with an incongruous and poorly built ground floor lean to.



Illustrative existing plan



Existing South Elevation



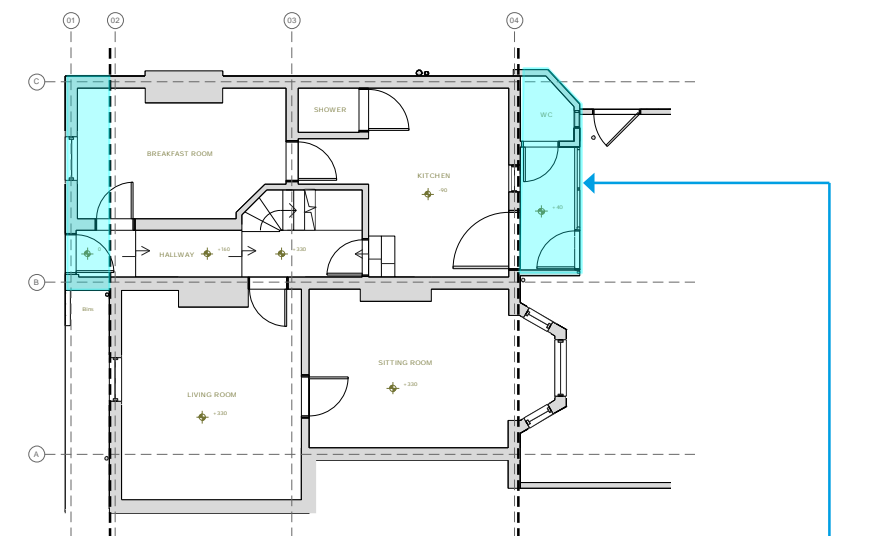
Existing North Elevation

Rear Facade

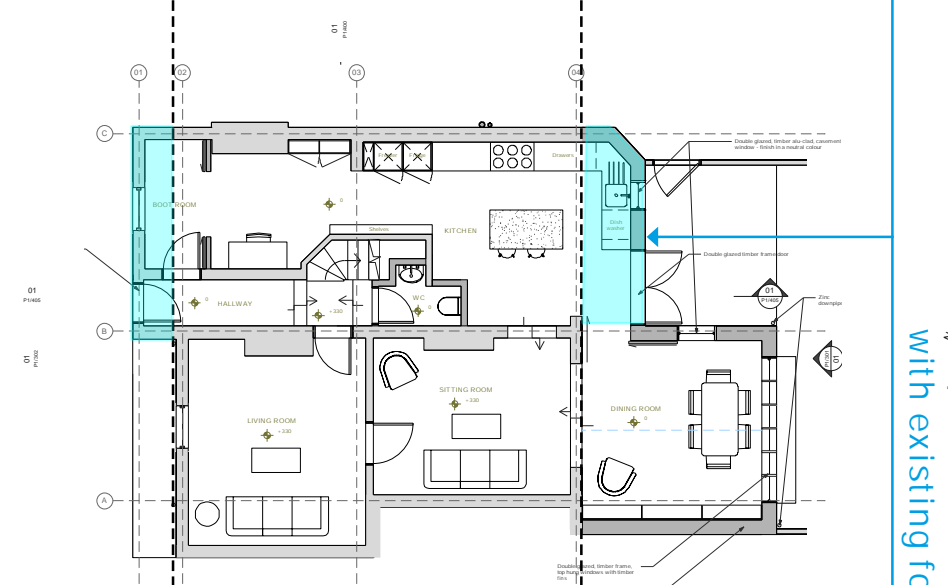
The rear facade of the house also obviously read as two halves. The eastern half being built first has the more traditional windows at first floor. The rear bay window we believe was built after the original house as a later addition. The western (rear) half of the house was built we believe circa 1970s/80s and is an odd combination of some in keeping features and some incongruous features. The first floor lean to has brickwork of a lighter tone and is stretcher bond. Also being a wide mono-pitch roof and the fact that it is built with floors at an angle suggests it was done in a hap-hazard manner.

Flank Wall

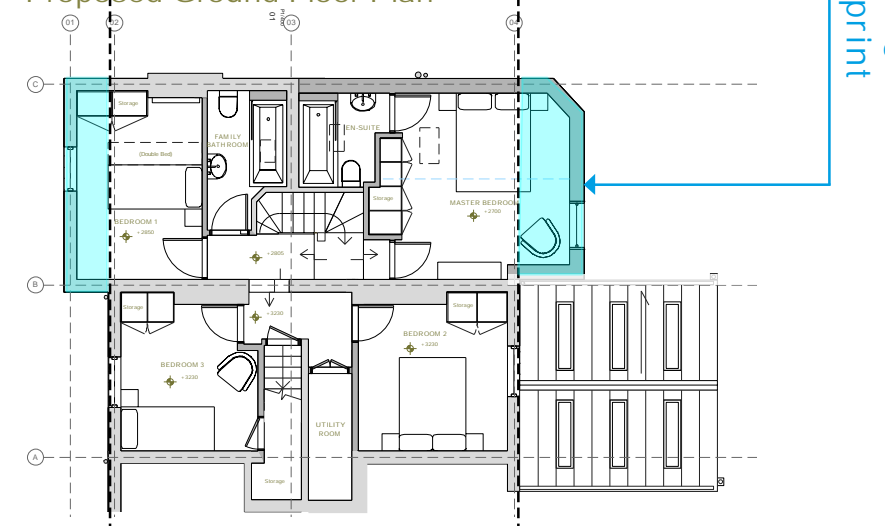
The flank wall of the house is rendered and painted off white. This was most likely done to help unify the material finish as the front and rear section were built at different times. This mimics the opposing flank wall at 69 Plantation Road.



Existing Ground Floor Plan



Proposed Ground Floor Plan



Proposed First Floor Plan

Step in facade to align
with existing footprint

2.3 Planning Designations

The house is not listed but is in the Walton Manor Conservation Area. There are no listed buildings in the immediate context.

2.4 Planning Policy

As the architects, we have endeavoured to design a rear and roof extension that are of high quality, complementary to the original building and that respond to the relevant planning policies. To inform our design for the rear and roof extensions, we have referred to the Oxford Local Plan 2036 (adopted June 2020) policies DH1, DH3 and H14 as the most relevant, as well as permitted precedents in the area.

Oxford City Council provides a informed guide for extensions to existing houses. It includes specific guidance on dormer extensions (sheet 5). Our proposal addresses the following the guidelines.

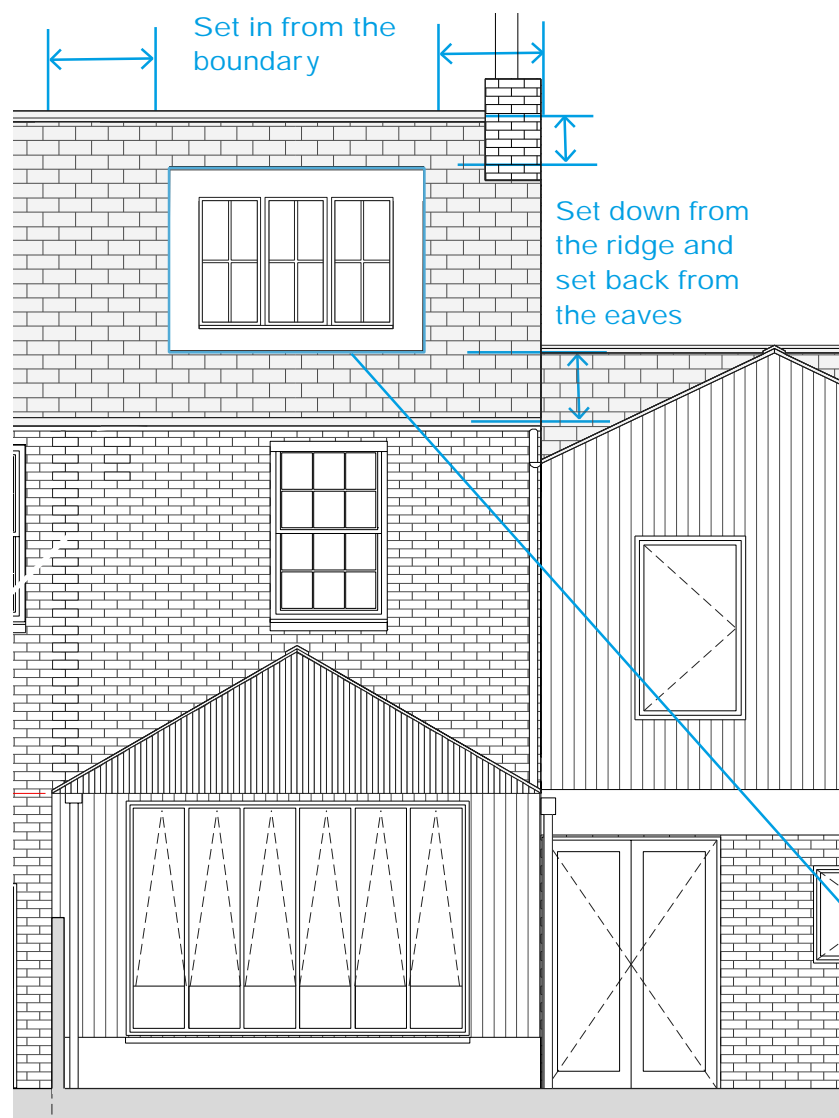
Policy Summaries

- Policy DH1 states that designs should be high quality and create or enhance local distinctiveness.
- Policy DH3 states that developments should respect and draw inspiration from Oxford's unique historic environment, responding positively to the significant character and distinctiveness of the heritage asset and locality.
- Policy H14 states that new development should provide reasonable privacy, daylight and sunlight for occupants of both existing and proposed new homes.
- Dormer windows - guidance sheet 5

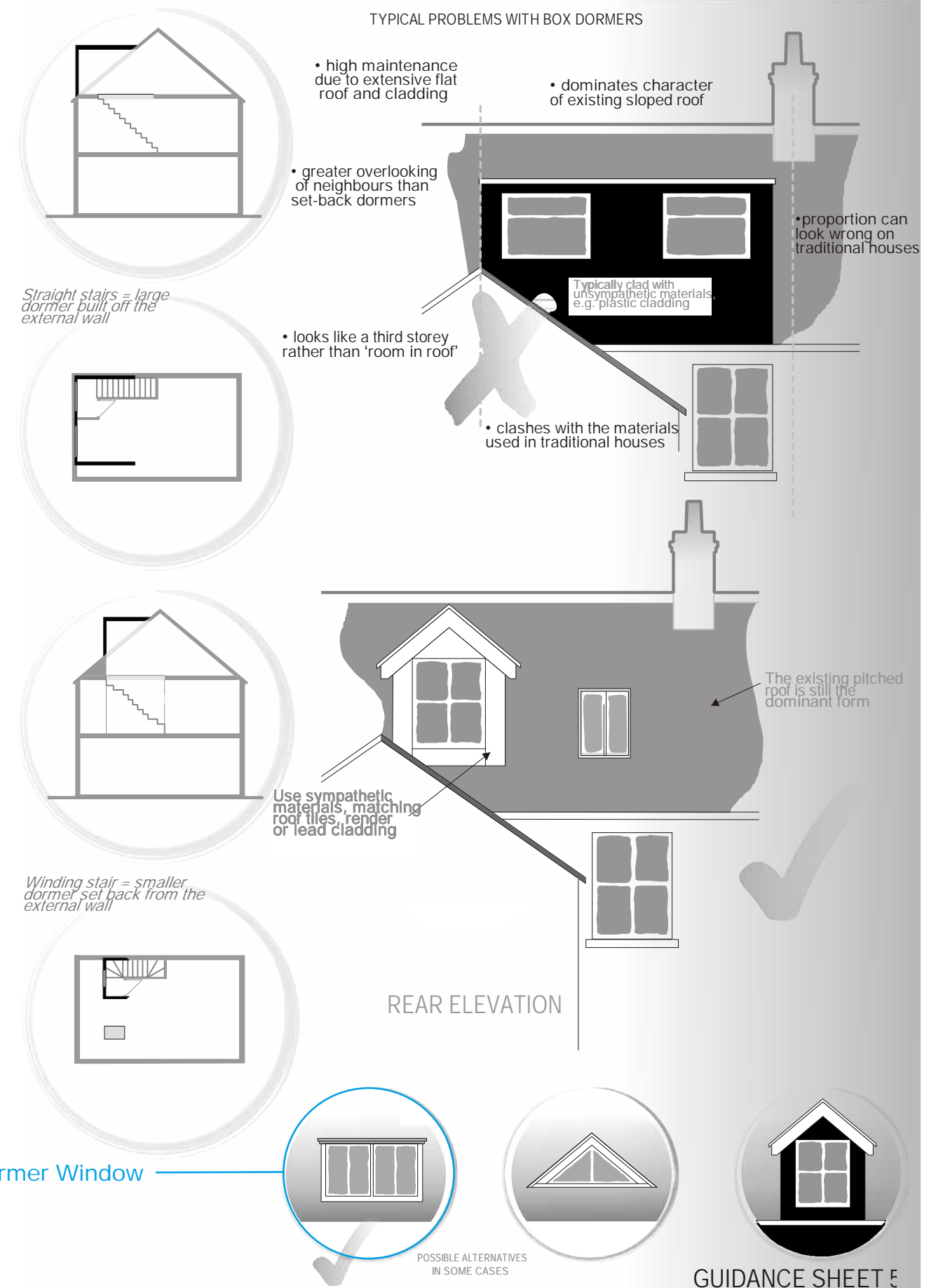
Although we have followed the guidance in the Local Plan, it is reasonable to point out that much of the guidance is aimed at new homes and larger projects. Notwithstanding, we have referenced it here and followed the principles it sets out in arriving at our proposals.

Dormer Windows

- Dormer extensions should not dominate the character of the existing sloped roof.
- Materials should not clash with those of an existing house i.e should be try to match or compliment the existing materials
- Dormers should not result in greater overlooking of neighbours and should therefore be set back from the existing eaves in order to reduce their projection depth.
- Dormers should not dominate the character of the existing roof i.e. not be too wide so as to give the appearance of a 3rd storey rather than a 'room in the roof'.
- Alternatives to a pitched roof dormer such as a box dormer can be permitted if they follow these guidelines.



Proposed Rear Elevation



Design Guidance on Dormer Windows

3 Design Proposal

3.1 Design Principles

We have set out to work with the conservation area principles of ‘preserve or enhance.’ Given the piecemeal development of the house to date and its resultant incongruous architectural identity, we have sought to preserve the original features of merit and re-design (enhance) later features which currently detract from the overall appearance of the house.

Our proposed rear extension / alterations are designed together to look to bring some coherence to the currently incoherent appearance of the rear of the house. Given the extension and changes are being made today (in the present), we have sought to bring a sensitivity to the material selection of timeless timber, handmade brick and local stone. We have not however sought to mimic historical architecture of the mid C19th as we feel this would be an insincere approach and would remain a modern day pastiche and, in our opinion, would therefore detract from the genuinely original and historical parts of the house.

We seek to be very respectful of the past without copying it while offering a sensitively designed and subordinate addition that reflects the spirit of other more ‘of today’ extensions in the conservation area.

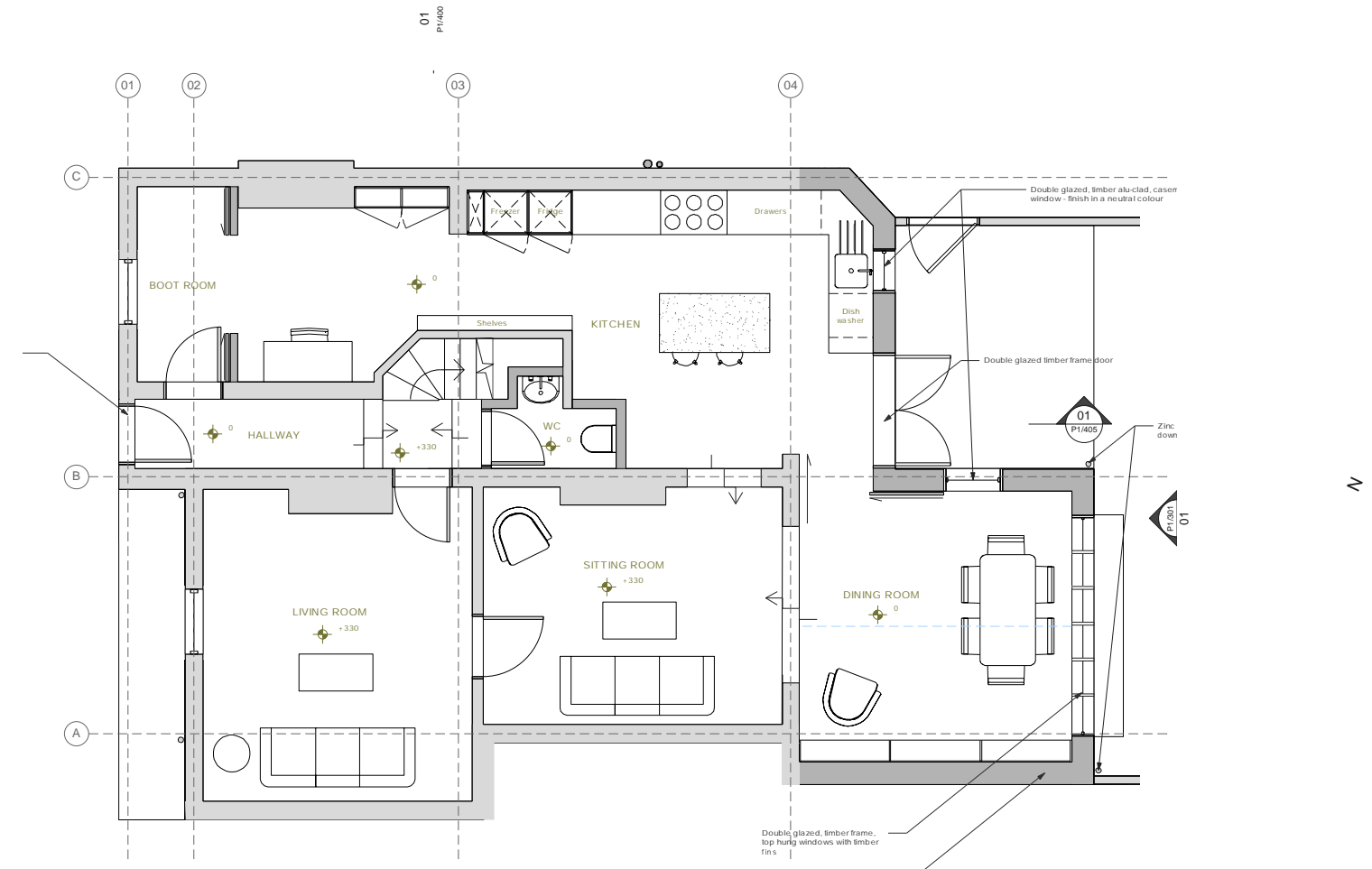
3.2 Design and Layout

Our proposal is centred on the principle of creating a design which both compliments and enhances the existing house and adds to the varied nature of architecture and specific distinctiveness of this end of Plantation Road. We would also like to create an enlarged high quality space for our young family to grow into while carrying out the necessary refurbishment works and environmental improvements the house is in need of.

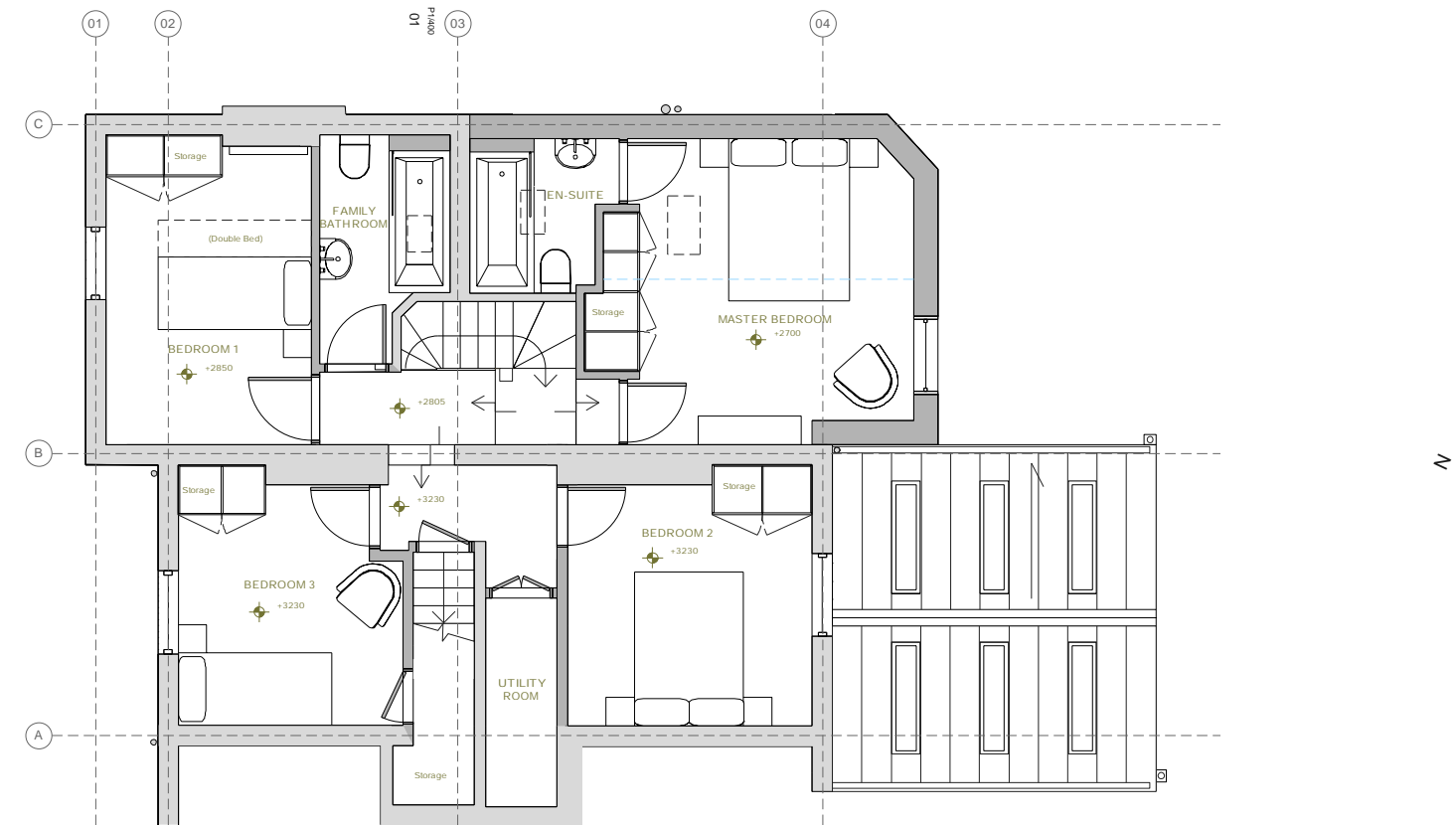
3.3 Extension

The current internal layout is disjointed and lacks an obvious circulation flow with rooms inaccessible to each other. The kitchen is cramped with poor natural light, very low ceiling heights and no heating or insulation.

Our proposed ground floor rear extension aims to provide additional space similar to other extensions in the area to create a more functional open



Proposed Ground Floor Plan



Proposed First Floor Plan

kitchen linking to the dining room and living room.

Our proposed first floor rear extension aims to increase the floor to ceiling height of the master bedroom and bathroom (and kitchen below) by introducing a more traditional dual pitched roof form.

Our proposed dormer window in the rear roof pitch is designed to compliment and be subordinate to the original house. The massing, proportions and materiality are in keeping with much of the extensions in the area. By introducing a dormer window it makes use of the currently underused loft storage space converting it into a usable room adopting the 'room in the roof' definition as set out in the LA design guidance as opposed to a third floor. The proposed loft room introduces a new flexible study space on the upper floor to accommodate the more recent need of being able to work from home.

3.4 Access

Access to the property remains unchanged.

3.5 Design Details

We propose to introduce simple clean detailing to the proposed doors, windows and cladding to the rear of the property. We will look to minimise exposed fixings through careful design and fabrication.

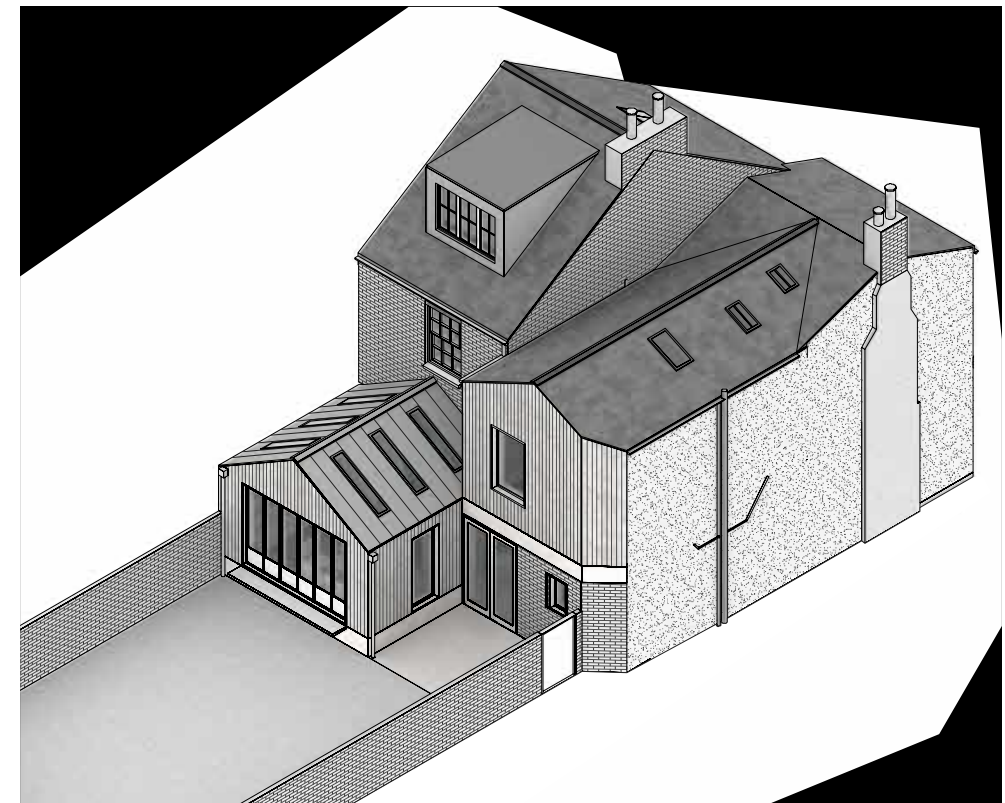
3.6 Proportions & Massing

The design responds to the desire for a more rational and functional layout. Extensions to houses in the street and wider area are varied in size and scale which reflects the host building and the architectural diversity in the area. We have considered our proposals as part of this context. Our proposal is designed to be of a similar scale to other permitted precedents.

The ground floor extension footprint projects 4m from the rear of the existing house (3m from the rear of the single storey lean to). It is 2.58m high at the eaves which is low due to the pitched roof form. It has therefore been designed with a similar massing to many other rear extensions in the



Existing Isometric View



Proposed Isometric View

conservation area, many of which are longer and taller whilst also being mid-terrace or in more constrained positions than our proposals.

The first floor roof extension has been designed to meet the ridge height of the existing roof, as is common and a more natural roof junction. The dual pitched roof design is a more sympathetic roof form than the existing mono-pitch and reflects that of many houses in the area. We propose to raise the rear portion of the existing flank wall by 1.25m so as the eaves of the existing roof naturally align with the eaves of the proposed roof. The first floor master bedroom is proposed to extend to the rear by 1m so as to align the existing footprint of the ground floor below. This also creates uniformity with the front stepped facade.

We propose to add a modest dormer window to the rear of the existing attic roof similar to other permitted precedents in the area. The dormer height sits below the existing roof ridge and is set back from the existing eaves of the roof in order to ensure it remains subordinate to the original roof.

3.7 Materiality

The proposed materiality for the ground floor rear extension is stone, brick and timber. A double glazed door and tall windows provide a connection to the garden. Along with skylights, they provide much improved natural light to the internal spaces.

For the first floor the proposed section of flank wall would be rendered and painted to match the existing. The proposed rear wall is vertical timber cladding which provides a timeless and natural quality while also sitting coherently with the proposed ground floor extension. The roof is proposed to be natural slate to match the existing roof of the house.

For the rear dormer window the cheeks and roof are proposed to be lead to match other dormer windows in the area. The windows are proposed to be slim-line double glazed conservation style timber framed windows to match the other sash windows in the house.



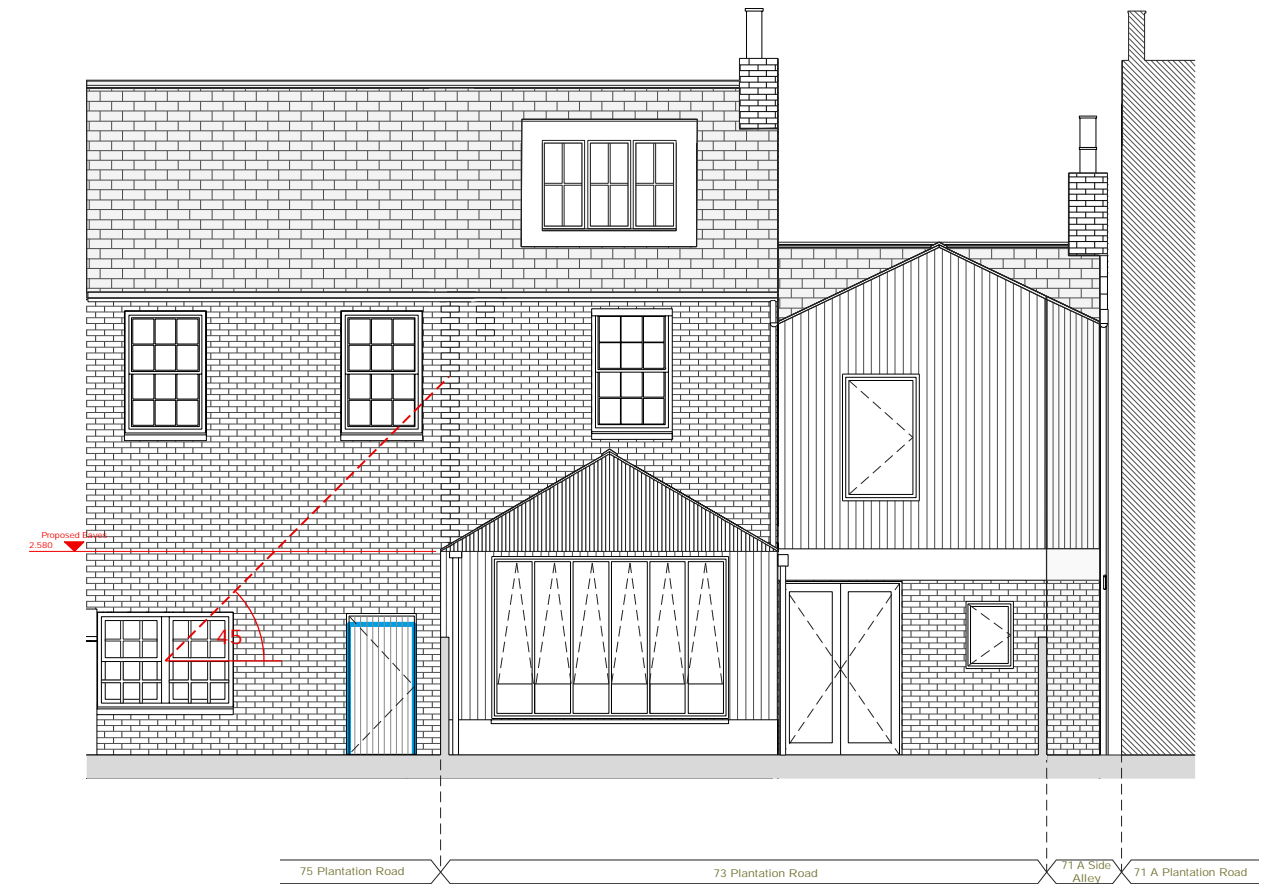
Proposed Rear Elevation Render

3.8 Daylight & Sunlight

The impact on the neighbouring houses is negligible as the flank wall of 71A Plantation Road does not have any windows or doors. The closest opening of 75 Plantation Road is a solid timber door leading to the hallway and is therefore not a consideration for daylight and sunlight. The ground floor rear window of no.75 is not impacted as illustrated by the 45 degree rule of thumb.

3.9 Overlooking

There is no overlooking of 71A Plantation Road due to the house being set back and the flank wall having no windows or doors. With number 75 Plantation Road there is no adverse overlooking given the typical nature of terraced houses with rear windows already exists and our proposed dormer window is set back from the eaves in accordance with the planning guidance.



Proposed Rear Elevation - daylight & sunlight analysis

— Solid timber door leading to the hallway



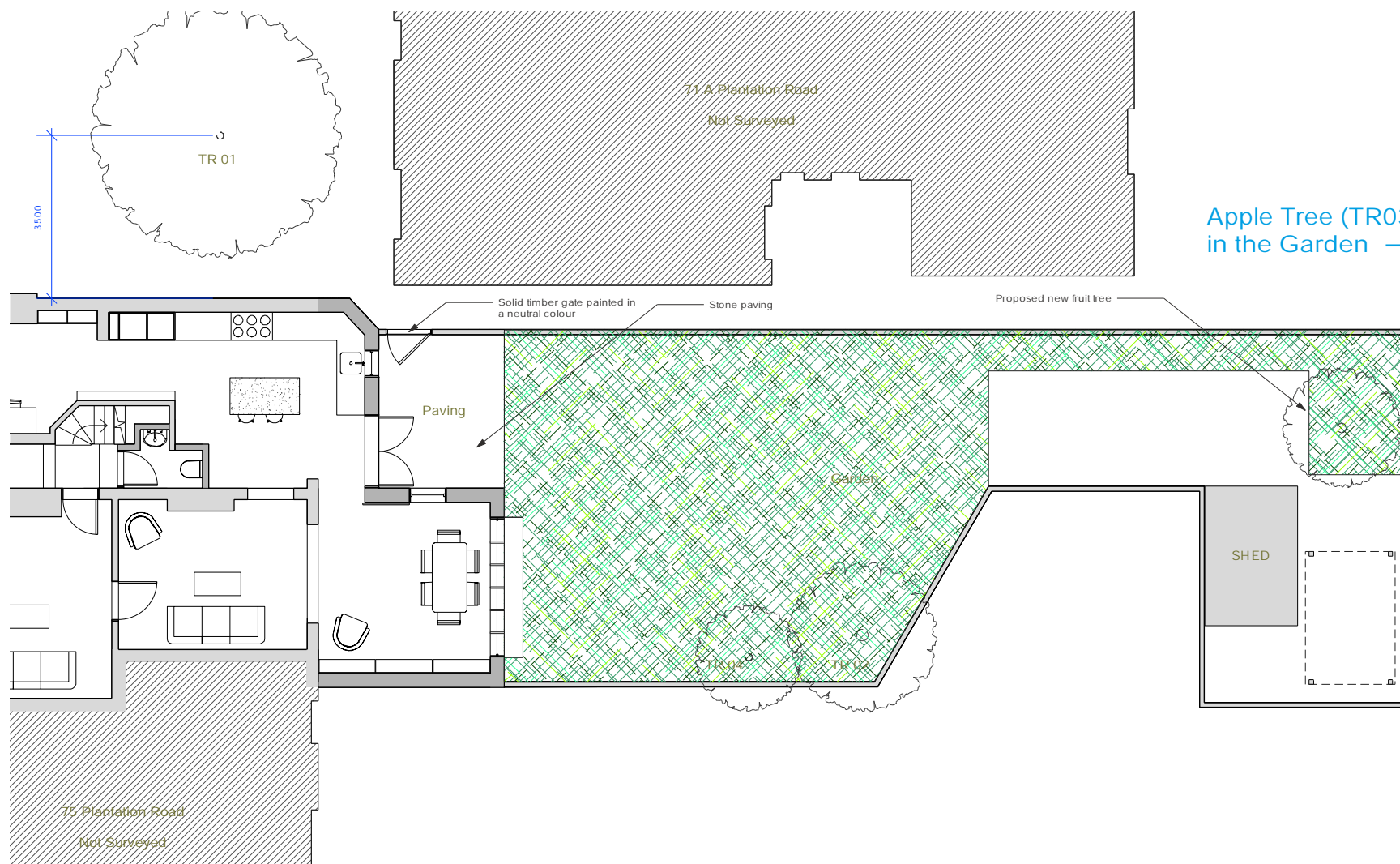
71A Plantation Road flank wall

3.10 Amenity

The rear garden after the extension is still 130sqm and over 20m in depth and therefore provides more than adequate outdoor amenity space and is more than the 1.5m deep and 3m long minimum outlined in policy H16.

3.11 Arboricultural

We proposed to remove the apple tree in the rear of our garden as part of the works. It is a tree that is unsustainable with significant heave and it is supported by a brick put in place as a makeshift prop for the trunk by the previous owner of the house. We propose to re-plant a new fruit tree towards the rear of our garden as indicated on the site plan below so as to have a net neutral impact on bio-diversity and promote healthy trees over unhealthy ones. Although the trees condition is evident, we thought it sensible to consult an arboriculturalist who has submitted a succinct report proportionate to the condition of the tree and our proposed removal and re-planting.. We have attached the report as part of the application (with an extract overleaf) and are including some photographs below.



Proposed Site Plan



Apple Tree (TR03) in the Garden

TREE PROJECTS

PROFESSIONAL & TECHNICAL ARBORICULTURE

7th December 2023

Vine Architecture Studio
1st Floor, 132 Whitechapel Road
London E1 1JE

FAO Rory Pennant-Rea

Dear Rory,

Re: Trees Planning Support Statement: 73 Plantation Road, Oxford OX2 6JE

1.0 I write in support of the forthcoming planning application at 73 Plantation Road insofar as the proposed rear ground floor extension would be located within 2m of the stem of a fruiting apple tree. It is noted that the premises are within the Walton Manor Conservation Area, by which designation, 6 weeks written notification of intent should be given to the Local Planning Authority before a tree is pruned or removed.

2.0 This short report has been prepared with reference to Conservation Area and TPO Regulations and, BS 5837 Trees in Relation to Design, Demolition and Construction. The apple tree discussed is labelled TR03 within your Site as Existing Plan E/010 and, is depicted in the photographs within your Design and Access Statement.

3.0 The Apple tree, Malus domestica, is approximately 3m tall and has a stem girth circa 250mm. It has possibly failed at the root-plate in the past and has regrown on a leaning stem toward the house. The stem kicks away from the boundary wall, an indicator that its form is ad-hoc and not due to it having been espaliered. Brickwork at the base of the tree may be providing a degree of support. Approximately 1.5m/ 2 years of regrowth rises from the tree that ordinarily would be pruned as a part of apple tree management.

4.0 The proposed extension, as presented within the site as proposed drawing P/010, would be located within 2m of the base of the tree. Due to its lean and spread, this would give rise to a conflict between the trees crown and the new elevation. Pruning is not a realistic prospect due to the lean and a-symmetry of the tree and therefore my recommendation would be to remove it and, by way of mitigation, provide a new tree elsewhere within the premises. I note that a replacement apple tree is presented within P/010.

5.0 The existing tree is small in height and being located behind a terrace of properties, it is not visible from the public realm and therefore is of low amenity value. For this reason it is fair that it should with reference to the criteria of BS 5837 be graded C2.

6.0 In context of the Conservation Area, the requirement to provide 6 weeks notice of intent to the LPA is to enable an officer assessment to take place. If there were to be an objection, the LPA would need to serve a Tree Preservation Order to halt or control works. In this case, due to the trees diminutive size and location, it would not meet the test to be worthy of retention by way of a TPO.

Nick Bentley t/a Tree Projects, The Maisonette, 22d Old Park Avenue, London SW12 8RH
email: treeprojects@hotmail.com - mob: 07788 726 720

...e worthy of a
...considered
...e.

...inuity and
... This is allowed

Apple Tree (TR03)
in the Garden

Brick Prop

...MISSION

DIX 1

...ryan College,

...eation
...mbing tree
...r City
...gton and
...g to the
...ormal
...ereof.
...n tree
...g and

...Royal
...rkshops:
...Underground
...Neilan/ Tim
...gh the Trees
...ing, Arb
...Risk

...Demolition
...und and
...on plans.
...ough bespoke

...sub-

...tree related

...on percussive



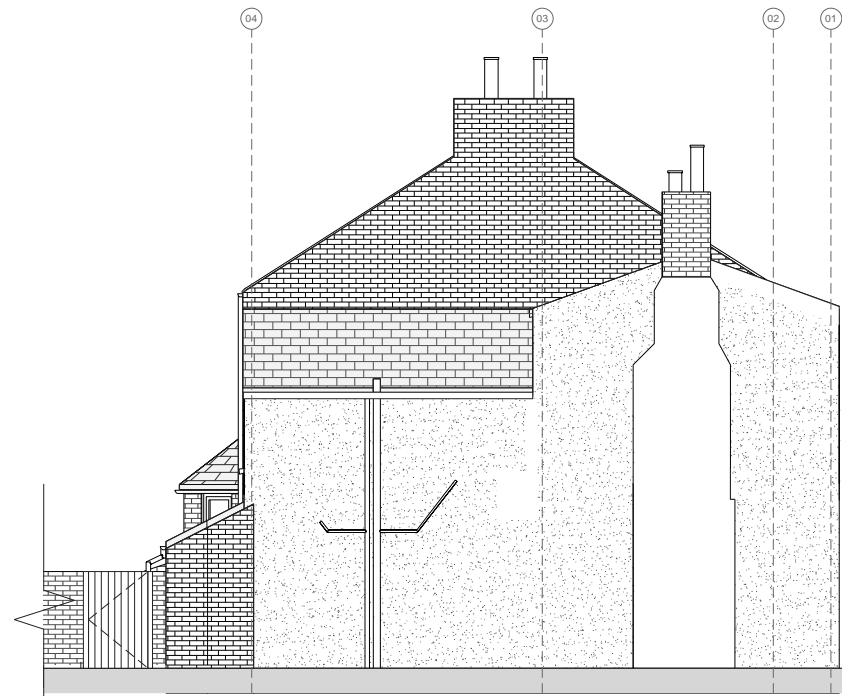
Apple Tree (TR03) in the Garden - close up photo of the trunk with supporting brick

3.12 Street View

There will be very little perceptible change to the street view of 73 Plantation Road. The changes are the introduction of a conservation rooflight to the front roof slope. However, even though this is sympathetic, you would not be able to see the rooflight from the street / public space. Passers by would only be able to see it if stepping back on to the private driveway of the flats opposite.

For the west elevation we are proposing to raise the rear portion of the flank wall by 1.25m to align with the eaves of the front proportion of the existing roof. Towards the rear of the flank wall we propose to align the first floor with the existing ground floor.

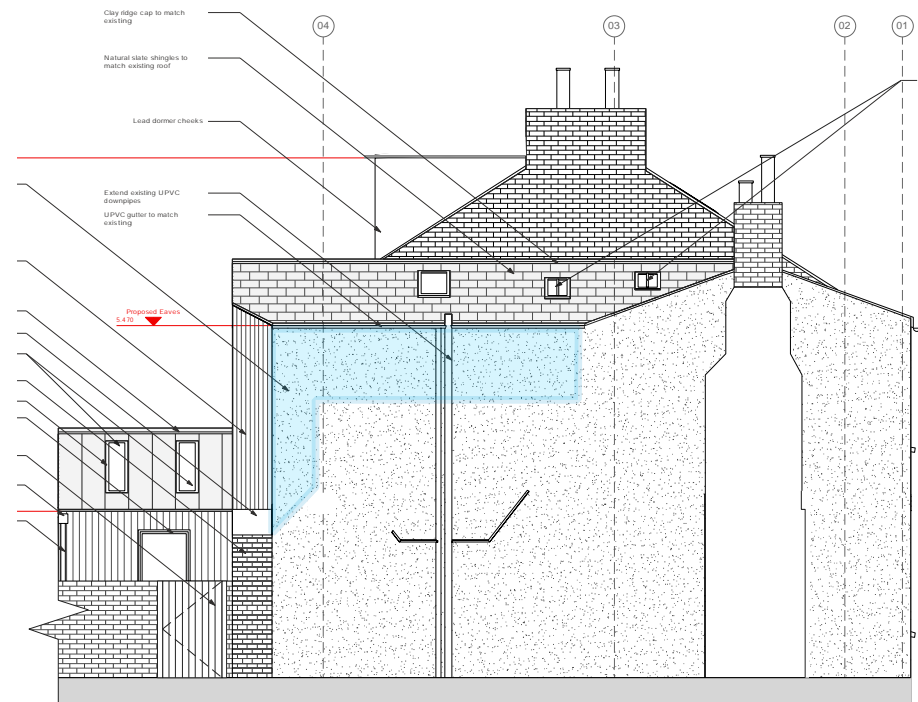
The rear portion of the flank wall is designed to match the painted render of the existing wall. It is also effectively screened from the street by the adjacent tree so there would be very little visual change.



Existing West Elevation



Street view before



Proposed West Elevation



Street view after (the raised flank wall is hidden by the tree)

Raised Flank Wall

It is worth considering the opposing flank wall of 69 Plantation Road which mirrors that of 75 Plantation Road to complete the set back of 71a & 71b Plantation Road. This flank wall is connected to number 71a Plantation Road just above the eaves line of the roof. There is also no visual gap or break in the terrace.

We are proposing to retain a visual gap and a subordinate appearance by not raising the flank wall higher than the existing eaves which we believe it a better townscape solution.



Flank wall of 69 Plantation Road

4 Planning Precedents

4.1 Planning Precedents Overview

There are a number of permitted ground floor, first floor and roof extensions / alterations in the conservation area. Many of which are more extensive than our proposals. This demonstrates the variety in the area and provides an overview of the types of permitted precedent. We have reviewed these when arriving at our proposals. They have helped us paint a picture of what we feel is the most appropriate design for our house.

We have therefore arrived at our proposals through a combination of policy and precedent. Please also see the appendices for a selection of relevant more detailed examples of specific permitted precedents.



Key

- ① 91 Plantation Road: Rear box dormer, rear and front rooflights, side and ground floor rear extension
- ② 87 Plantation Road: Ground floor rear extension, (Rear box dormer)
- ③ 71A Plantation Road: Ground floor rear extension and rear rooflights
- ④ 67 Plantation Road: Ground floor rear extension, rear and front rooflights
- ⑤ 65 Plantation Road: Ground floor rear extension
- ⑥ 61 Plantation Road: Front dormers and rear rooflight
- ⑦ 59 Plantation Road: Front dormers, ground floor rear extension and rear rooflights
- ⑧ 55 Plantation Road: Ground floor rear extension, front and rear rooflights
- ⑨ 53 Plantation Road: Ground floor rear extension, rear dormers and front and rear rooflights
- ⑩ 51 Plantation Road: Ground floor rear extension, rear rooflights and front dormer
- ⑪ 49 Plantation Road: Front and rear dormers and rear rooflights
- ⑫ 47 Plantation Road: Front and rear dormers and rear rooflights
- ⑬ 43 Plantation Road: Ground floor rear extension, front dormer and rear rooflight
- ⑭ 41 Plantation Road: Ground floor rear extension, front dormer and rear rooflight
- ⑮ 97 Woodstock Road: Ground floor rear extension, front and rear box dormers and rear rooflights
- ⑯ 95 Woodstock Road: Front box dormers and rear rooflights
- ⑰ (No number) Woodstock Road: Rear ground floor extension, rear dormer and rear and side rooflights
- ⑱ (No number) Woodstock Road: Rear ground floor extension, rear dormer and rear and side rooflights
- ⑲ 103 Woodstock Road: Front and rear dormers
- ⑳ 48 Plantation Road: Rear extension and rear rooflights
- ㉑ 46 Plantation Road: Rear extension, front and rear rooflights,
- ㉒ 34 Plantation Road: Front dormers and rear rooflights
- ㉓ 30 Plantation Road: Rear extension and rear rooflight
- ㉔ 2 Leckford Place: Rear extension and rear rooflight
- ㉕ 8 Leckford Place: Front and rear dormers, rear rooflights
- ㉖ 10 St Bernard's Road: Ground and first floor rear extension, rear dormers, front and rear rooflights
- ㉗ 11 St Bernard's Road: Ground and first floor rear extension, rear box dormer, front rooflight
- ㉘ 12 St Bernard's Road: Ground and first floor rear extension, rear dormers, front and rear rooflights
- ㉙ 13 St Bernard's Road: Ground and first floor rear extension, rear dormers, front and rear rooflights
- ㉚ 14 St Bernard's Road: Ground and first floor rear extension, Rear box dormer, rear rooflight

— 73 Plantation Road

5.1 Conclusion

In arriving at our proposals we feel we have thoroughly evaluated the condition and architectural merit of the existing house and its setting in the conservation area. Living in our house and in the street has also allowed us to view the house as a current and long-term resident affording us additional insight into the existing and proposed design of the house.

As residents we very much want to do the right thing for the house and street. It is a house that is in need of refurbishment having not been altered or upgraded for, we believe 30 plus years. We would like to make it our home and do the necessary work to bring it up to the necessary modern day living and sustainability standards. As there is very little perceptible change to the street view of the house we feel the impact is therefore minimal to passers by and other residents. We have spoken to both our immediate neighbours and talked through our proposals.

As architects we believe in architecture that is of its setting without being pastiche. We believe in timeless natural materials and in buildings that are designed to last (both in design terms and in construction methods and materials). We also believe in touching lightly on the planet and, reducing embodied carbon in the materials specified and in a fabric first approach - a well insulated building envelope reducing the reliance on excessive energy use.

The existing house is atypical and does not follow any particular architectural rules given it's sub-division and later extensions / adaptations. It is a peculiar mix of heritage and attempted pastiche design. It is therefore unconventional and requires an approach that recognises this and looks to retain and celebrate the original house while bringing some alternative design and unity to the rear elevation.

There are a number of larger extensions to houses in the area. Many are well done in our opinion and add to the rich mix of architectural styles and local distinctiveness of this particular stretch of Plantation Road. We feel our proposals, in a modest way, adopt the same approach and look to retain (preserve) and extend (enhance) in equal measure in accordance with conservation area principles.

6 Appendices

6.1 Site Photographs



Rear (North) Elevation



Flank wall of 69 Plantation Road



Front (South) Elevation



Street View (looking east down Plantation Road)



Birds Eye View (looking into the garden of 73 Plantation Road)



Birds Eye View (looking into the garden of 73 Plantation Road)

5.2 Permitted Precedents

Dormer Precedents

There are a number of similar permitted dormer window extensions in the street and wider conservation area. Many are front dormers so more visible from the street. Our dormer window is proposed in the rear roof slope so is not visible from the street.

9, 10, 11, 12 St Bernards Road

- Permitted (varies)
- Ground Floor Extensions



57, 59 & 61 Plantation Road

- Permitted (unknown)
- Front Dormers



57 & 59 Plantation Road



9, 10, 11, 12 St Bernards Road

91 Plantation Road

- Permitted 2012
- Rear Dormer
- REF 12/00973/FUL

87 Plantation Road

- Permitted 2022
- Rear Dormer
- REF 22/00425/FUL



91 Plantation Road

93, 95 & 97 Woodstock Road

- Permitted (unknown) - listed buildings
- Front Dormers (plus rear dormers)



53 Plantation Road

- Permitted 2011
- Rear Dormer
- REF 10/00564/FUL



47 & 49 Plantation Road

- Permitted (unknown)
- Front Dormers



5.2 Permitted Precedents

First Floor or Dual Pitched Roof Extensions / Alterations

There are a number of similar dual pitched roof and / or first floor rear extensions in the area. These are designed so as to adopt the prevailing simple and traditional roof form which is what we are also proposing.

91 Plantation Road

- Permitted 2012
- First Floor Extension
- REF 12/00973/FUL



48 Plantation Road

- Permitted 2014
- First Floor Extension and dual pitch roof
- REF 14/01235/FUL (approved on appeal)



30 Plantation Road

- Permitted 2014
- First Floor Extension and dual pitch roof
- REF 13/03400/FUL



53 Plantation Road

- Permitted 2010
- First Floor Extension
- REF 10/00564/FUL



71a Plantation Road

- Permitted (unknown)
- Dual Pitched Roof Extension



5.2 Permitted Precedents

Ground Floor Extensions

There are a number of similar permitted ground floor rear (and side) extensions in the street and wider conservation area. Many project significantly further from the rear wall of their original houses that our proposed extension. Many are also higher on the boundary line than our proposed extension. We therefore feel that our ground floor extension is of appropriate scale in this context.

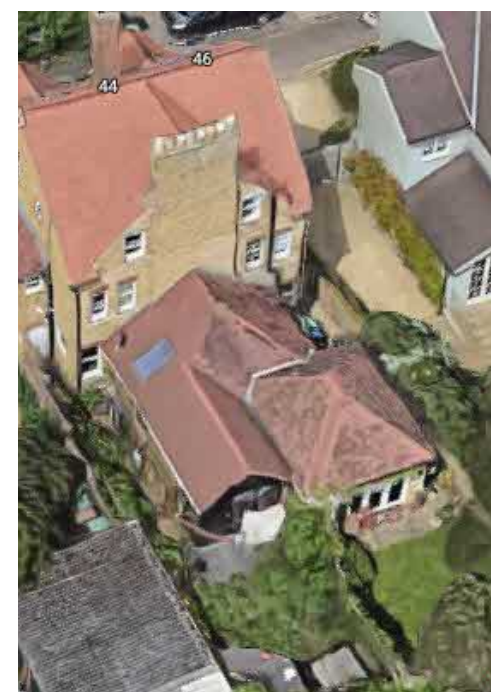
42, 44 & 46 Observatory Street

- Permitted (varies)
- Ground Floor Extensions



44 & 46 Plantation Road

- Permitted (varies)
- Ground Floor Extensions



53, 55 & 57 Plantation Road

- Permitted (varies)
- Ground Floor Extensions



9, 10, 11, 12 St Bernards Road

- Permitted (varies)
- Ground Floor Extensions



Document Revisions

Revision	Date	Descriptions	Edited by	Checked by
*	08.12.2023	Design and Access Statement	TG	RPR

Project Details

Project Number	VINE124
Project Name	73 Plantation Road
Status	Planning
Date	08.12.2023
Client Name	Rory Pennant-Rea & Rosie Kinchen
File Name	VINE124 –73 Plantation Road –Planning - DAS