

1843 : **Grove House, Baltonsborough**

Outbuilding Design and Access Statement

December 2023

Revision: *

Grove House, Baltonsborough Design and Access Statement

Client: Robert Peto

Project Number: 1843

Revision	Description	Prepared by	Approved by	Date
*	Planning	AB	DDH	20.12.2023

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Image Above | Site Location showing the site and neighbouring properties

1 - Introduction

1.0 Aims

The purpose of this Design and Access Statement is to support the application for planning permission for a new outbuilding at Grove House, Baltonsborough.

2 – Context

2.0 Site Location

The site lies to the South of Baltonsborough. The existing dwelling is one of several built along Lubborn Lane. There are neighbouring residential properties to the north-east and south-west of the site, and grazing land to the north-west and south-east. Existing trees and hedgerow surround the site reducing distant views back into the site.

2.1 Use

The existing site is a mix of residential garden and pasture field. This field has been used in the past for recreational use as part of the garden, and for grazing. The new residential outbuilding for garden and machine storage will replace the dilapidated existing outbuildings that sit in front of the principal elevation.

2.2 Amount

The new outbuilding will replace the existing rundown, outbuildings as indicated on the drawings.

2 – The Existing Site

2.3 Site Photographs



Image Above | Existing open sided log store



Image Above | Existing outbuildings



Image Above | Existing site



Image Above | View towards proposed site



Image Above | Existing outbuildings



Image Above | Proposed Location Plan

3 – Proposed Design

3.0 Proposal

The proposal is to consolidate the currently dominating arrangement of outbuildings at Grove house. The outbuildings sit in front of the principal elevation and are in a poor state of repair. Rather than replacing the rundown outbuildings in the existing location, which impacts the views out from the dwelling, the proposed single outbuilding is located to the rear of the plot. This is sat close to an existing hedge line that will shortly be replanted.

The property has a large garden of 3 acres that requires machinery to look after and maintain. The intention is to use this outbuilding to keep small and medium sized machinery as well as store garden furniture, logs etc.

3.1 Access

The proposed track will allow access for vehicles up to the outbuilding. It will be screened with native hedging.

Adequate turning areas have been provided to ensure vehicles can enter and exit in a forward gear in accordance with Somerset County Council Parking Standards. There will be no change in the amount of car parking spaces provided.

3.2 Site Layout

The current outbuildings to be demolished are immediately outside the front of the house in direct view. This proposal moves the new outbuilding to the northern boundary of the site with connection to the utility spaces within the house.

3 – Proposed Design

3.3 Proposed Floor Plans

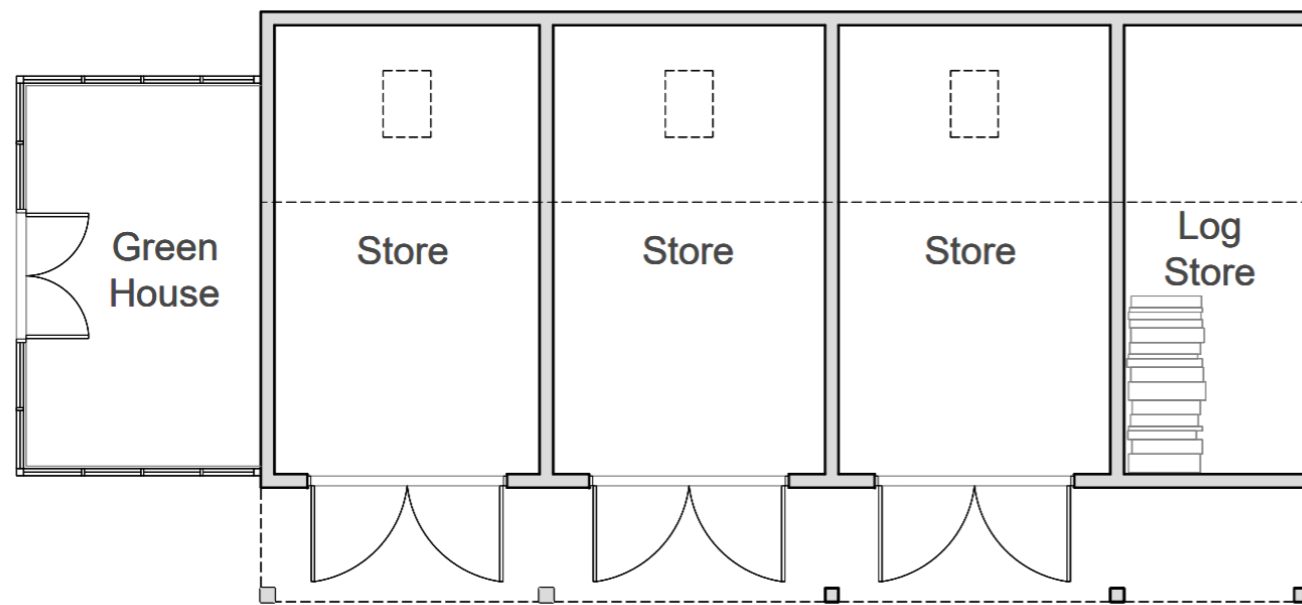


Image Above | Proposed ground floor plan

The proposed design will accommodate storage areas for garden equipment, furniture and machinery, as well as a log store and greenhouse which will serve the existing dwelling and its occupants.

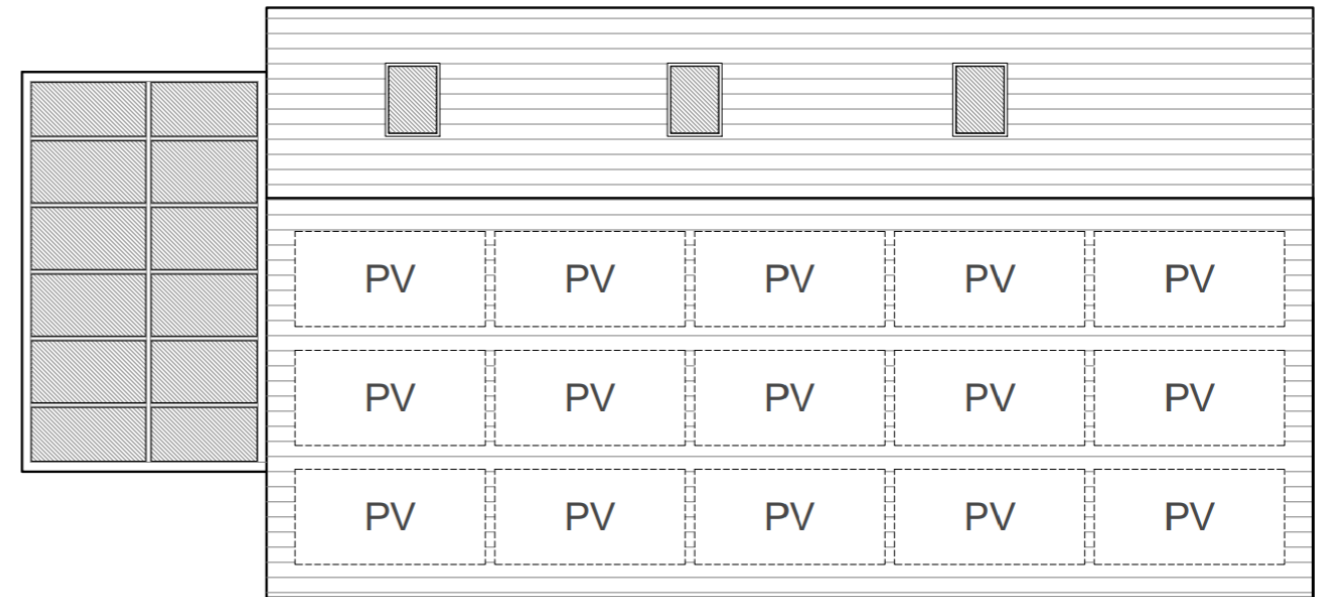


Image Above | Proposed roof plan

15 PV panels will be positioned on the south-east elevation to maximize the potential for power generation.

3 – Proposed Design

3.4 Proposed Elevations

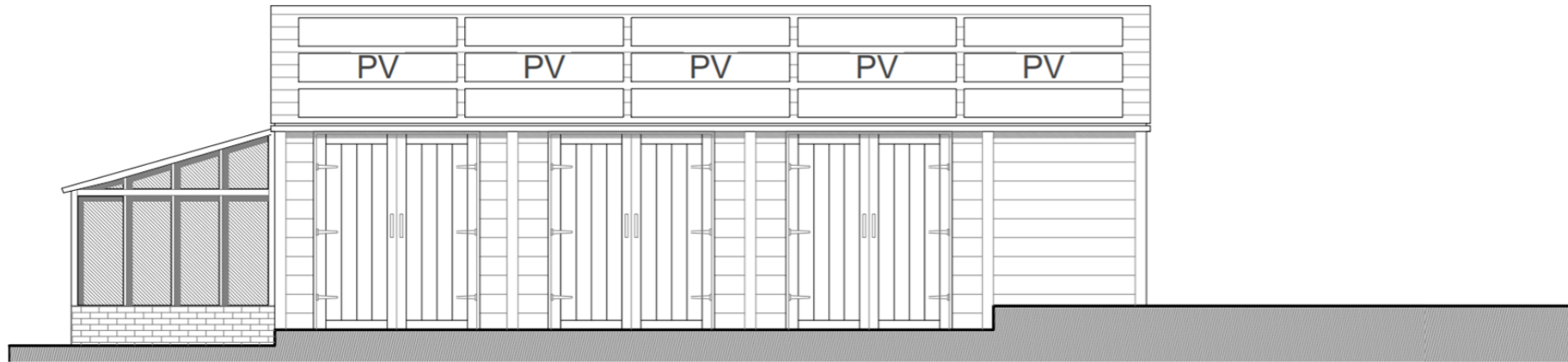


Image Above | Proposed south-east elevation

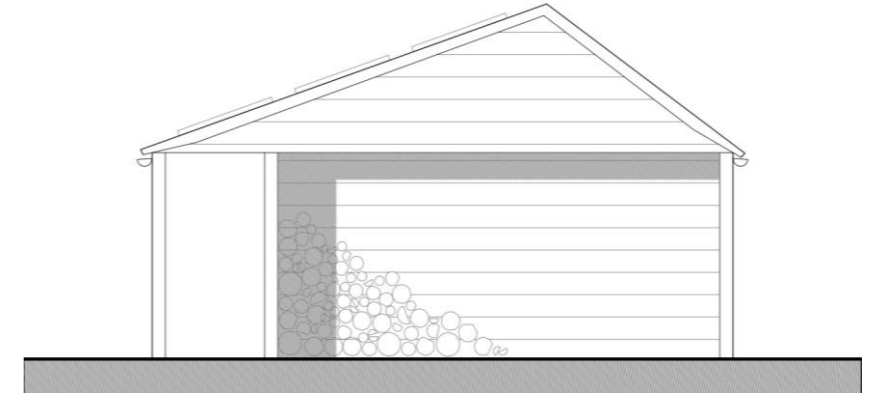


Image Above | Proposed north-west elevation

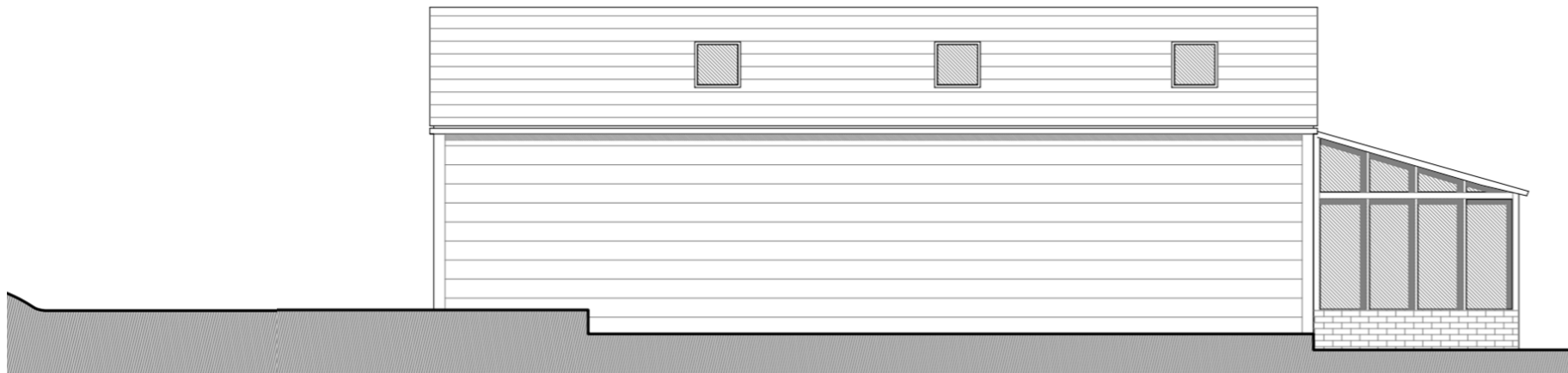


Image Above | Proposed north-east elevation



Image Above | Proposed south-west elevation

3 – Proposed Design

3.5 Materiality

The materials and position have been considered to ensure the new building sits comfortably within its context. The outbuilding will be clad in timber with a single brick gable behind the greenhouse on the south-west elevation. It will be screened from the road by trees on the south-east elevations as well as proposed native hedging to north-west elevation from surround properties.

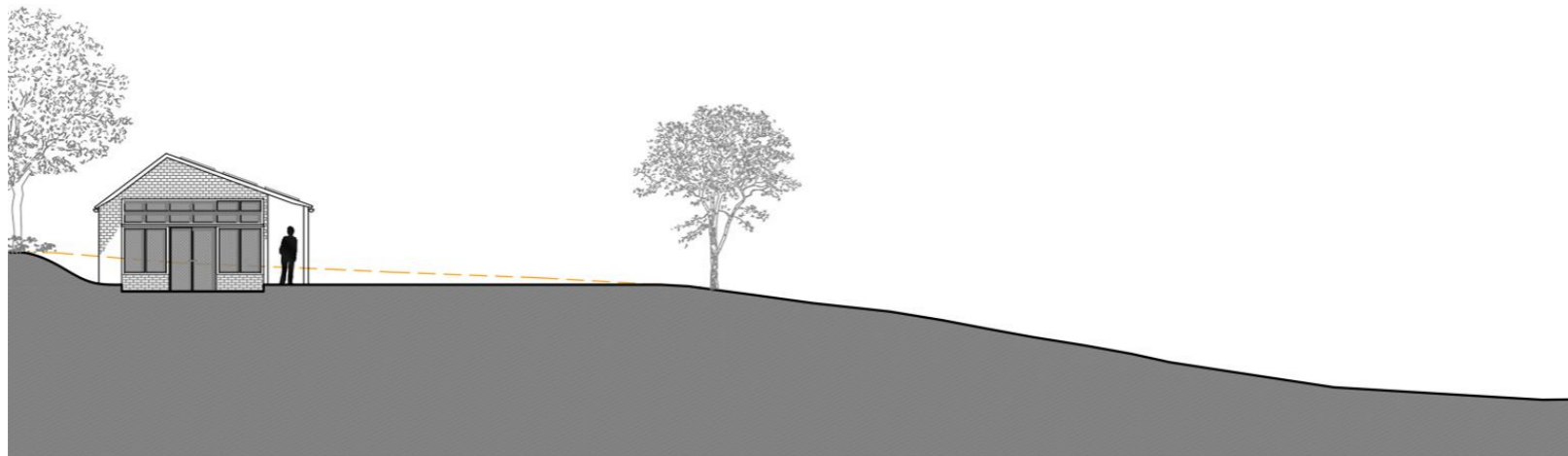


Image Above | Existing north-west elevation

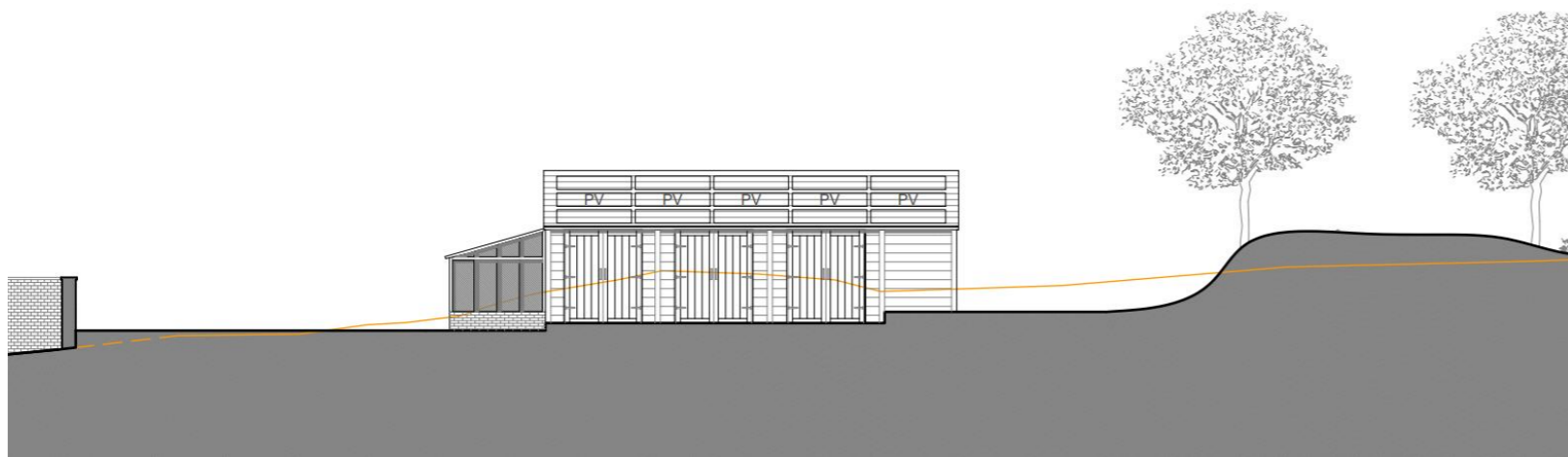


Image Above | Existing south-east elevation



Brickwork



Timber cladding



Glass green house

4 – Conclusion

4.0 Conclusion

- The proposed outbuilding provides much needed storage on site, replacing the existing run-down outbuildings in a more suitable location. Allowing an uninterrupted view across the field.
- The ecology report states the proposed location is acceptable. Existing hedging in poor condition has been removed and will be replanted as part of the application.
- The proposal resolved many issues that currently exist on the site and improve views across the site from the north.
- We feel the proposal is considered and enhances the overall site, the new location of outbuilding, close to an existing hedge line makes the location while raised, more discreet. Removing the existing low-quality buildings further improves the immediate area outside the house and on this basis the application should be considered for approval.