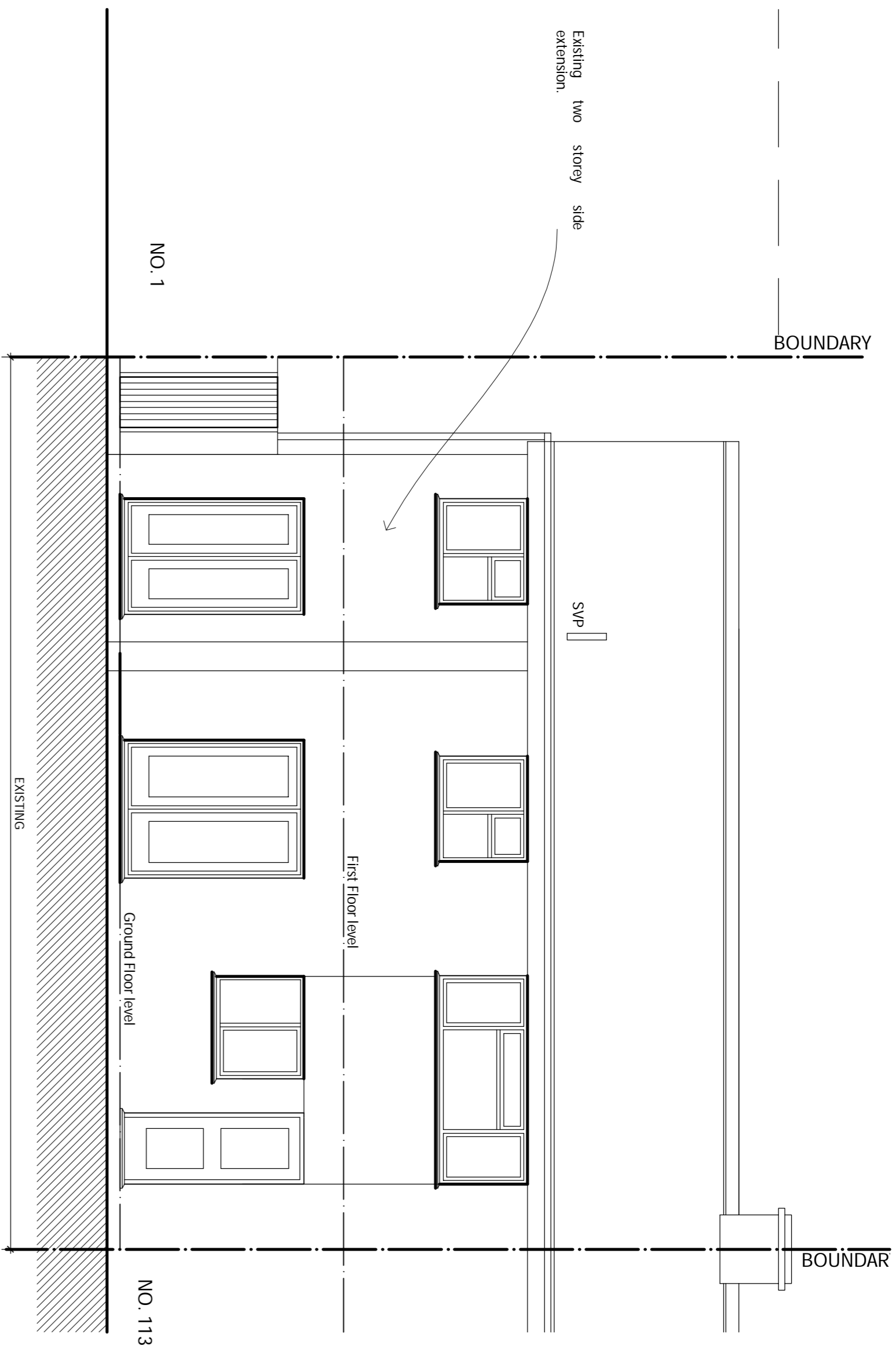


THE SCALE BAR PROVIDED IS FOR USE SO THAT THE DRAWINGS CAN BE SCALED DURING THE PLANNING APPLICATION PROCESS.

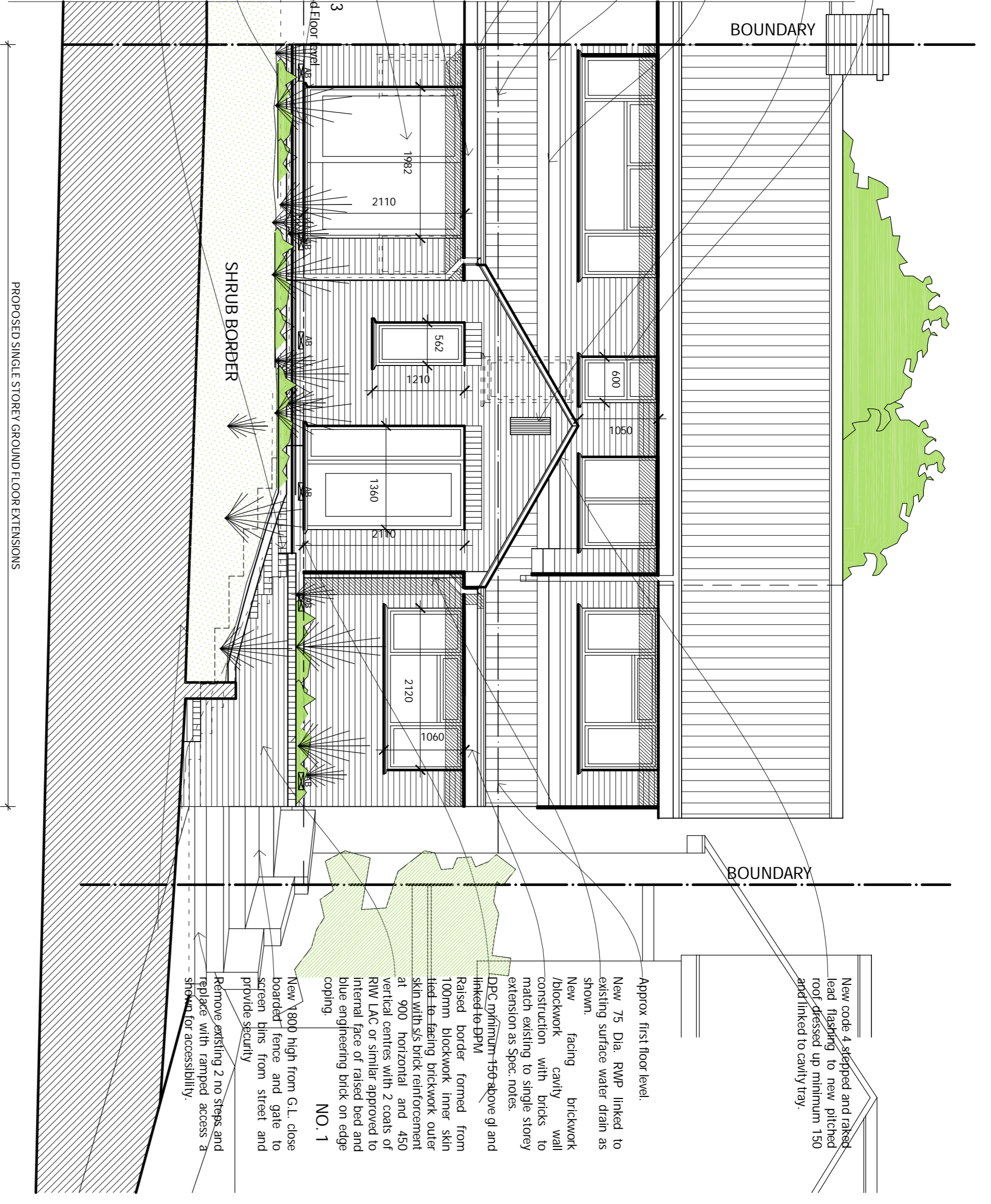
NO DIMENSIONS SHOULD BE SCALED DURING CONSTRUCTION AND ANY MISSING DIMENSIONS REQUIRED SHOULD BE REQUESTED AND CONFIRMED BEFORE PROCEEDING. ALL DIMENSIONS MUST BE CHECKED ON SITE AND AGREED WITH THE CLIENT PRIOR TO CONSTRUCTION.

ALL EXISTING AND PROPOSED LEVELS ARE APPROXIMATE AND SUBJECT TO SITE SURVEY BY THE MAIN CONTRACTOR



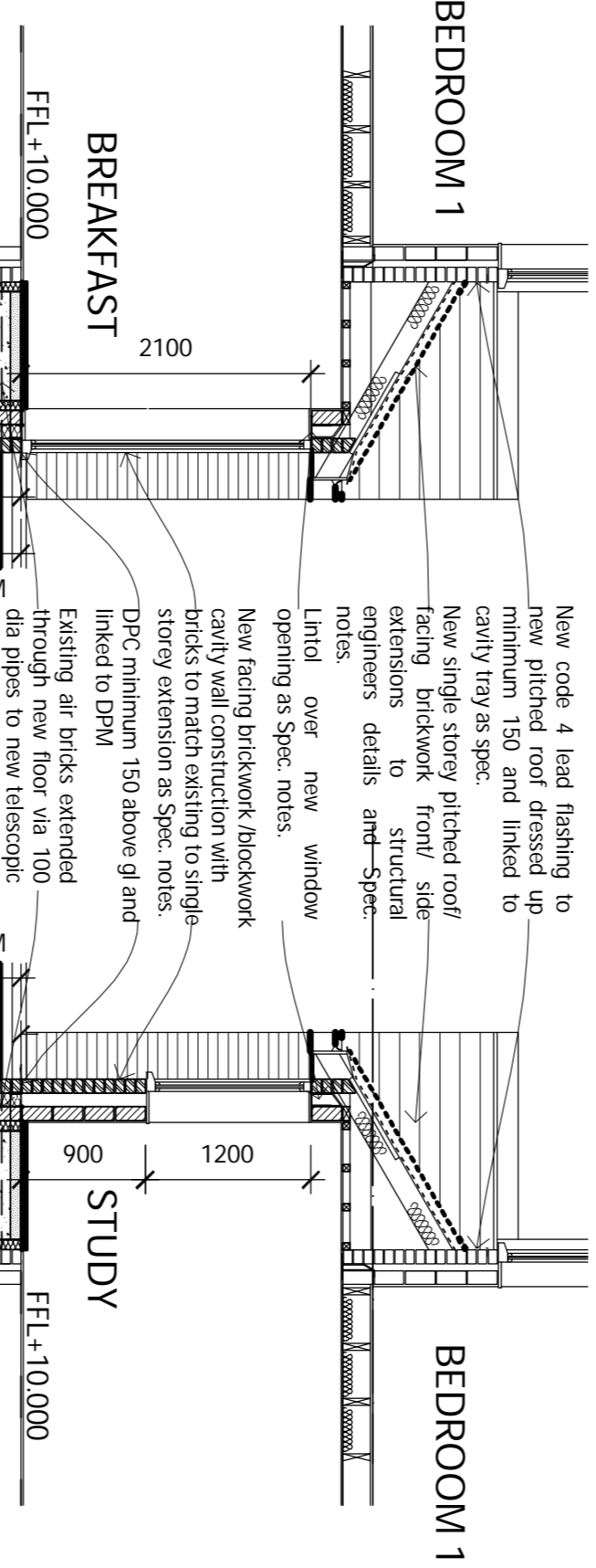
REAR ELEVATION - NO CHANGE

Adjust existing stair window as shown. Existing window as Spec notes. Make good all works disturbed.
Provide terracotta creasing tile detail feature to gable end 1/2 brick wide.
New code 4 lead flashing to new pitched roof dressed up minimum 150 and linked to cavity tray as spec.
New code 4 lead flashing dressed under roof tiles between proposed and 113 existing single storey extensions subject agreement as Gen spec notes.
Approx first floor level.
New single storey pitched roof facing brickwork cavity brick block extensions as spec notes.
New 100mm over new openings to structural engineers details Spec notes.
New windows and bi-fold doors to clients specification.
Existing air bricks extended through new floor via 100 dia pipes to new telescopic vents to floor ventilation.
DPC minimum 150 above g and linked to DPM.



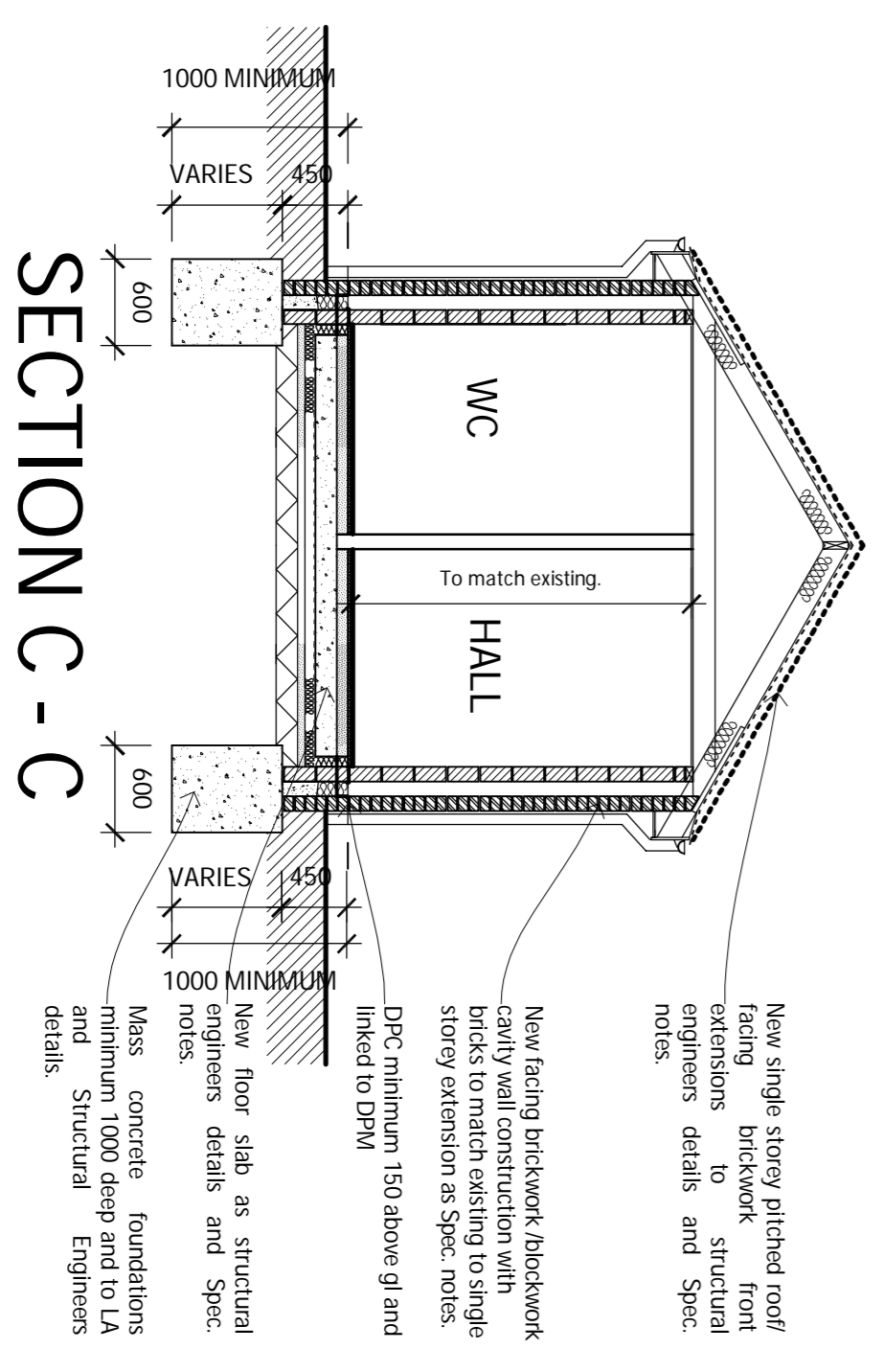
**FRONT ELEVATION
(HOUSE ONLY, GARAGE AND TREES OMITTED FOR CLARITY - REFER ALSO TO GARAGE/HOUSE ELEVATIONS)**

New code 4 stepped and raised lead flashing to new pitched roof dressed up minimum 150 and linked to cavity tray.
Approx first floor level.
New 75 Dia RWP linked to existing surface water drain as shown.
New facing cavity brickwork construction with bricks to match existing to single storey extension as Spec notes.
DPC minimum 150 above g and linked to DPM.
Raised border formed from 100mm blockwork inner skin lead to facing brickwork outer skin with 2 coats of RWP LAC or similar approved to internal face of raised bed and blue engineering brick on edge coping.
NO. 1
New 1800 high from G.L. close boarded fence and gate to screen drive from street and provide security.
Remove existing 2 no steps and replace with ramped access a stepped DPC or 2 courses of red engineering brick DPC to accommodate sloping drive.



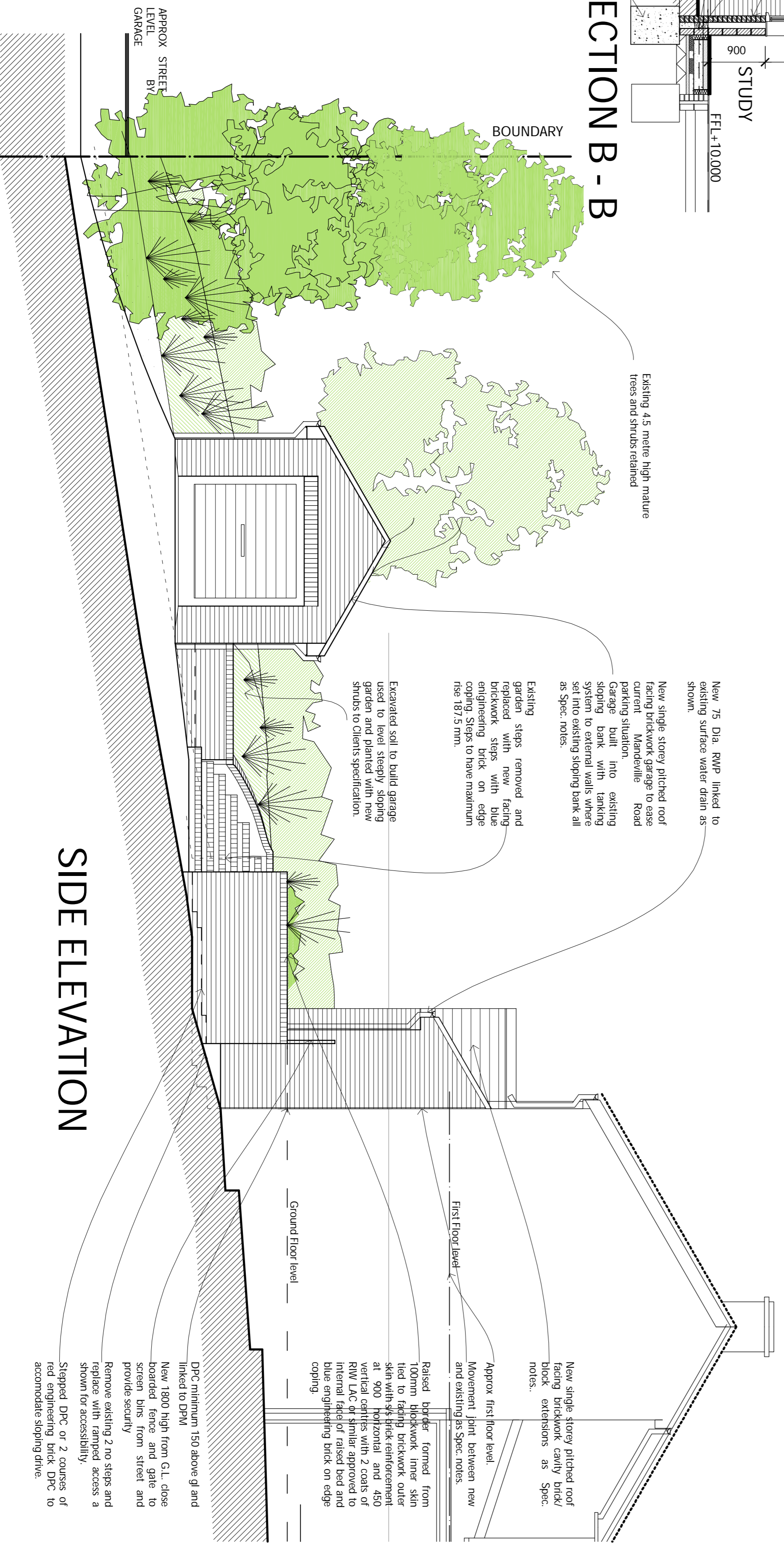
**SECTION A - A
SECTION B - B**

New code 4 lead flashing to new pitched roof dressed up minimum 150 and linked to cavity tray as spec.
New single storey pitched roof/ facing brickwork front/ side extensions to structural engineers details and Spec notes.
Lintol over new window opening as Spec notes.
New facing brickwork/ blockwork cavity wall construction with bricks to match existing to single storey extensions as spec notes.
DPC minimum 150 above g and linked to DPM.
Existing air bricks extended through new floor via 100 dia pipes to new telescopic vents to floor ventilation.
1000 MINIMUM
VARIES
450
900
1200
F.F.L.+10.000
Mass concrete foundations to structural engineers details.



SECTION C - C

New single storey pitched roof/ facing brickwork front/ side extensions to structural engineers details and Spec notes.
New facing brickwork/ blockwork cavity wall construction with bricks to match existing to single storey extension as Spec notes.
DPC minimum 150 above g and linked to DPM.
New floor slab as structural engineers details and Spec notes.
Mass concrete foundations minimum 1000 deep and to LA Structural Engineers details.



SIDE ELEVATION



REVISIONS:
A- 26/11/2023 - Scale bar amended.
B- 08/11/2024 - Scale bar amended.

PROPOSED SINGLE STOREY FRONT AND GARAGE EXTENSIONS TO 115 MANDEVILLE ROAD, HERTFORD, HERTS.

PROPOSED ELEVATIONS AND SECTIONS

Scale	Date
Drawn	Checked
1:50 AND 1:1250 @ A1	OCTOBER 2023
Drawing Number	Revision
MRW/	
MRW/CYS/2023/P005	B