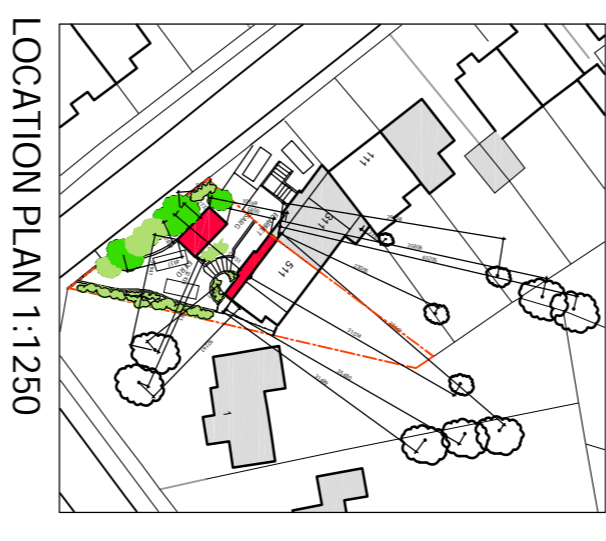


THE SCALE BAR PROVIDED IS FOR USE SO THAT THE DRAWINGS CAN BE SCALED DURING THE PLANNING APPLICATION PROCESS.

NO DIMENSIONS SHOULD BE SCALED DURING CONSTRUCTION AND ANY MISSING DIMENSIONS REQUIRED SHOULD BE REQUESTED AND CONFIRMED BEFORE PROCEEDING. ALL DIMENSIONS MUST BE CHECKED ON SITE AND AGREED WITH THE CLIENT PRIOR TO CONSTRUCTION.

ALL EXISTING AND PROPOSED LEVELS ARE APPROXIMATE AND SUBJECT TO SITE SURVEY BY THE MAIN CONTRACTOR



REVISIONS:
A- 26/12/2023 - Scale bar amended.
B- 08/11/2024 - Scale bar amended.

Project
PROPOSED SINGLE STOREY FRONT AND GARAGE EXTENSIONS TO 115 MANDEVILLE ROAD, HERTFORD, HERTS.

Title
EXISTING PLANS

Scale	1:50 AND 1:1250 @ A1	Date	OCTOBER 2023
Drawn	MRW	Checked	
Drawing Number	MRW/CYS/2023/P002	Revision	B



Existing dense, mature tree and shrub screen to boundary. See Location Plan for details.

Existing semi ornamental tree.

Existing steeply sloping grass and shrub bank.

Existing two storey side extension.

Existing mature 3.5 metre high approx. shrub border.

Existing single storey porch extension to be replaced.

Existing two storey side extension.

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