



86 Kingston Road
Design and Access Statement
Revised - December 2023



Introduction

This Design and Access Statement has been prepared by Gresford Architects to accompany an application for full planning permission for the construction of a two storey rear and single storey side extension following the demolition of the existing 3-section rear extension at 86 Kingston Road, Oxford.

The applicants seek to demolish the existing piecemeal and poor quality extensions and construct a purpose built extension that meets the highest standards of sustainability (for details please see the Design & Sustainability section within this Statement) and which is contemporary and of its time, but also sits comfortably within the context of both its site and wider landscape.

This document has been produced in accordance with guidance published by the Commission for Architecture and the Built Environment (CABE) and should be read in conjunction with all other correspondence submitted with the application.

Gresford Architects, April 2023

All images and sketches are illustrative unless otherwise stated and for information and approval only. Do not scale from drawings contained within this document.

Site Location

Kingston Road

The site lies on Kingston Road, a residential street between Southmoor Road and Aristotle Lane to the north of Oxford city centre. The land use of the area is primarily residential, though the neighbourhood also holds several small businesses and is within close distance of large green spaces and recreation areas. There are also good transport links via several bus routes within walking distance of the property. Like many of the houses along this street, the plot at 86 Kingston is orientated East/West, with a rear garden which backs directly onto the nearby canal.

The site is within the North Oxford Victorian Suburb Conservation Area, in the Kingston Road Character sub-area. As detailed in Oxford City Council's conservation area appraisal (https://www.oxford.gov.uk/downloads/file/4120/north_oxford_conservation_area_appraisal), the Kingston Road character area typically has terraced or semi-detached late Victorian houses (c. 1880 onwards) that were built speculatively for the city's artisan and clerical houses, in contrast to the large detached villas found throughout most of the rest of the North Oxford Victorian Suburb.

No. 86 Kingston Road is large for the Kingston Road character area, with 3 storeys plus a cellar.



No, 86 Kingston Road Site Location Plan

Site Analysis

Built Context

The surrounding urban fabric is typically characterised by terraced and semi-detached, two and three storey houses, many of which include 2 or more dormers to make use of views extending over the Oxford canal.

The majority of houses within the area were built speculatively in uniform groups. In recent years, many have been altered to support multiple-occupancy dwellings, which places a strain on local infrastructure, particularly refuse and cycle parking.

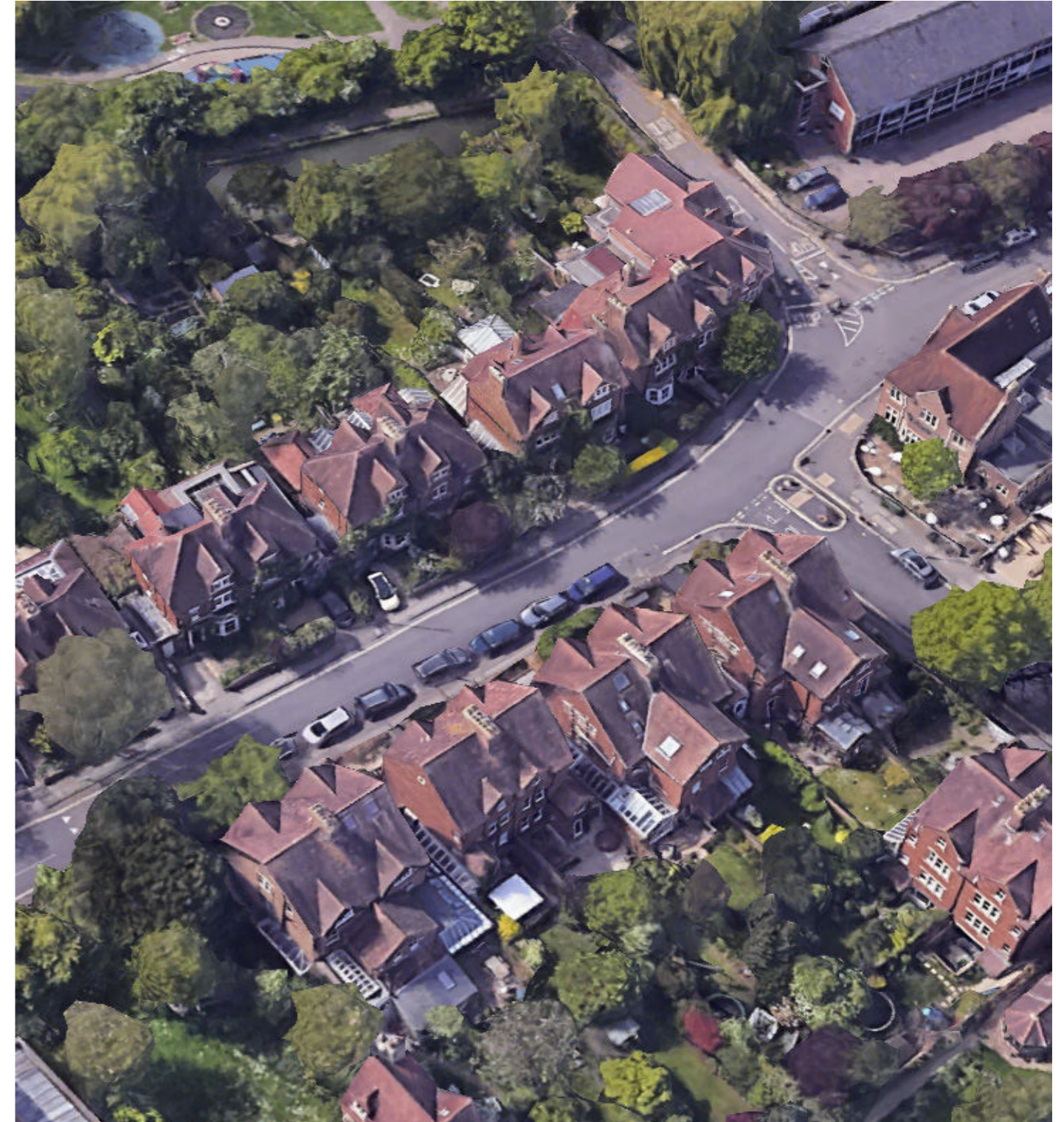
Houses immediately neighbouring the site at 86 Kingston appear to have been built in a similar style and were most likely constructed around the same time. These are characterized by 3 story structures with double sloping pitched roofs, large street-facing bay windows, and red brick exteriors. Several of these have undergone rear extensions, including double storey elements, as will be discussed further in the planning history section.



86 Kingston Street View Facing South



86 Kingston Street View Facing North



Kingston Road and surrounding area aerial view

Site Analysis

Existing Building

86 Kingston Road is a three storey dwelling house with cellar which benefits from three bedrooms, a generous rear garden, and a small front garden. The site is located on the west side of the street with the houses orientated on an east-west axis. The house features red brick walls with stone detailing around the windows and doors, and plain clay roof tiles.

The house has been extended in several stages, with a single storey lean-to side extension and three pitched volumes to the rear. The extension on the north boundary is a conservatory which features stepped access to the garden, which is almost a full storey below street level. The rear extensions are at street level, leaving an awkward half storey beneath. The extensions are heavily glazed on both walls and roof, making them poorly insulated, leaky, and prone to overheating given the direct sunlight they capture from the south and west.

The condition of the house, particularly the rear extensions, is not good; it suffers from a lack of ongoing care and is showing its age. The fabric of the main Victorian house is sound, but would benefit from replacement of internal finishes and fittings.

To the front of the house is parking for one or two cars plus cycle parking. The rear is heavily planted and paved, with two outbuildings close to the canal, and is contained by high brick garden walls on the northern and southern boundaries.

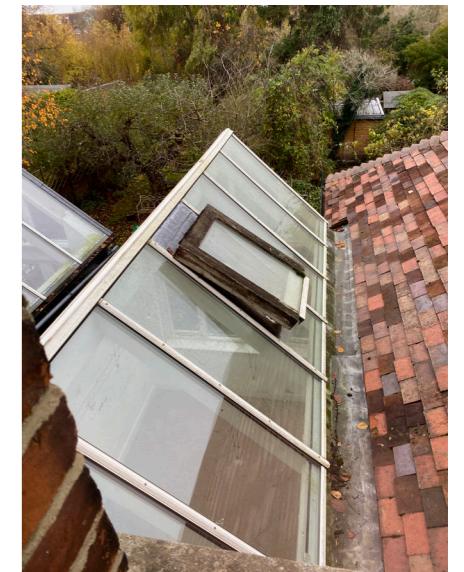
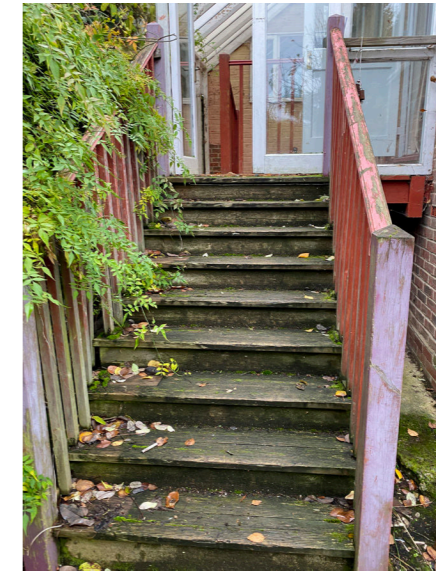
The property is not listed.



Front of House



Rear of House



Site Detail Images

Planning Status

Previous Applications

As shown under application 00/00963/NFH, the existing rear and side extensions which are currently present on the site at 86 Kingston were approved and built in 2001. These have since fallen into disrepair and are no longer fit for use, as supports the necessity of this current application to improve the building's fabric and function.

As is demonstrated under application 06/00847/FUL for the property at 84 Kingston Rd, there is approved precedent for the construction of similar two-level mezzanine rear extensions in this area and on a site with a very similar existing primary structure and location.

Planning History

00/00963/NFH - Approved

Demolition of existing rear extension and erection of single storey side and rear extension.

22/02548/CAT- Raise No Objection

Fell Fir Tree as specified by Stuart Fraser in the North Oxford Victorian Suburb Conservation Area.

Planning Precedents From Neighbouring Sites

84 Kingston Rd:

06/00847/FUL - Approved

Demolition of existing single storey rear addition. Excavation at the rear and erection of a two storey rear extension at ground and basement level, and increase in height of the rear southern boundary wall

09/02695/PDC - Approved

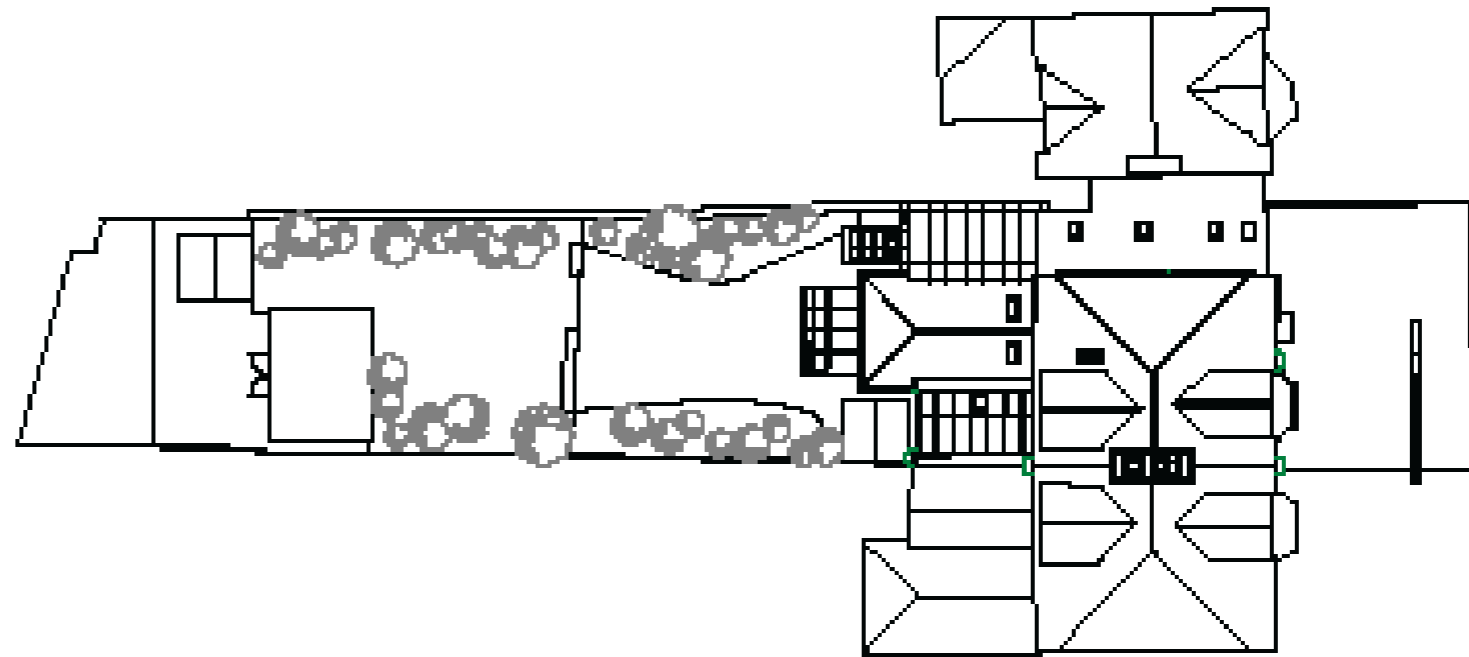
Removal of chimney.



Existing Front Elevation



Existing Rear Elevation



Existing Site Plan

Planning Policy

National Planning Policy

The site falls within the North Oxford Victorian Suburb Conservation Area, and as such the development of the design has been carried out in line with the following national, regional and local policies.

National Planning Policy Framework 2021

This guidance states at paragraph 14 that at the heart of the National Planning Policy Framework is a presumption in favour of sustainable development which should be seen as a 'golden thread' running through both plan-making and decision-taking. In this respect, development proposals that accord with the development plan should be approved without delay. Where the development plan is absent, silent or relevant policies are out-of-date, planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies of the Framework as a whole, or specific policies in the Framework indicate development should be restricted.

Section 16 of the NPPF 'Conserving and enhancing the historic environment' outlines the government's policies for the protection of heritage and emphasises the importance of sustainable design. The following are of specific relevance to this application.

"The purpose of the planning system is to contribute to the achievement of sustainable development. Pursuing sustainable development involves seeking positive improvements in the quality of the built, natural and historic environment..." (paragraph 9)

Sustainable development also includes *"replacing poor design with better design"* (paragraph 9)

The NPPF goes on to state that:
"Planning policies and decisions should aim to ensure that developments:

- *Will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*

- *Respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation;*
- *Are visually attractive as a result of good architecture and appropriate landscaping."* (paragraph 58)

With regards to new development to NPPF states that it is desirable for *"new development [to make] a positive contribution to local character and distinctiveness."* (paragraph 131)

In paragraph 17, the NPPF sets out twelve 'core planning principles'. These indicate that proposals that involve the effective and efficient re-use of land, and which prioritise previously developed sites over Greenfield land should be encouraged.

Paragraph 56 concerns good design. It states that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

Paragraph 60 confirms that planning policies and decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness.

Paragraph 124 of the NPPF provides that *"good design is a key aspect of sustainable development, creates better places to live and work and helps make development acceptable to communities"*.

The NPPF at paragraph 130 requires that planning policies and decisions should aim to ensure new developments deliver high quality schemes, judged across a range of fronts. Those cited below are deemed of relevance in the consideration of this application:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*

- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*

- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*

- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to work, live and visit;*

- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*

- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users, and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.*

The scheme is carefully designed in its overall concept to accord with all of the aims and demonstrates how the proposal would be very carefully produced in such a fashion so as to fit comfortably, and indeed positively with its local context and its surrounding. It is well-designed, characterful and proportionate overall and would make for an appropriate design addition to the site in its identified context.

Planning Policy

Local Planning Policy

Oxford Local Plan

Policy CP1 of the Oxford Local Plan 2016-2036 states that a development must show a high standard of design, including landscape treatment, that respects the character and appearance of the area; and the materials used must be of a quality appropriate to the nature of the development, the site and its surroundings.

Policies CP1, CP6, CP8, CP9, CP10, CP11 and CP13 of the OLP, CS18 of the OCS and HP9 of the SHP can be read together in that they generally seek a good standard of urban design in new development that relates to the character and appearance of the area and its context. The scheme is fully cognisant of this raft of related design based policies, as the Design and Access Statement describes in full.

CS18 of the Core Strategy states that planning permission will be granted for development that demonstrates high-quality urban design through responding appropriately to the site and its surroundings; creating a strong sense of place; and contributing to an attractive public realm. The scheme exhibits a high standard of design that draws on the influence of its immediate context both through materiality and the overall size, scale and mass of the proposal, illustrated as an improvement to the existing.

Policy HP9 of the Sites and Housing Plan states that planning permission will only be granted for residential development that responds to the overall character of the area, including its built and natural features

The scheme seeks to retain the character of the existing house within the streetscape, with only minor changes proposed to the front elevation of the existing house, front garden, boundary treatment, or access. The front gardens along Kingston Road are noted in the Local Authority's conservation area appraisal as having a high value in terms of urban trees and other planting, given the narrow pavements and low number of trees within the public streetscape.

The poor quality side extension will be replaced with

a new extension of the same volume and massing, in material to contrast with the existing red brick and thus enhance the legibility of the house's development over time.

In line with Policy HP12 the proposal provides good quality internal accommodation for the future occupants having been carefully designed to provide living spaces with direct access to the rear garden, generous circulation and storage spaces and the provision of rooms and facilities to meet current day living requirements.

Policy HP14 of the Oxford Local Plan 2036 states that planning permission will only be granted for new residential development that provides reasonable privacy and daylight for the occupants of both existing and proposed extensions. The proposal retains the eaves line of the existing extensions at the boundaries, ensuring that new windows do not increase overlooking into neighbouring gardens.

Policy CS11 of the Core Strategy states that planning permission will not be granted for any development in the functional flood plain (flood zone 3b) except water-compatible uses and essential infrastructure. The suitability of developments proposed in other flood zones will be assessed according to the NPPG sequential approach and exceptions test. All developments will be expected to incorporate sustainable drainage systems or techniques to limit runoff from new development, and preferably reduce the existing rate of run-off. Development will not be permitted that will lead to increased flood risk elsewhere, or where the occupants will not be safe from flooding. The site is in an area at very low risk of surface water flooding or flooding from rivers or the sea, according to www.check-long-term-flood-risk.service.gov.uk.

Policies CS9 of the OLS and HP11 and HP17 of the SHP seek to ensure that new residential developments are as energy efficient and sustainable in their build credentials as is possible. The overall design of the proposal and its sustainability credentials have been considered and designed together as an integral part of the process, from

the very outset. Also, the more efficient use of an existing, previously developed site or building is an eminently sustainable form of development in any event.

Design Development Considerations

As described above, there is a relatively wide range of architectural sizes, styles and materials in the immediate vicinity of the site, and there are no policy requirements for the new building to match, mimic or reference any of the various styles of the built context.

Amount

The proposals seek to demolish the existing single storey rear glazed extensions, and replace them with a more energy and space efficient double story extension, adding additional living and bedroom space to the existing semi-detached house

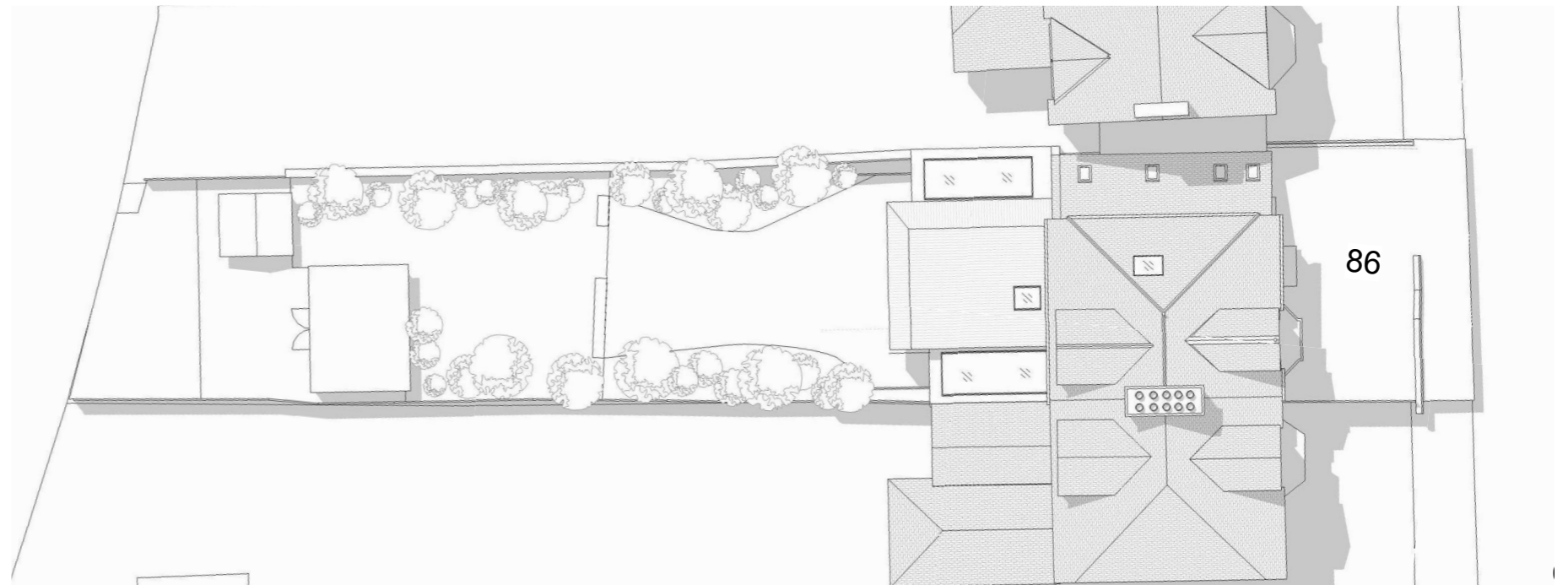
The proposed dwelling will have little to no impact on the existing street scene as the proposed works are to the rear elevation and the existing planting and front boundary will be fully maintained. In this way it is not considered that there would be a harmful impact on the character of the area.

Scale and Appearance

The new double storey extension will be volumetrically similar to the existing extensions in its overall massing and will improve the layout of the existing house by negotiating the level change between the street level at the front of the property and the large garden at the rear.

The revised roof form has been carefully considered to adapt to the existing side extension roof slope and to remain unobtrusive to neighbouring sites. The two glazed flat roofs to each side of the primary roof form will allow light into the key living and kitchen spaces below, and their double height form allows improved ventilation and experience of each space. The proposed primary roof is not higher than those of the existing extensions it replaces.

In plan, the extension is stepped to reduce the impact of its massing, on the rear garden. The extension is designed to sit within the footprint of the existing extensions and replicate where they meet the boundaries of the site.



Proposed Site Plan

Design Development

Floor Plans

Layout

The house has been designed in compliance with Nationally Described Space Standards and the Council Residential Design Guide, and of a much better energy efficient construction.

The only major change to the existing fabric is the relocation of the staircase to the rear of the existing Victorian house. This will allow it to serve both the existing house and the proposed extension, negotiating the step down to the garden as well as up to the half level, and creating a much more comfortable route to loft level. This relocation also allows for a light-filled and spacious entrance hall that will serve as a hub for the redeveloped house, allowing views straight through to the new living spaces and the garden beyond. Otherwise, care has been taken to preserve the space and character of the existing rooms within the Victorian house.

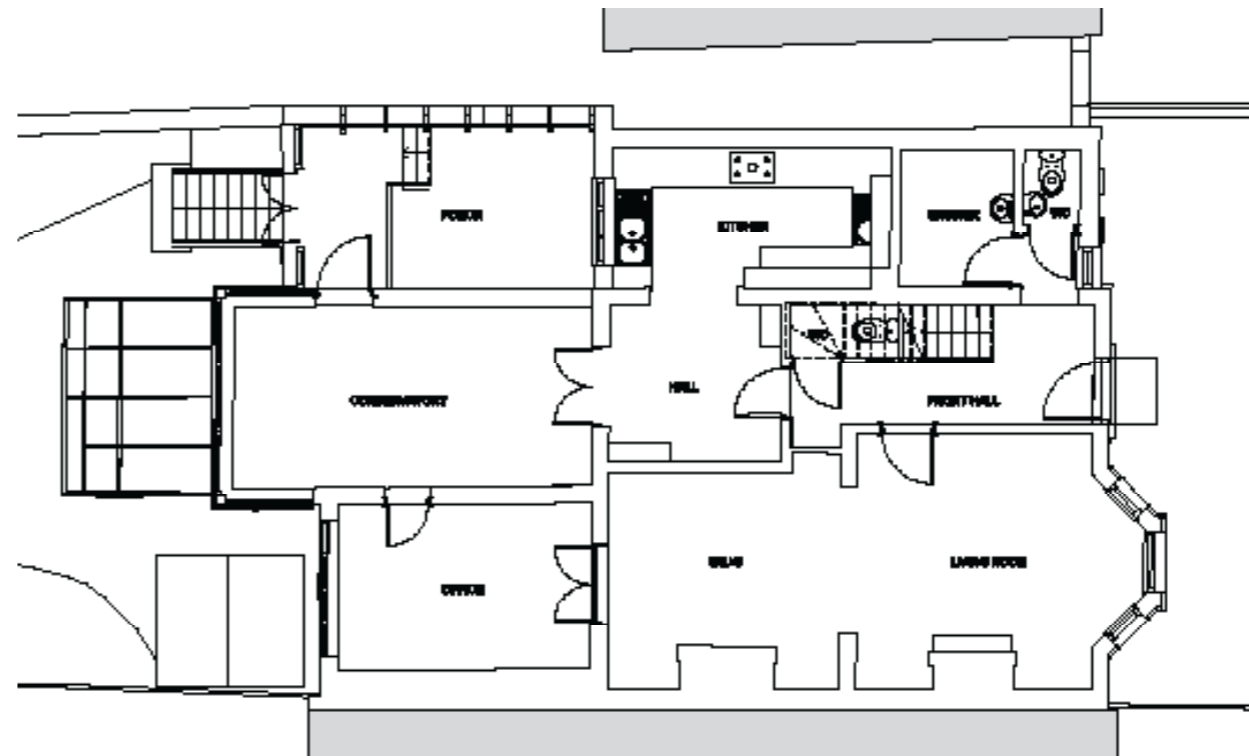
The production of the proposed rear extension moves essential spaces for family living to the privacy of the rear garden, enabling the existing living spaces towards the front of the house to better serve guests and creating an open library/office space which is connected to the lower ground level via a small balcony opening. The extension's mezzanine floor also provides space for a master bedroom which makes excellent use of views to the garden beyond while still maintaining privacy.

The refurbished side extension will house service spaces, such as a new WC and utility room, as well as a bicycle store with a new timber door for direct street access and an internal door for access to the house. This will reduce the visual clutter of bicycles parked on the street and locked to railings, a negative noted in the Local Authority's Conservation Area Appraisal.

Landscaping

The development works do not require the loss of any trees. Extra care will be taken to maintain the soundness and health of existing planting.

Hard landscaping to the rear will be adjusted and made good to facilitate the connection between the proposed rear extension and the garden.

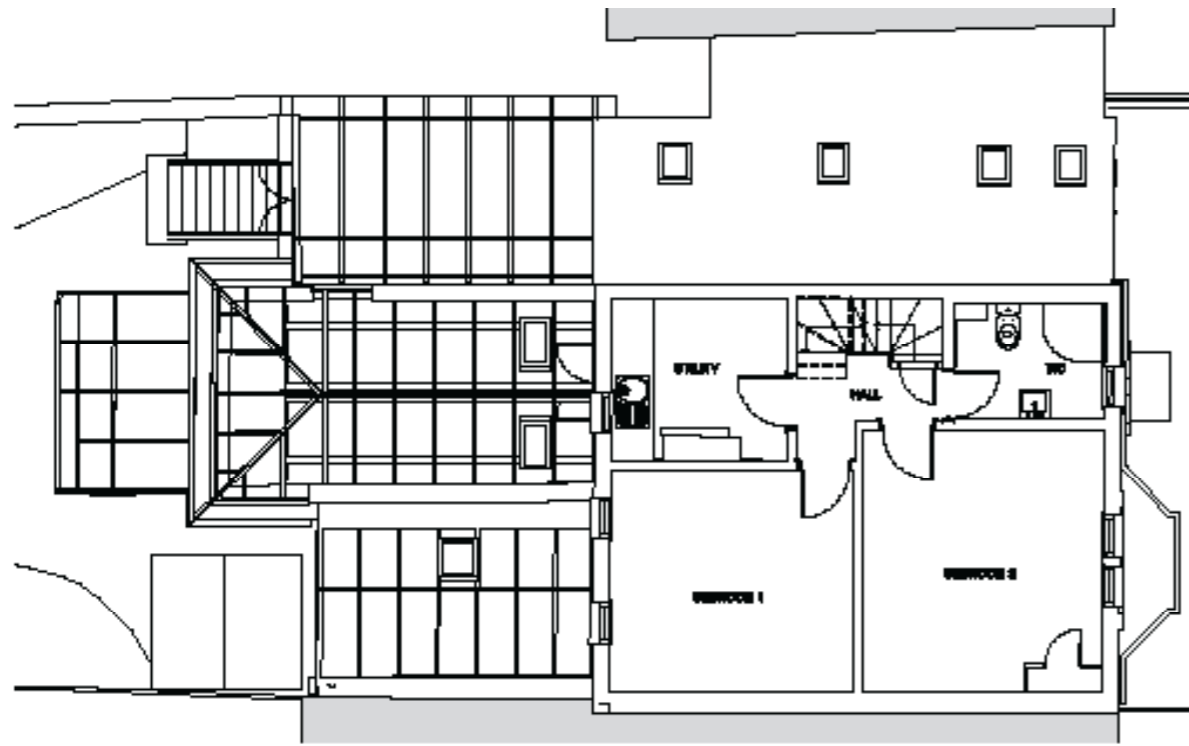


Existing Ground Floor Plan

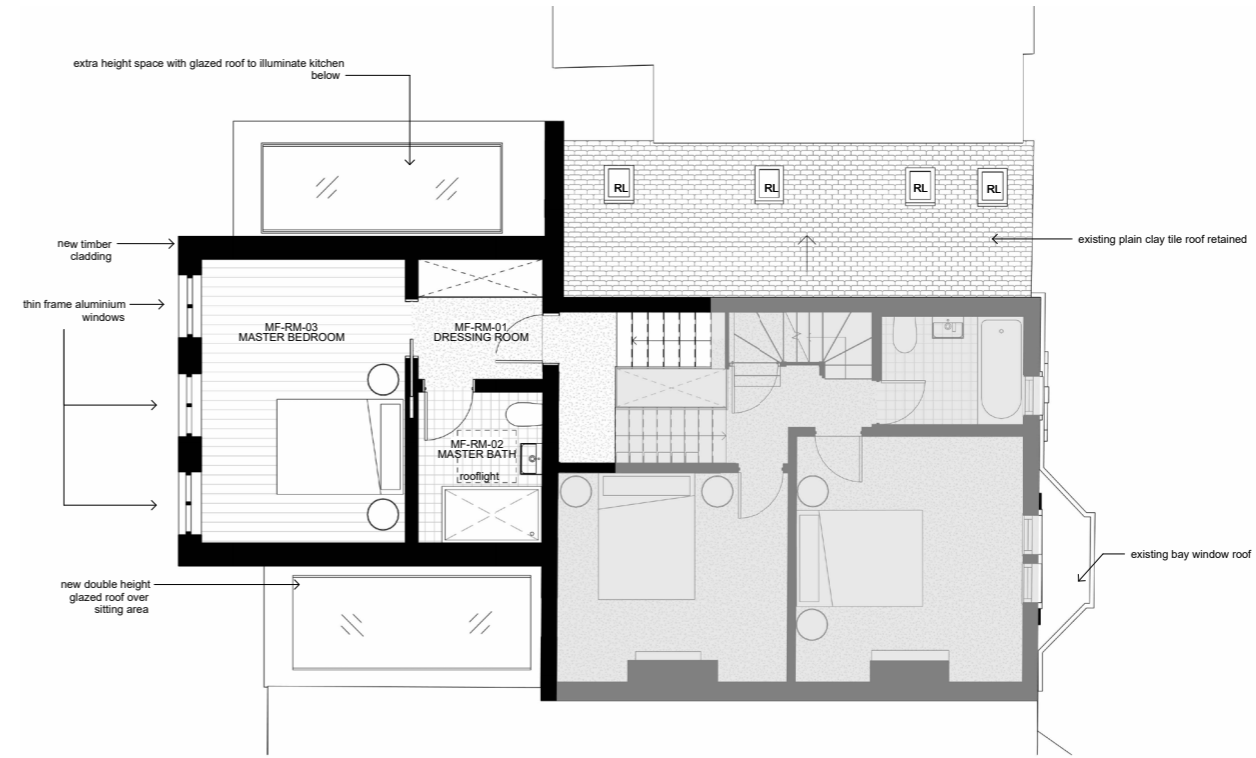


Proposed Ground Floor Plan - showing kitchen/dining space at garden level

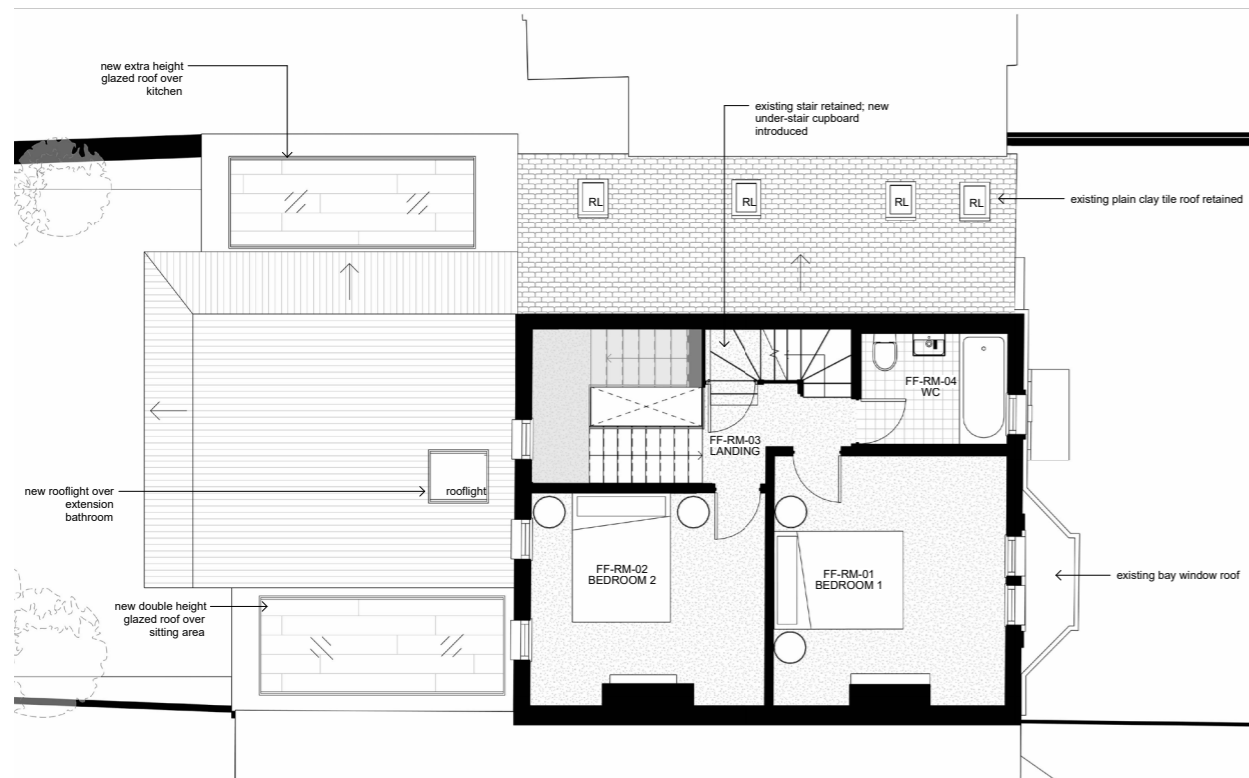
Design Development Floor Plans



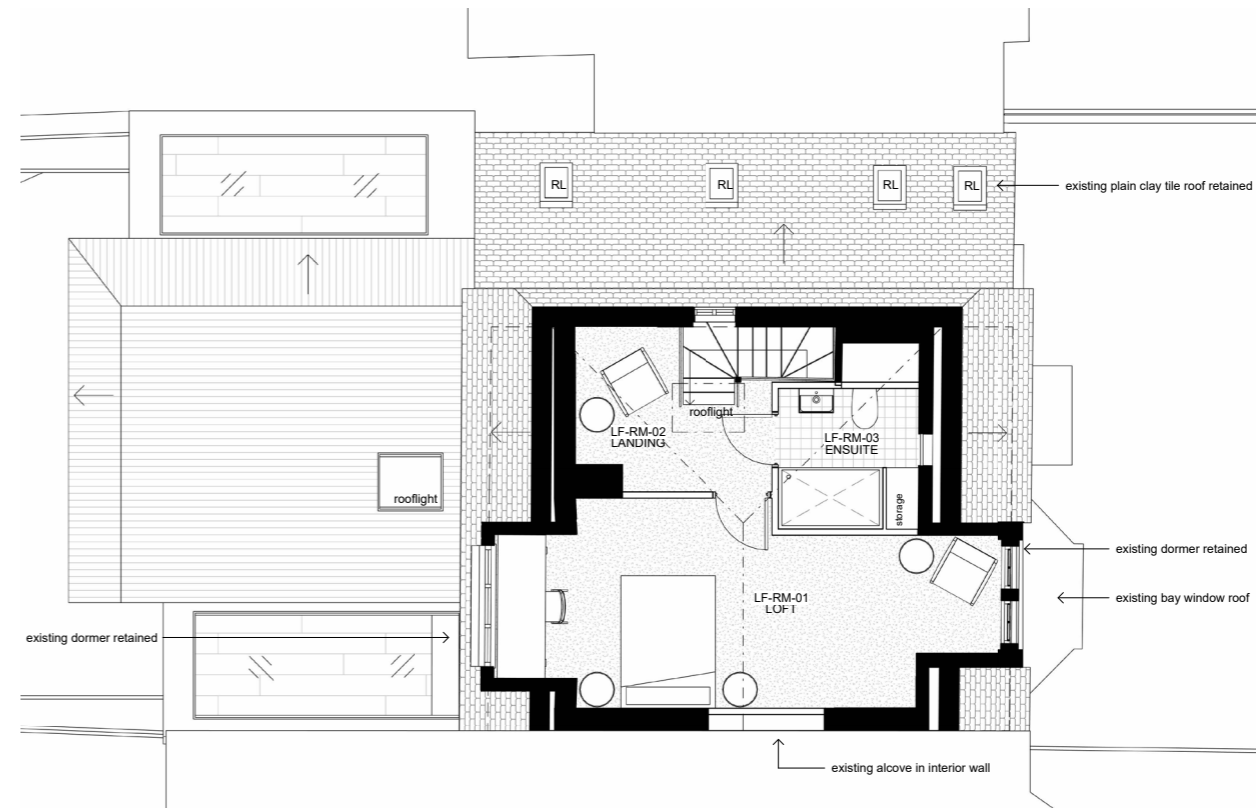
Existing First Floor Plan



Proposed Mezzanine Extension Floor Plan



Proposed First Floor Plan



Proposed Loft Floor Plan

Design Development Elevations



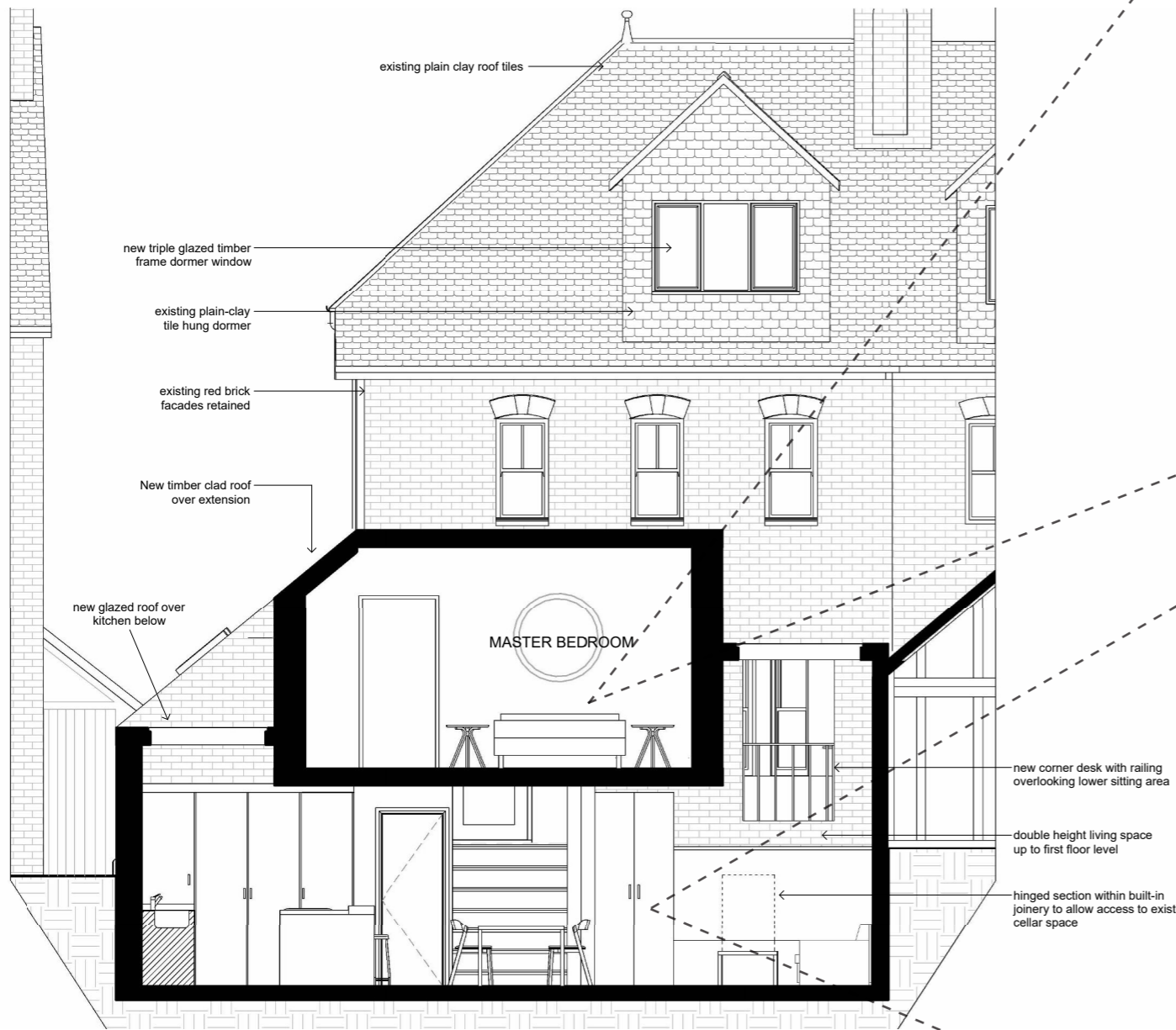
Proposed Front Elevation



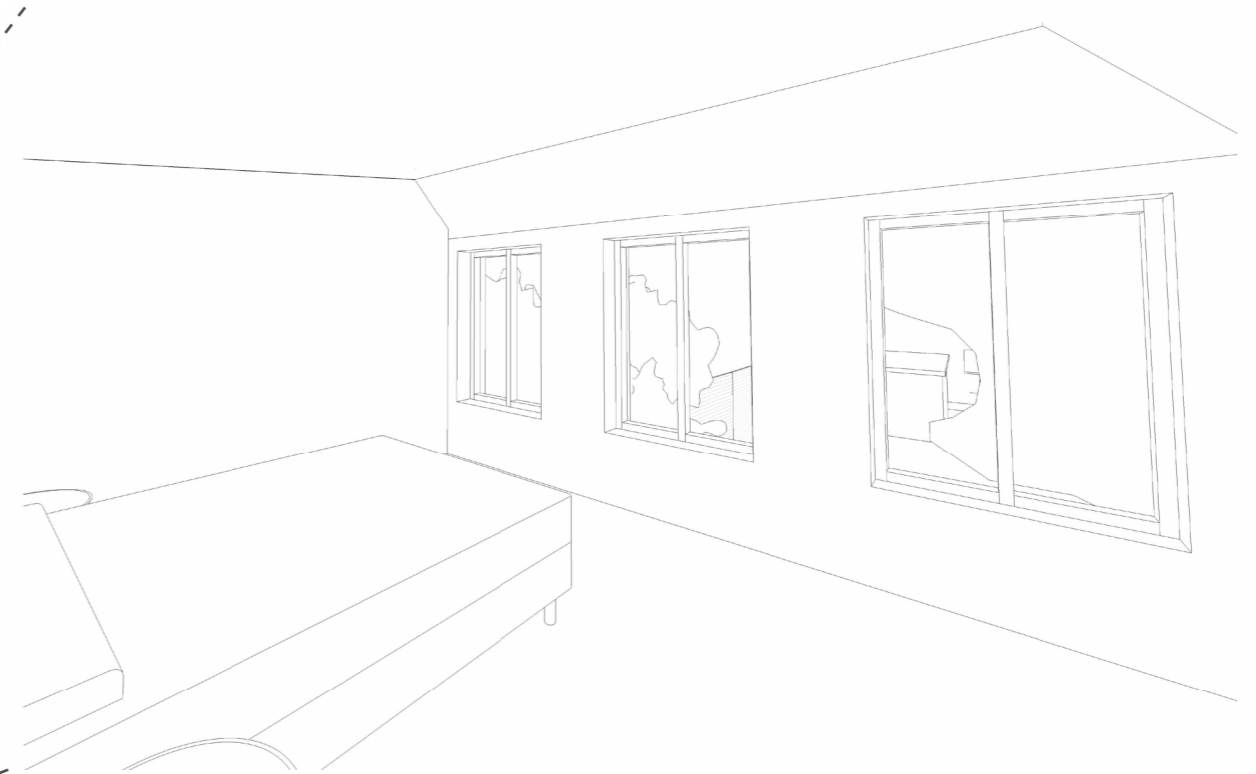
Proposed Rear Elevation

Design Development

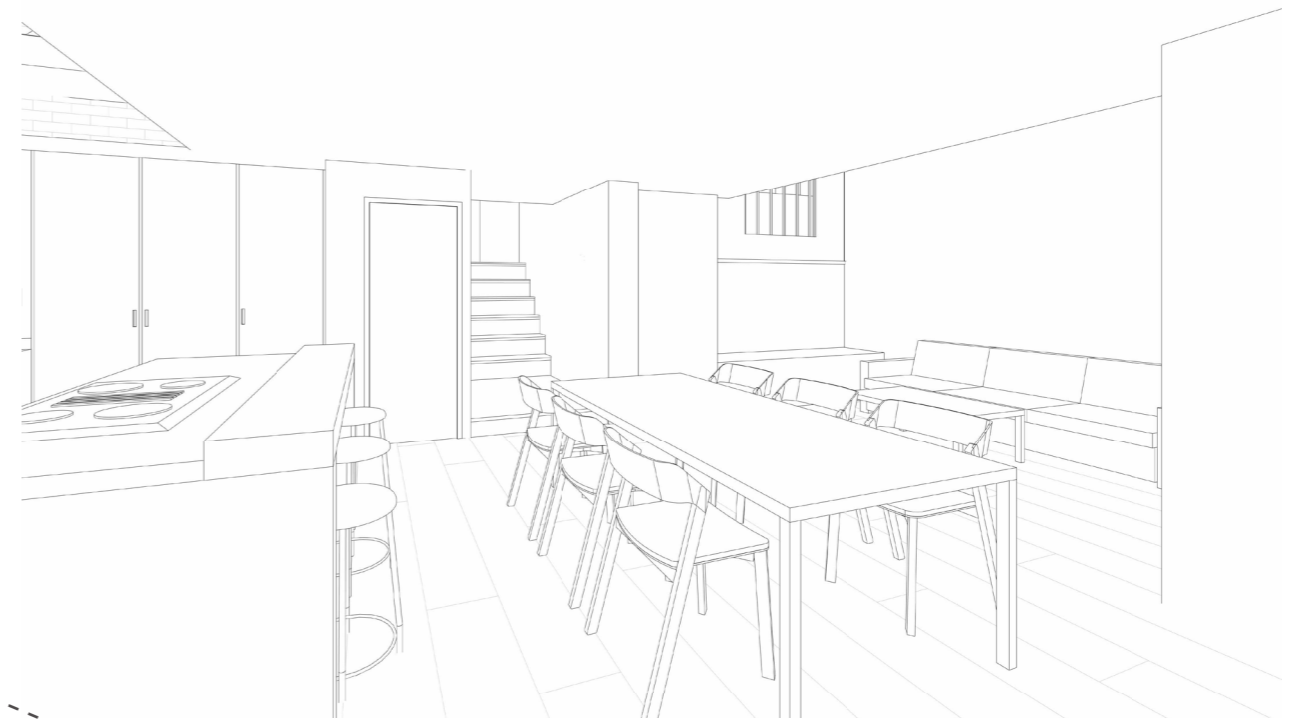
Proposed Interior Views



Proposed Rear Section



Proposed Extension Bedroom



Proposed Extension Living, Kitchen, Dining

Design Development

Proposed Exterior Views



Proposed Exterior Perspective



Proposed Exterior Perspective 2

Design Development

Proposed Palette

The material palette for the proposed design seeks to simultaneously differentiate the extension from the existing house while complimenting the character of its surroundings.

The two sides of the new extension will be clad in a red brick, selected carefully to match the existing structure in a way which ties it more closely to the character of the surrounding neighbourhood. At the same time, a neutral vertical timber cladding will be used to form a volume which sits tectonically above these two brick pillars, hovering above aluminium glass doors which allow light into the main living spaces below.

These materials have been carefully selected to consider both sustainability, form, character, and colour in relation to the surrounding neighbourhood, and aim to create a visual language for the extension which is simultaneously simple, modern whilst being in service of the existing structure.



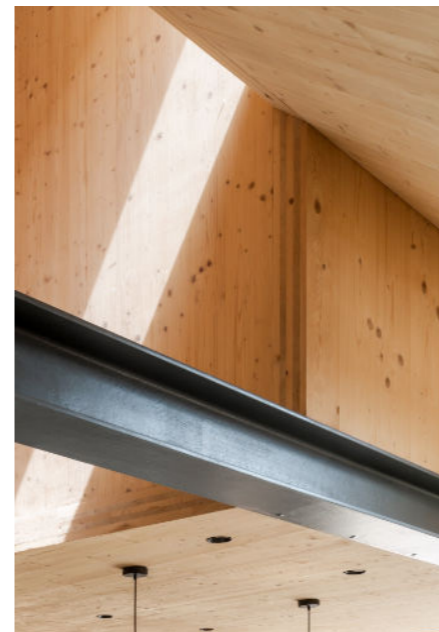
Existing red brick facade retained on main house structure



Triple glazed thin-frame aluminium sliding glass doors connect rear extension to back garden



Light timber cladding over roof and walls of extension second floor



CLT constructed extension frame



Dual height stair connecting extension to main house structure

Sustainability Approach

Sustainable Approach

Our approach to sustainability is to start from best practice passive design principles which are then supplemented with energy conservation strategies. This approach puts 'fabric first' and will ensure the new extensions are of the highest quality.

In paragraph 17, the NPPF sets out twelve 'core planning principles'. These indicate that proposals that involve the effective and efficient re-use of land, and which prioritise previously developed sites over Greenfield land should be encouraged.

Ventilation

Natural cross ventilation will be used in conjunction with a mechanical ventilation heat recovery system.

Facades

The facades are designed with sufficient proportions of glazing on each elevation to limit the use of artificial lighting during daylight hours and provide generous views and aspect whilst also ensuring internal spaces would not be subject to overheating.

Energy Conservation Strategies

The carbon emissions will be reduced through a combination of passive design and energy efficiency.

Energy Efficient Services

Efficient services will be implemented throughout, which will be as efficient as the minimum standards required by current Building Regulations. Highly efficient lighting systems and controls will ensure that energy demand is reduced as much as possible. Natural day lighting has been carefully considered to limit the need for artificial lighting. Any cooling load will be met through passive design and energy efficiency measures to reduce solar and internal gains

Insulation

The proposed extensions will have super insulated walls, floors and roof which create a comfortable and healthy environment. Appropriately selected insulation will help to avoid overheating in the summer months. Detailed design will avoid costly thermal bridges

Heat Recovery

The proposal improves air quality, firstly by using non polluting natural materials, and secondly by using low energy heat recovery ventilation systems to provide a continuous supply of fresh air

Water

Efficient water appliances and fitting will be used such as dual flush WCs and low flow taps. The application is not situated in a flood risk area. Rainwater run-off attenuation will be provided through permeable surfaces, rainwater harvesting, and soakaways thus reducing and delaying discharge of water run-off to the drainage system.

Biodiversity

Careful consideration has been given to maintain the trees on the site. All relevant trees will be protected during the works and appropriate planting and mitigation measures will be undertaken as required.

Waste

A site waste management plan will be produced in order to minimise waste production and recycling during construction. Dedicated storage space will be provided to cater for recyclable materials generated by the building during occupation in order to encourage high recycling rates.

Access

There are no changes proposed to the highway access.

The site is within walking distance to local shopping facilities, and is served by adequate bus routes.

Refuse Collection and Servicing

No changes to the existing collection and strategy are required.

Bin and Cycle Storage

No change is proposed to the current bin storage strategy. A new dedicated cycle store will be located within the reconstructed side extension, with direct access to both the front driveway and the house.

Deliveries (Construction Period)

Deliveries will require access from Kingston Road. The site will be utilised for off-loading and lay down of materials as well as accommodating areas for skips and material storage to ensure minimal impact on the highway.

Materials

Recycled materials and sustainably sourced materials will be used where possible. Materials with low embodied energy will be preferred. The building is being designed from early stages to minimise construction waste.

Construction

Contractors will be expected to go beyond best practice site management principles to minimise the risk of pollution to the soil, air (dust) and water, as well as noise and night time light pollution.

Conclusion

The proposed scheme displays a very high-quality design which supports the character of the area and is sensitively modelled to consider the privacy and amenity of neighbouring residential properties. The design has been well considered and has fully taken into account local planning policy and conservation considerations.

- The proposal meets in full guidance within the NPPF, and the Council's adopted Local Plan policies and should be supported for the following reasons:
- The proposals have architectural merit that will compliment not only the site, but also its neighbourhood.
- The proposed dwelling respects the established character of the surrounding area and is in keeping with the character and appearance of the surrounding area in terms of its size, scale, layout, height and design.
- The siting of the new dwelling has taken into account the positioning of the existing building and adjacent dwellings and ensures that the proposal would not result in any loss of amenity to occupants of adjoining properties.
- The proposal is designed to reflect the scale, proportions and spacing of existing development within this location and regard has been given to the design process including the evaluation of the site and surrounding area.
- Existing trees and other significant landscape features would be retained.



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