

Lawhill House, Dollar.

ERECTION OF 2 DETACHED HOUSES

DESIGN STATEMENT
MAY 2023



INTRODUCTION

LOCATION

This Design and Access Statement has been prepared on behalf of our client for their proposal of 2 new dwellings at Lawhill House, Dollar. It is their intention to improve upon the site and to have a sensitive approach to the surrounding environment.

Lawhill House is located to the North East of Dollar, a small town located within the council of Clackmannanshire - 12 miles east of Stirling.



BACKGROUND



Castle Campbell (Castle Gloom)

Dollar is a picturesque village nestling in a fold of the Ochil Hills on the northern bank of the River Devon, east of Stirling.

The most prominent piece of history within Dollar is Castle Campbell. It is also known as Castle Gloom - derived from the Scottish Gaelic: *glom*, meaning 'a chasm', and referring to the narrow gorges to either side of the Castle's site. The present tower was built around 1430 for John Stewart (Lord Lorne) or one of his kinsmen. In 1654 it was attacked and burned, leaving areas of the structure as ruins.

In 1948 the castle was given to the National Trust for Scotland, who arranged for the castle to be cared for by the Ministry of Works. Restoration works have included a new roof on the tower, and excavations in the 1980s which revealed charred timbers from the 1654 burning. The castle is now managed by Historic Scotland as a scheduled ancient monument.

There is a marked walk through the glen to the castle, past mossy crags and rushing streams. The surviving tower provides a wonderful vista of the hills behind the castle, and down the glen to Dollar itself.

The village thrived during the 19th century as a textile centre and turnpike station. The establishment of Dollar Academy in 1818 sparked a growth in the village's population. As Dollar Academy grew, education became the village's main industry.

Now, the town offers quaint shops and eateries and most of the businesses can be found on the main street, Bridge Street. Dollar's population has grown from just 500 at the beginning of the 19th century to a current estimate of 2,800.

SITE

Dollar exhibits typical late 18th and 19th century Scottish architecture. The structure of the town features a typical high street that residential streets feed off of. The dominant building material in the area is sandstone, presumably locally quarried and a prominent feature of the town is the varying slate rooflines, cluttered with dormers, chimneys and clay pots.

The proposed site is positioned further afield on the north east periphery of the village, in the area known as Lawhill, and nestled into a context of hills, fields and woodland. The buildings situated within this rural setting are also prominently characterised with traditional sandstone and pebbledash render. Stone quoins are also often used.

The proposed dwellings will therefore draw on the characteristics of the traditional style of the town and utilise a similar palette of materials. This will be done by using stone and drydash render finishes. With the addition of pre-cast stone finish quoins. Dormers shall add character to the roof and maintain a similar scale to the buildings' context.

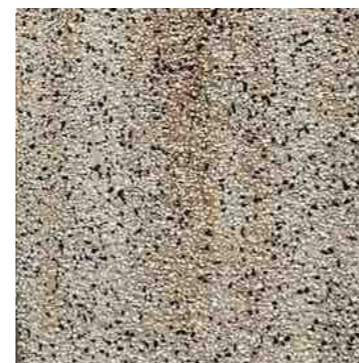
Materials :



View of Bridge Street



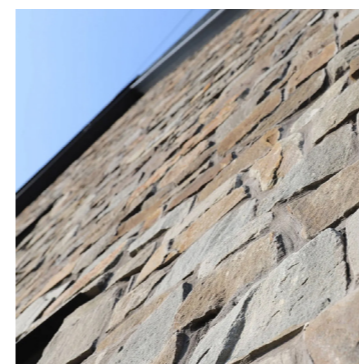
Neighbouring Property on Upper Hillfoot Road



Drydash Render



Pre-cast stone finish quoins



Stone



Slate

PROPOSAL

Currently on the site are an existing house and outbuildings - each in very poor condition. These are to be demolished.

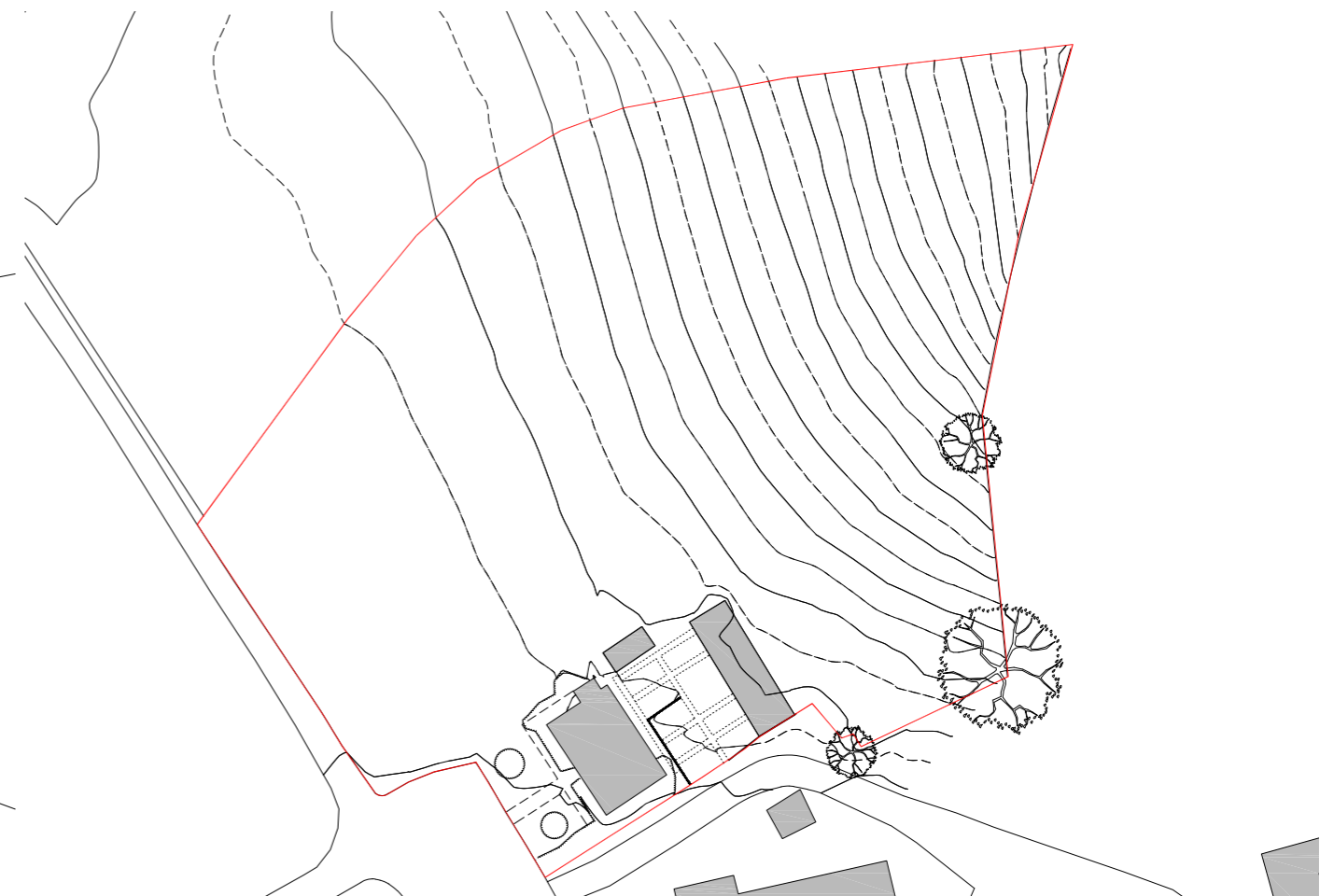
The proposal is for the addition of two identical but handed two storey houses and two identical three-car garage / workspaces.

Both dwellings are also to have sun rooms to take advantage of south facing light and north facing views.

The site slopes heavily up to the north east, with a rise in level from 141-152m. This influences the placement and orientation of the buildings. The orientations of the buildings follow the contours of the site whilst the changes in level influence the position of each building. The garages, being set back from the main dwelling, faced a steeper topography, and so, retaining walls will be built to set the buildings into the hill, reduce their prominence, and provide access around the perimeter of each building.



Proposed Site Plan



Existing Site Plan



Site East Elevation

1 : 200



Site North Elevation

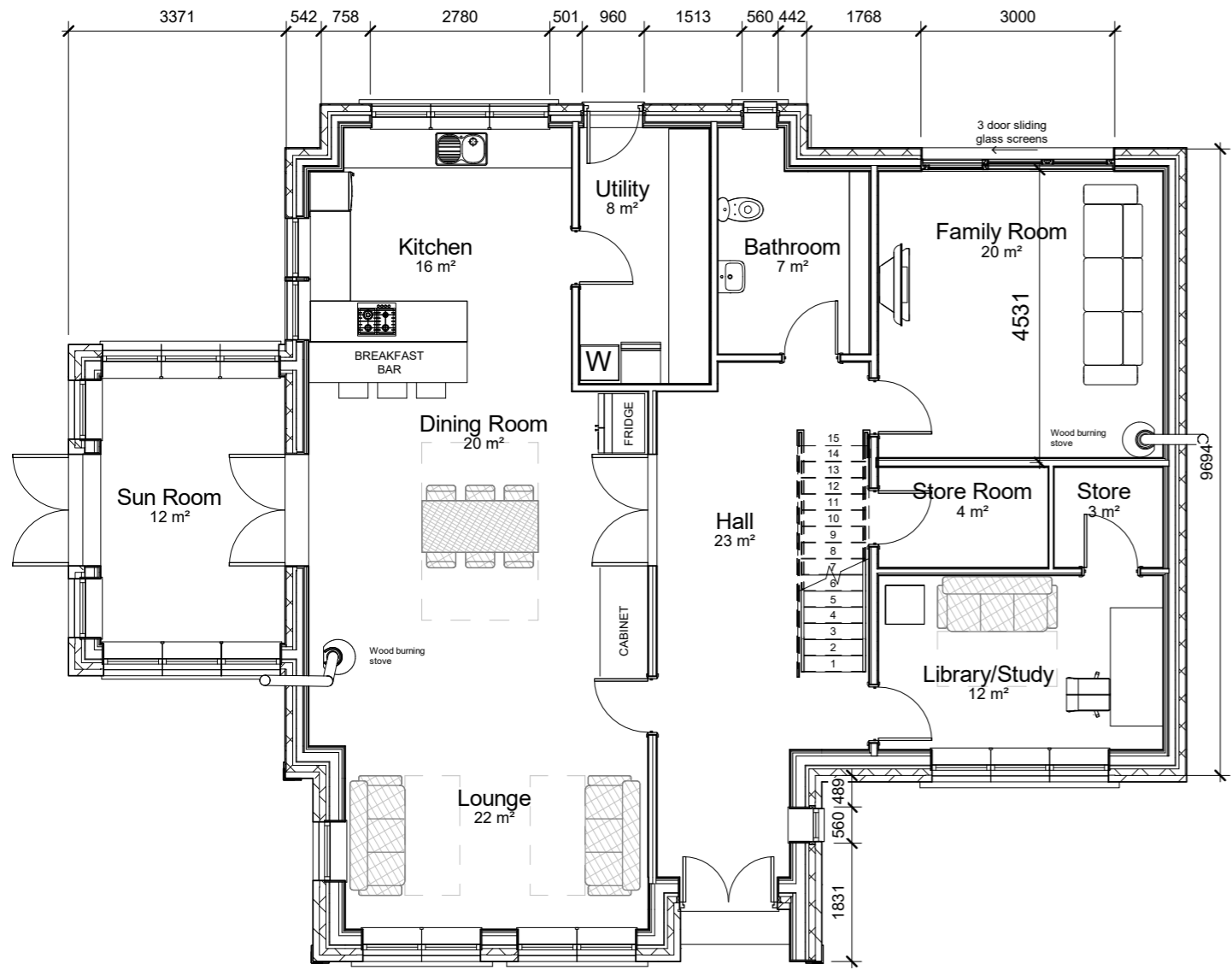
1 : 200



Site South Elevation

1 : 200

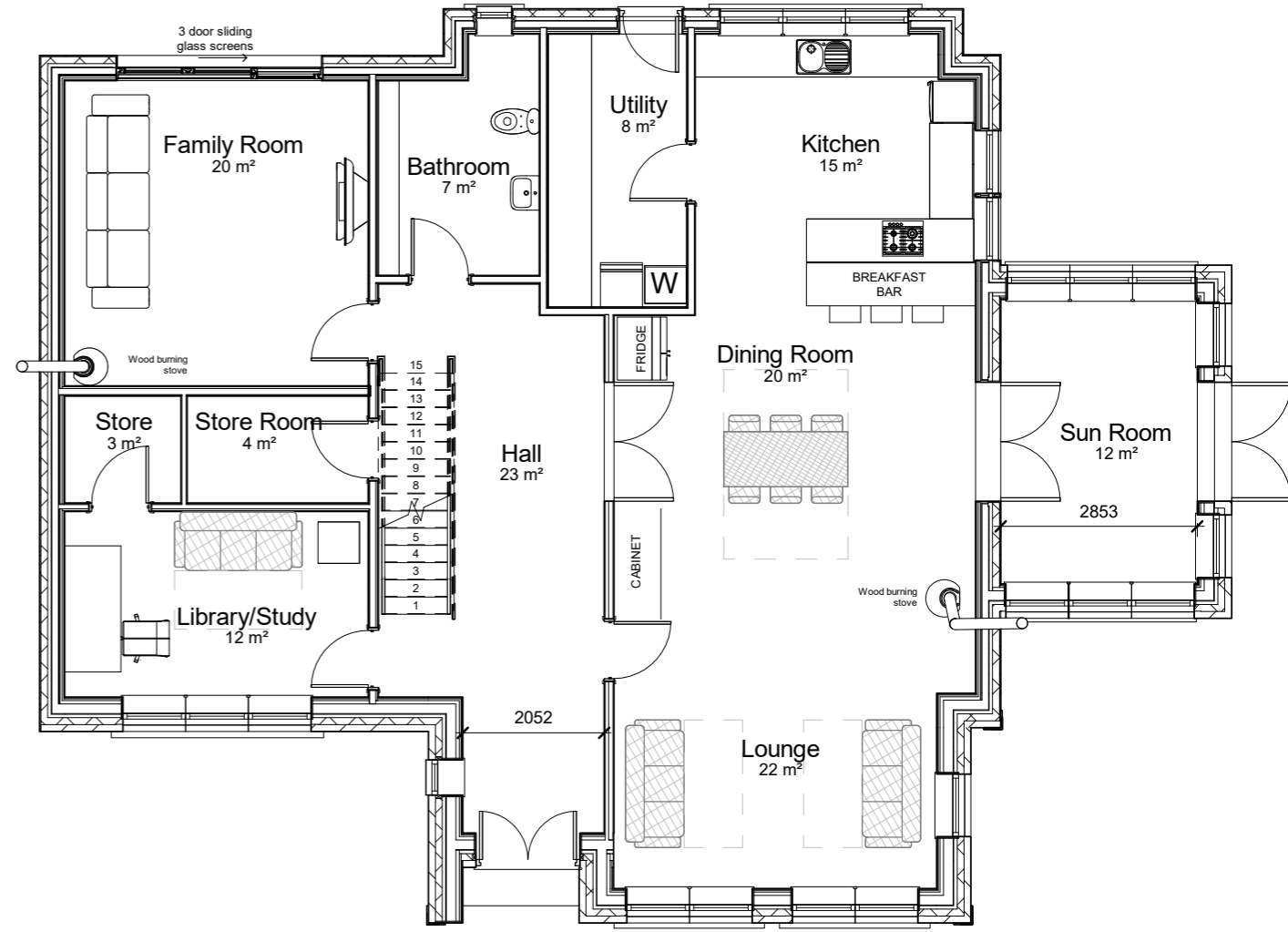




House 2

CL

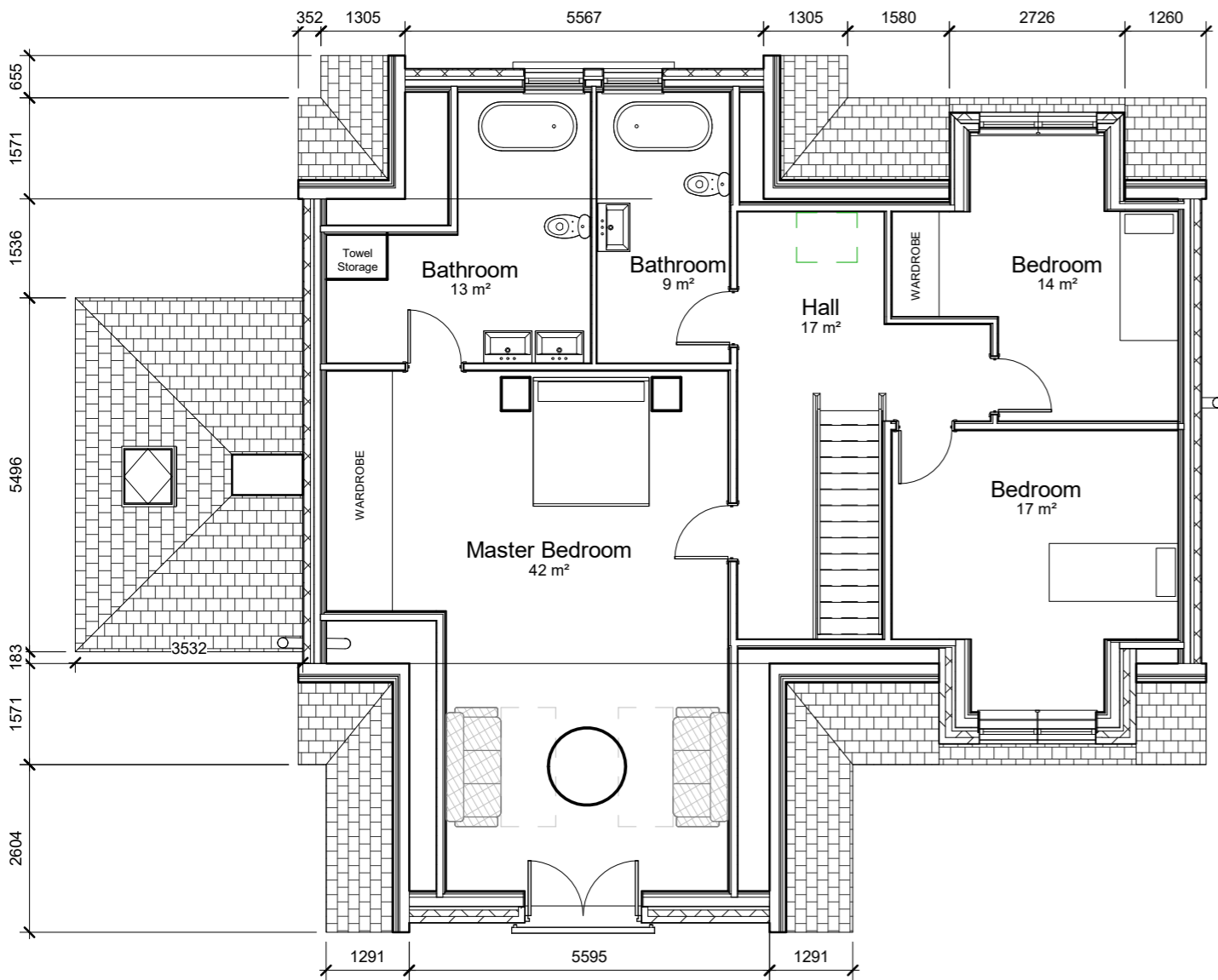
CL



House 1

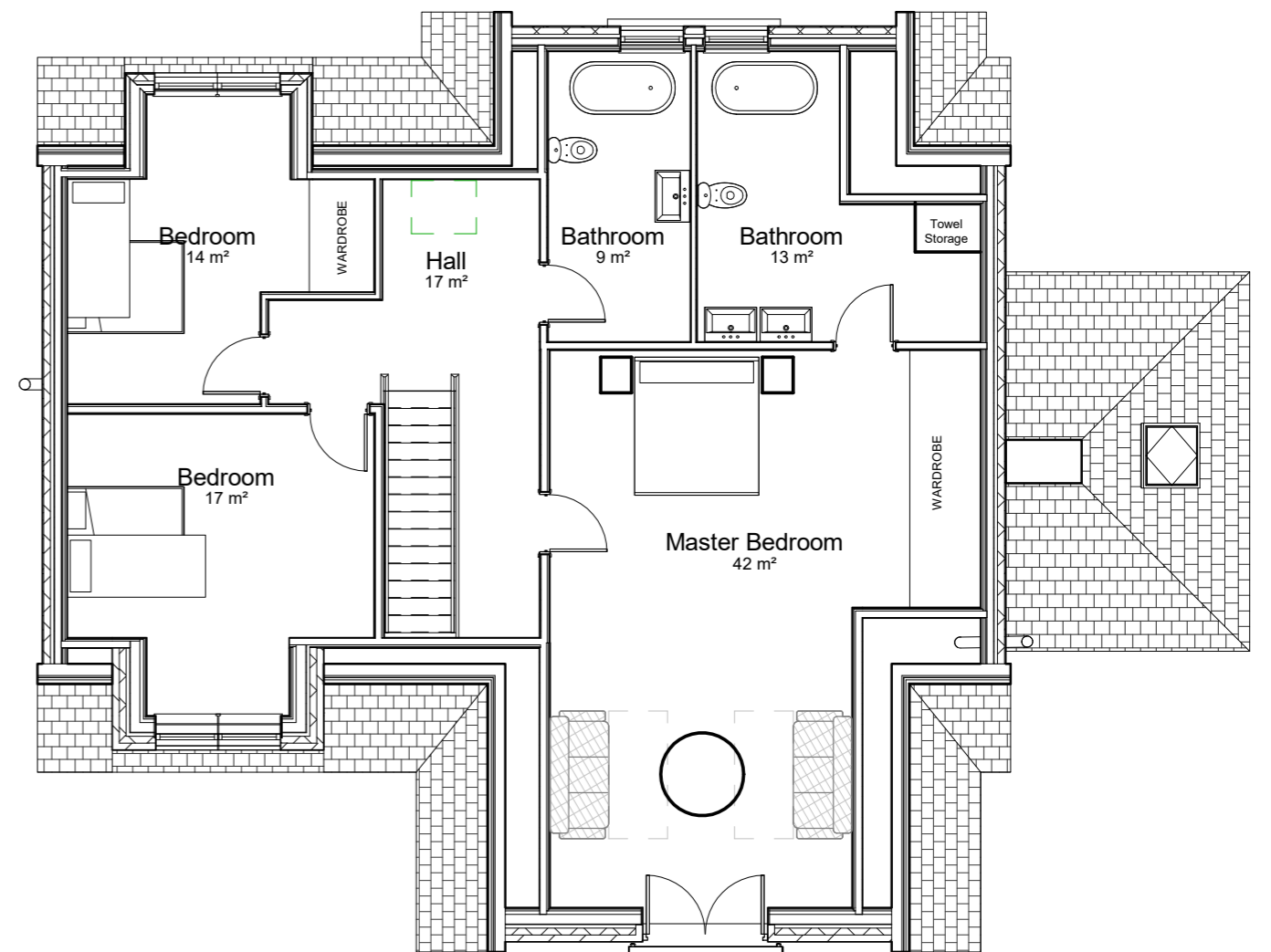
Ground Floor Plan

1 : 100



House 2

CL

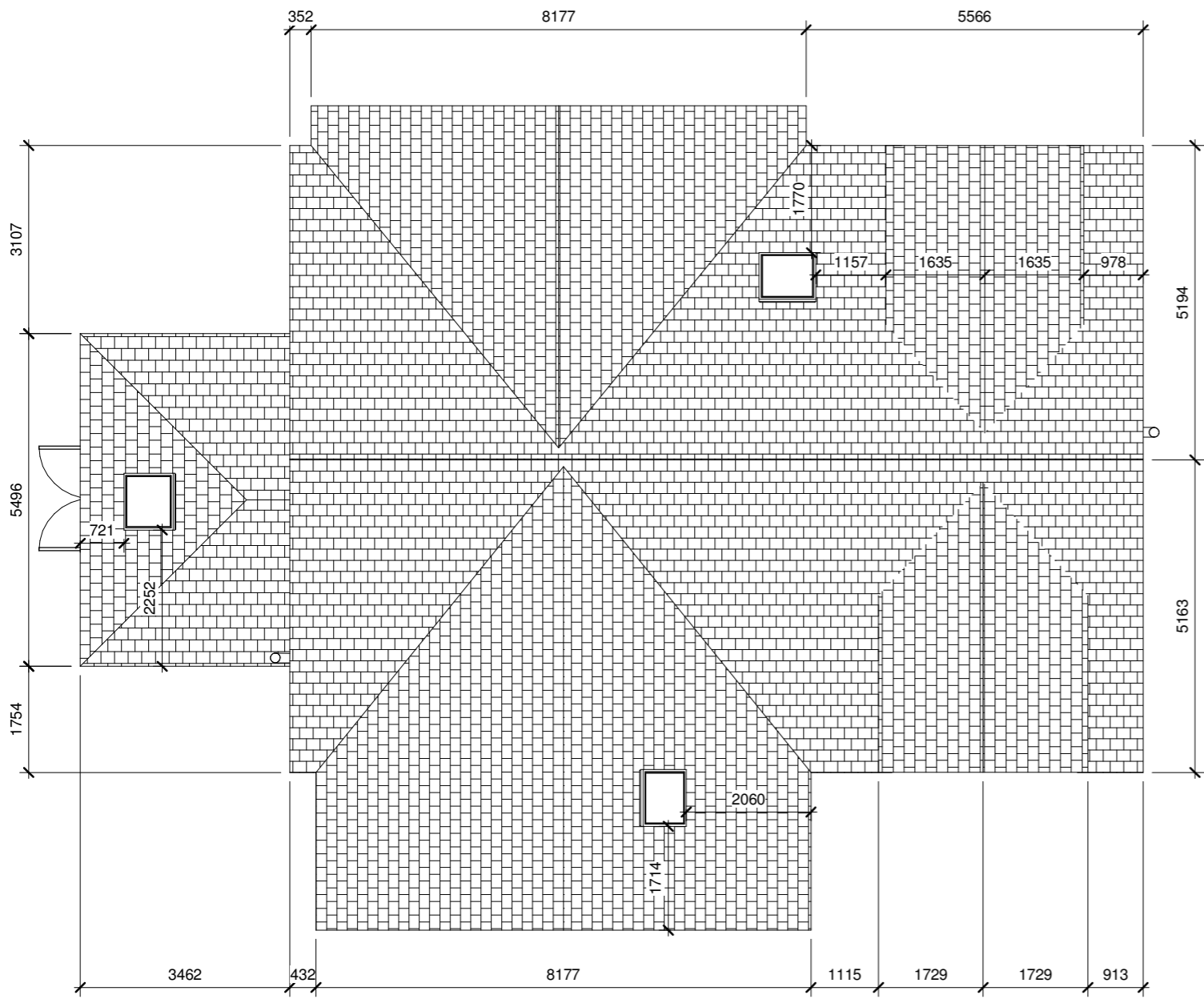


House 1

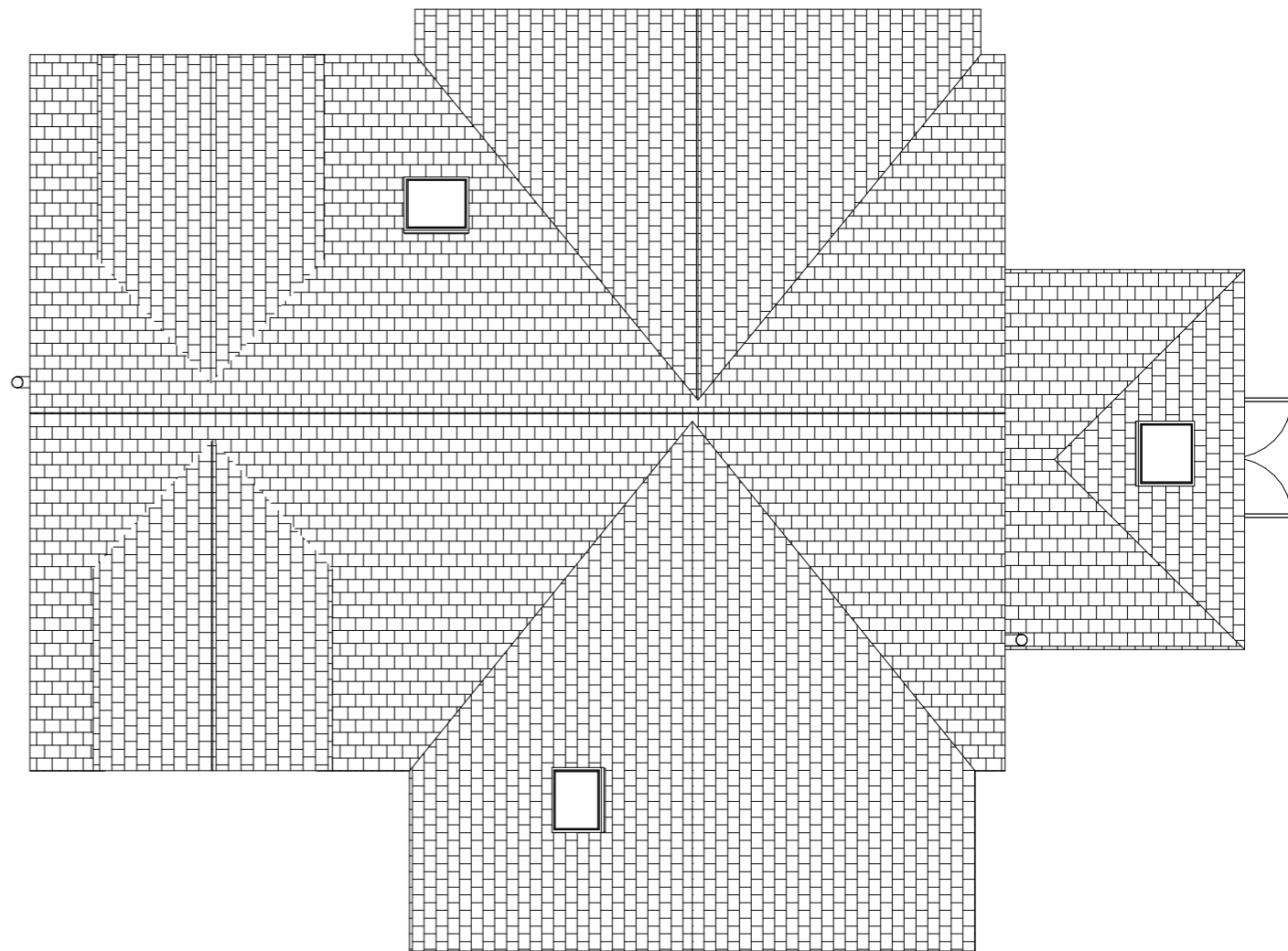
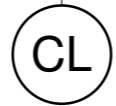
CL

First Floor Plan

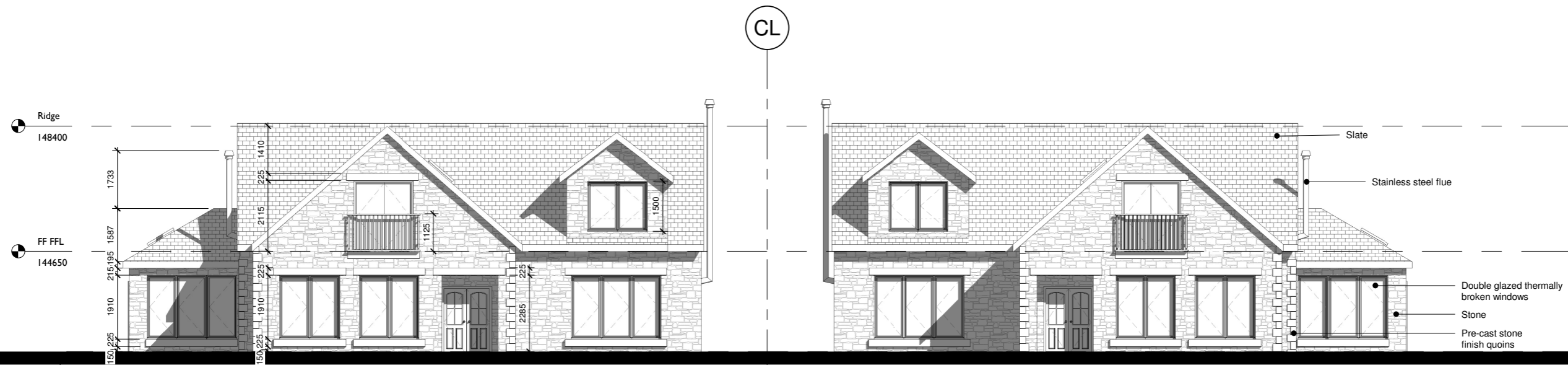
1 : 100



House 2



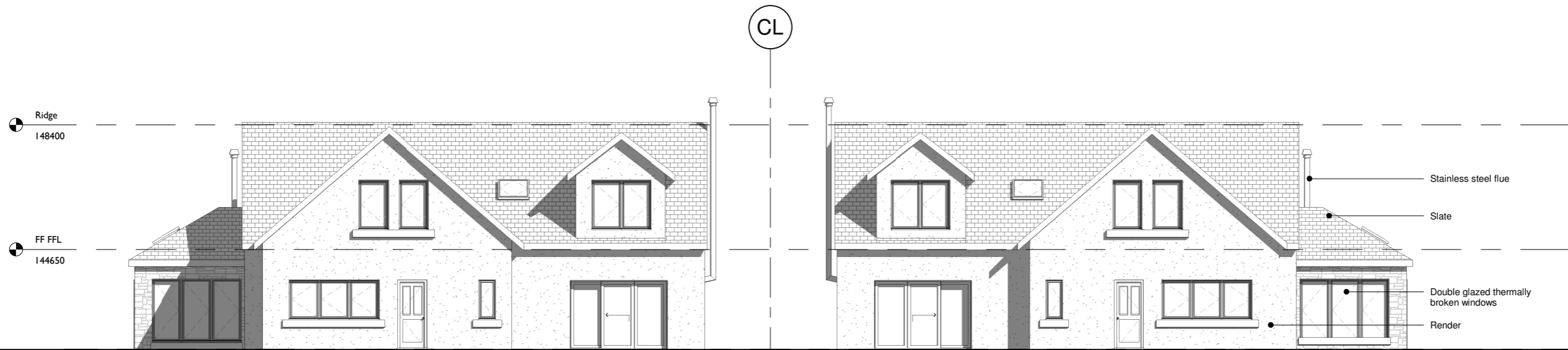
House 1



East Elevation
1 : 100

House 2

House 1



West Elevation
1 : 100

House 1

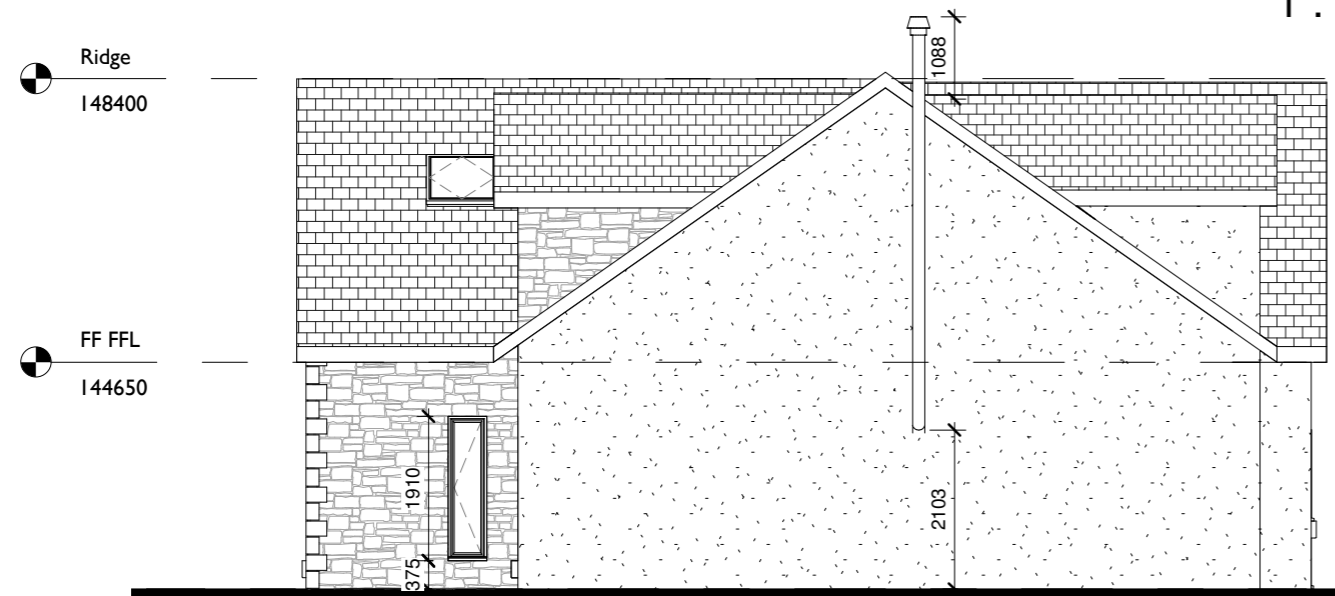
House 2



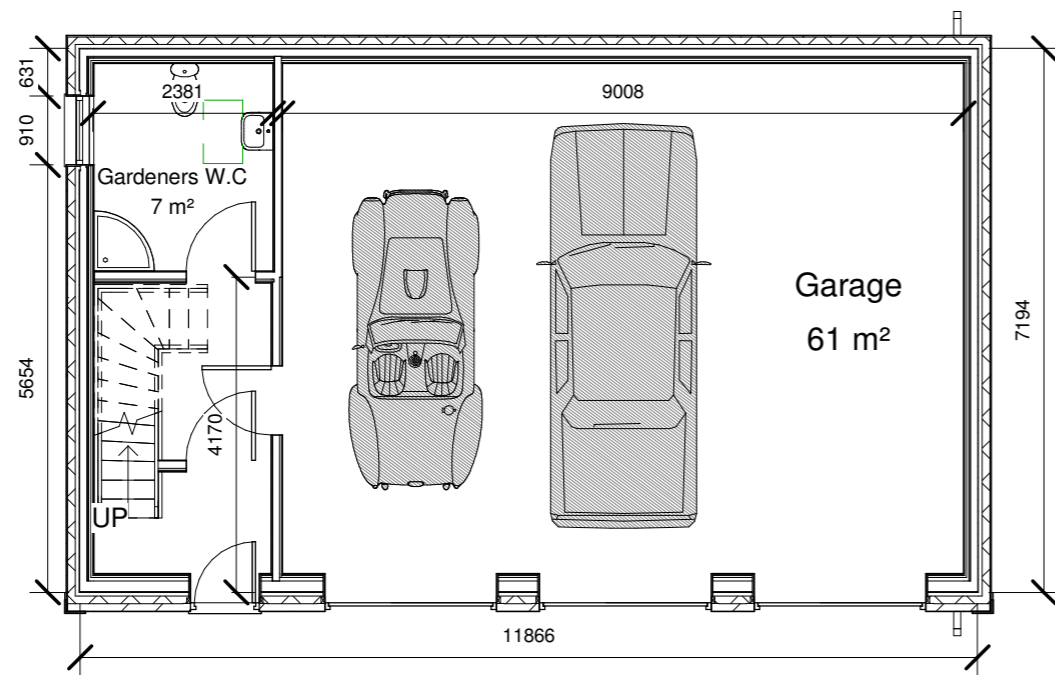
North Elevation
1 : 100



South Elevation
1 : 100

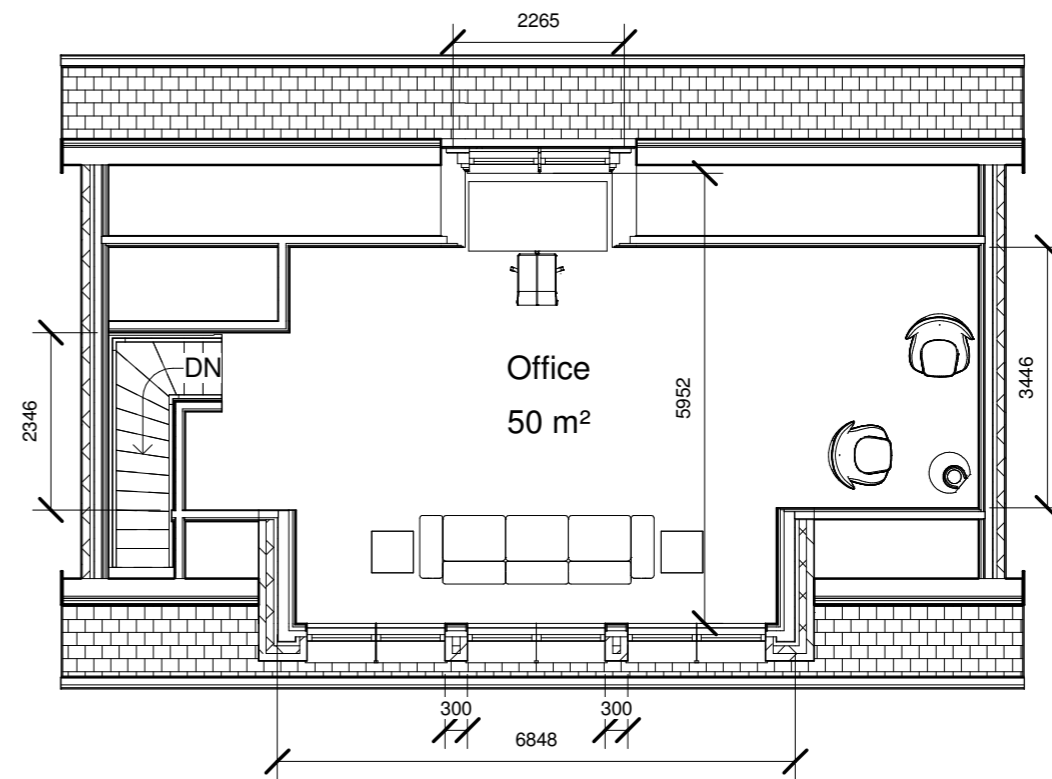


Gable Elevation
1 : 100



Ground Floor Plan

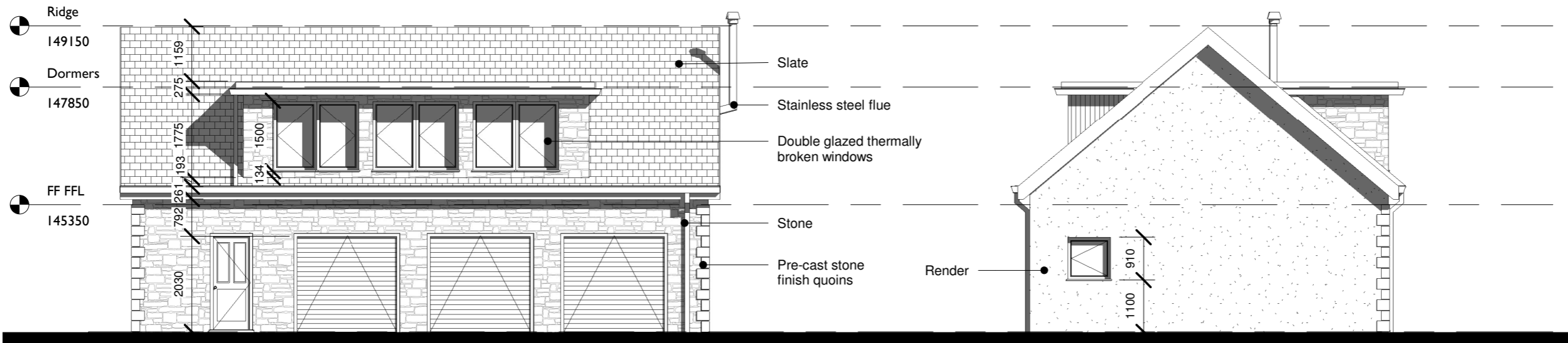
1 : 100



First Floor Plan

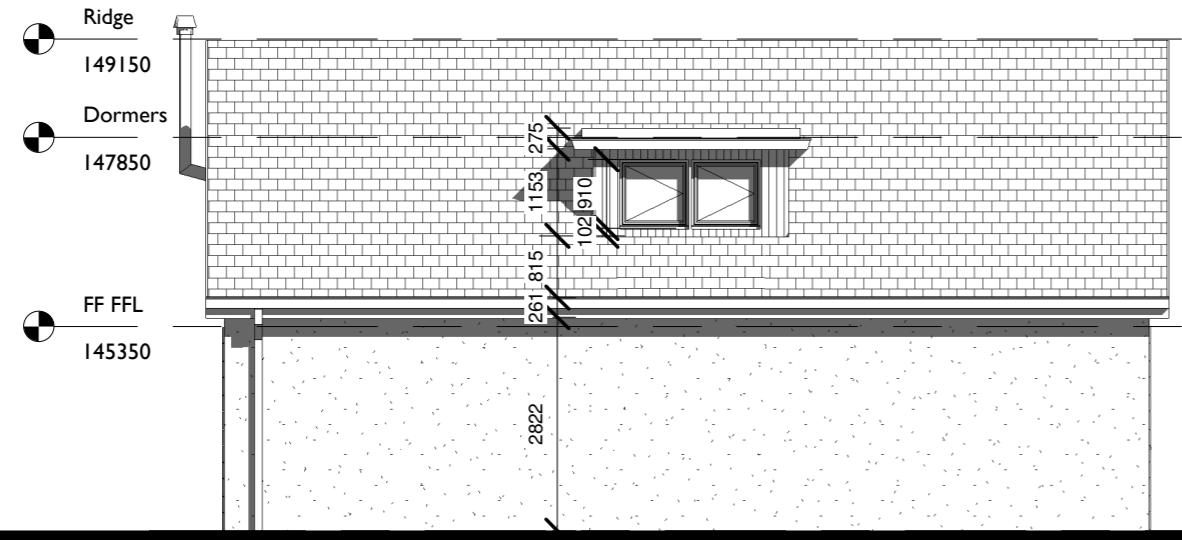
1 : 100

Garage 1

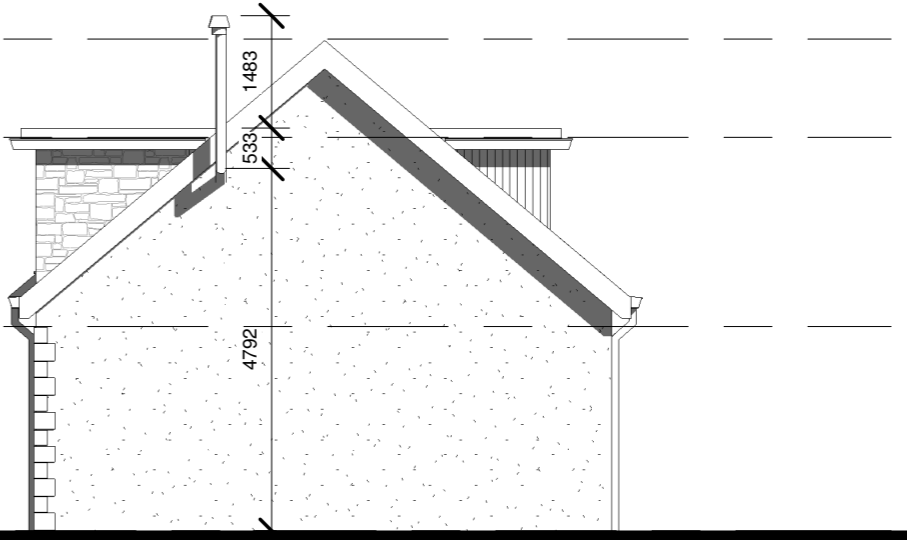


Ridge 149150
 Dormers 147850
 FF FFL 145350
 GF FFL 142650
East
 1 : 100

South
 1 : 100

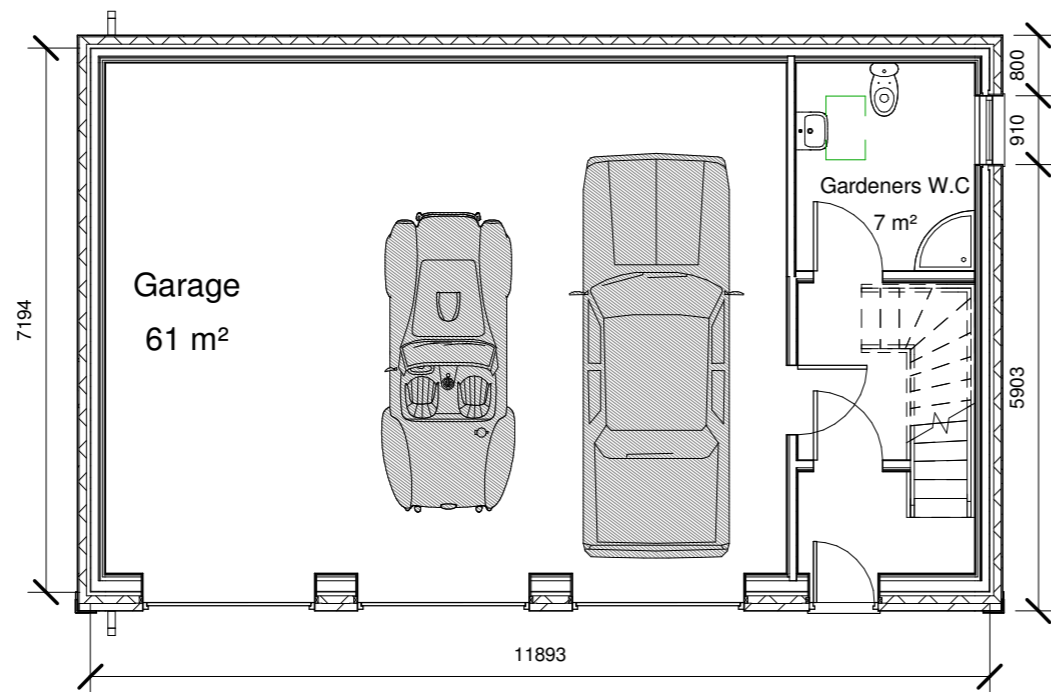


Ridge 149150
 Dormers 147850
 FF FFL 145350
 GF FFL 142650
West
 1 : 100



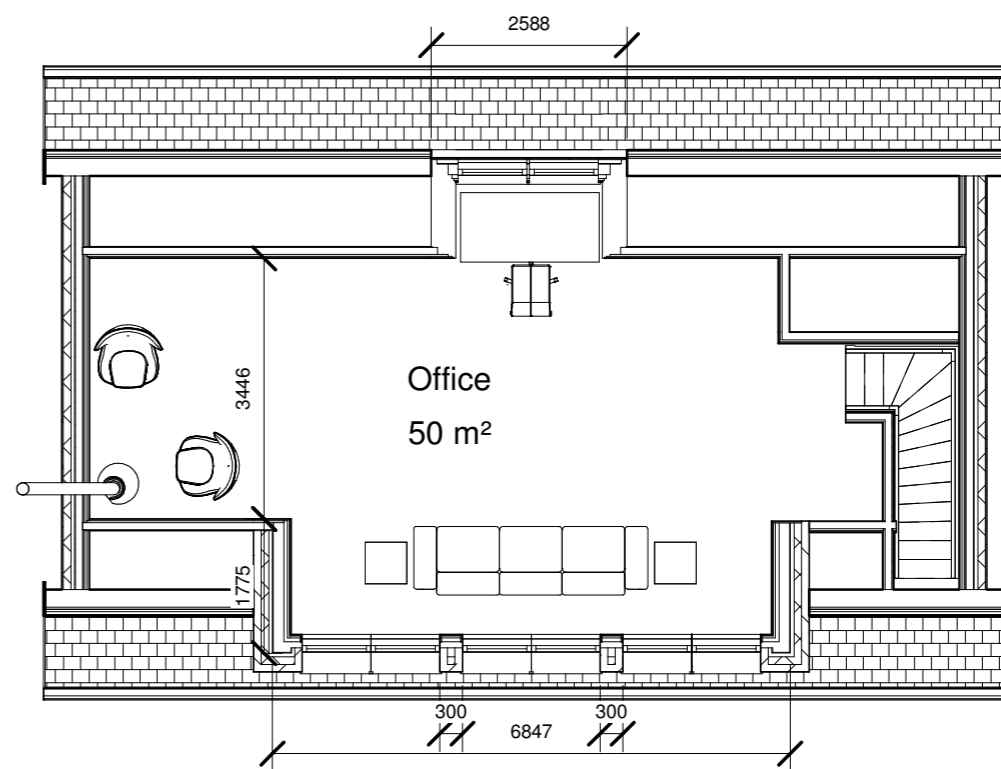
North
 1 : 100

Garage 1



Ground Floor Plan

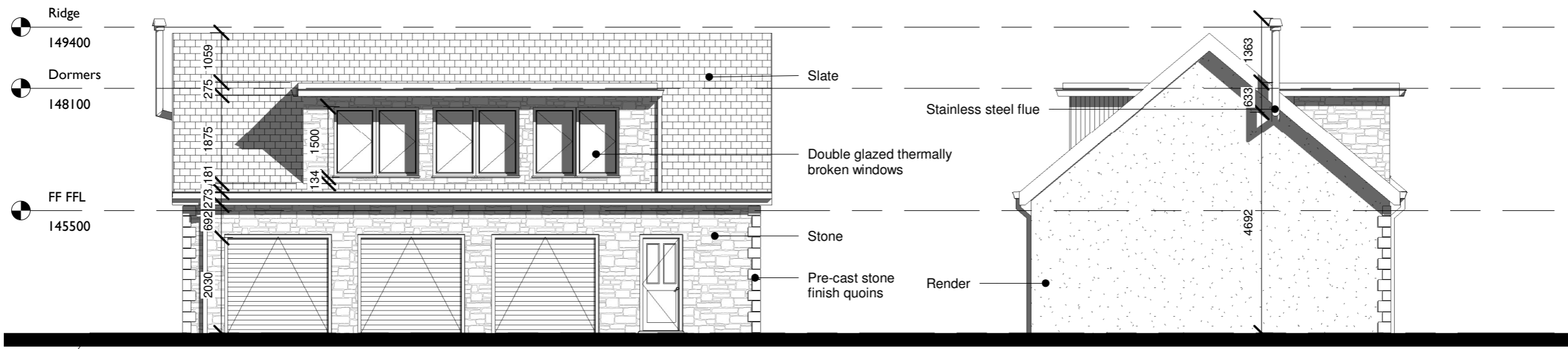
1 : 100



First Floor Plan

1 : 100

Garage 2

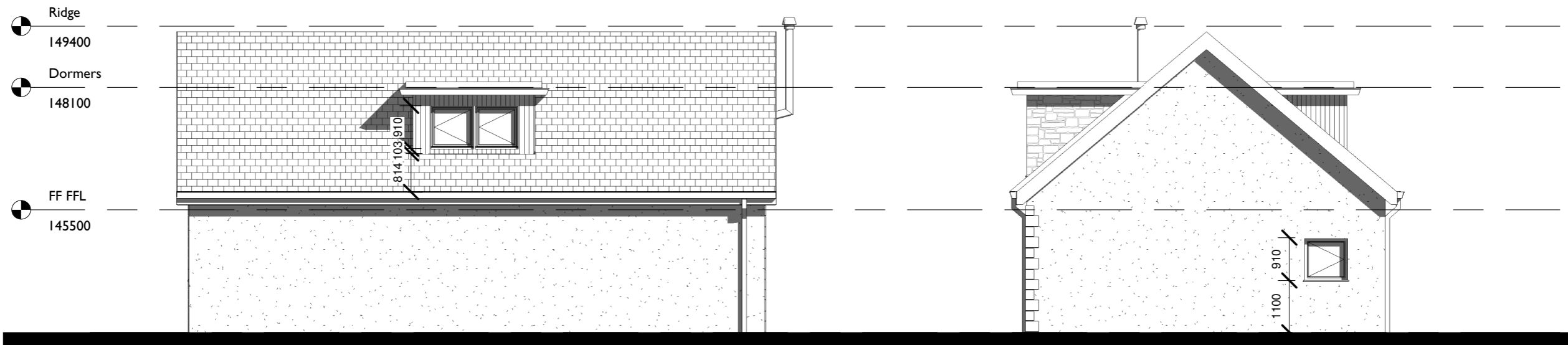


East

1 : 100

South

1 : 100



West

1 : 100

North

1 : 100

Garage 2