
34 Parklands Gate, Bramhope, Leeds, LS16 9AG

SD-34 Parklands Gate Design and Access Statement

Issued 14th December 2023

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Design Intent.
Proposed development.

The proposed development will infill the current void at the rear of the property. The new development has a total new build area of 48 Square meters.

48 m²



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Design Intent. Proposed development.

The proposed development will provide additional living/work space for the clients and the clients mother.

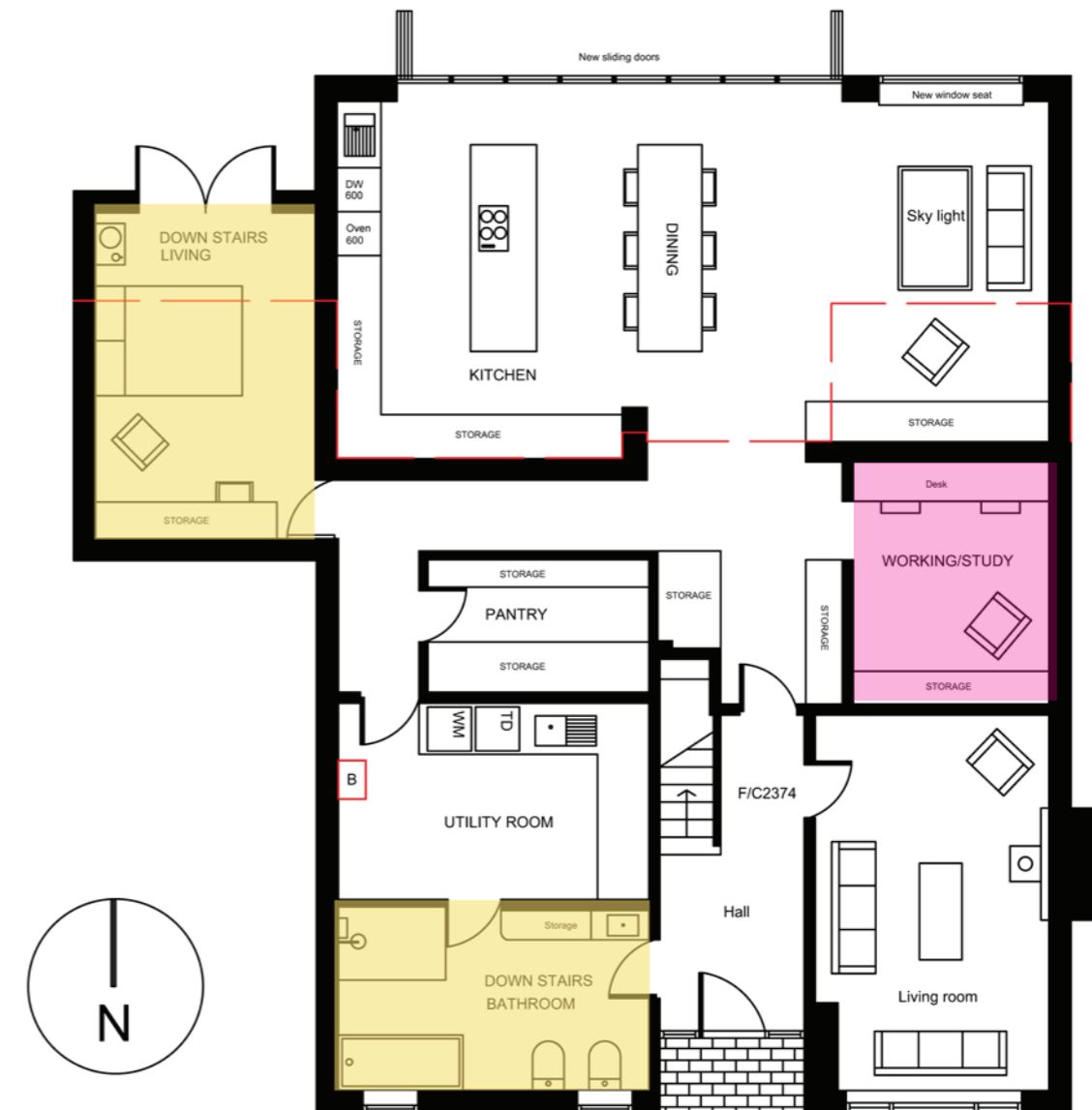
The development increases the area of the existing down stairs wc and transforms it into a larger bathroom for the mother and rest of the family. This is achieved by converting the existing garage into new accommodation.

The development will allow the mother to live down stairs and have a level of privacy from the rest of the house.

The development provides a larger family kitchen with access into the garden.

The development provides a dedicated working area for the client when working from home. The client works for the Local Authority and needs a private space to work due the nature of her work.

- New accommodation for the mother.
- Private working space.



GF Plan

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Design Intent.

To design a new contemporary rear composition.

A. Outdated 1960's pebble dash render on gable painted white to make rear elevation brighter and more contemporary.

B. Outdated white UPVC windows changed for modern black double glazed UPVC windows. Window openings to be the same.

C. Existing pitch roof to be removed.

D. New flat roof extension with roof light. Extension to be built from blockwork and finished with white render to match proposed white painted pebble dashed gable, creating a light contemporary elevation.

E. New black UPVC sliding and french doors.



Existing rear elevation

Proposed rear elevation

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Precedent Study

White rendered single storey rear extension.
Both with black bi-fold and french doors.



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Access

Access to the site is from Parklands Gate in front of the property. Parklands Gate is a substantial road that allows for two lanes of traffic and parking.

All deliveries will arrive by Parklands Gate and park directly outside number 34. All deliveries will be unloaded in a safe manner. Deliveries will arrive during the working day between 8 am and 5 pm. Disruption will be kept to a minimum.

All deliveries will be stored safely either in the property or rear garden. Materials stored in the rear garden will be covered.

Access to the rear garden is via a path to the side of the property.

The main contractor and tradesmen will park on the driveway.

The clients have allowed the contractor to use their WC and washing facilities during the build, so no additional port a loo is required.

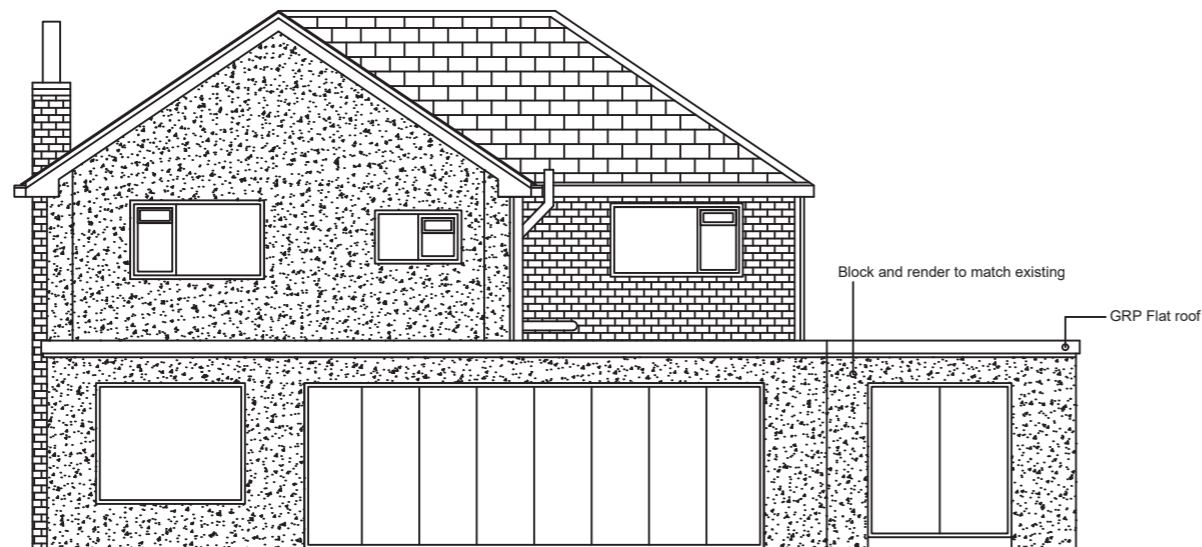
The build will operate during a regular working day. 8 am to 5 pm.

No tools will be left on site over night.

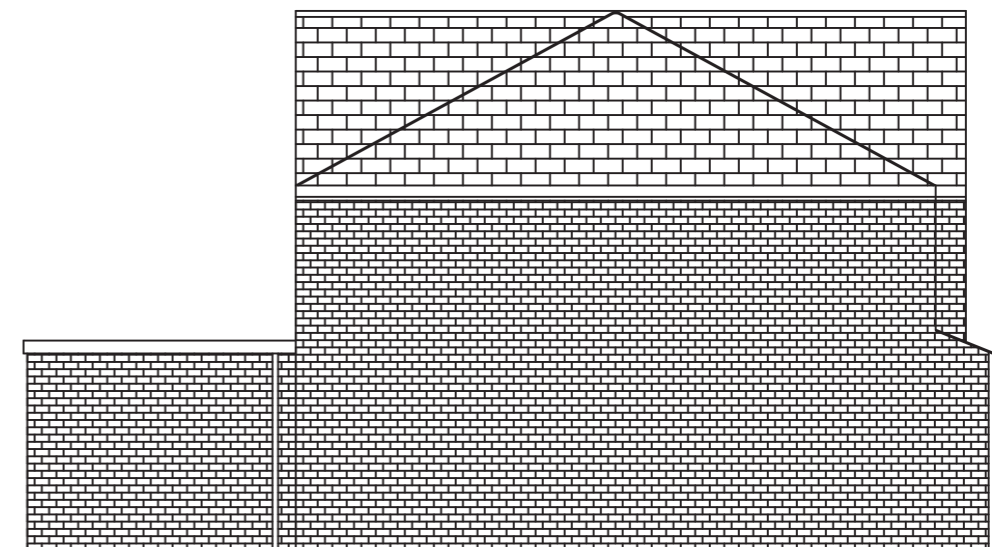


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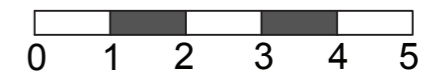
Drawings. Proposed Elevations at 1/100 @ A3



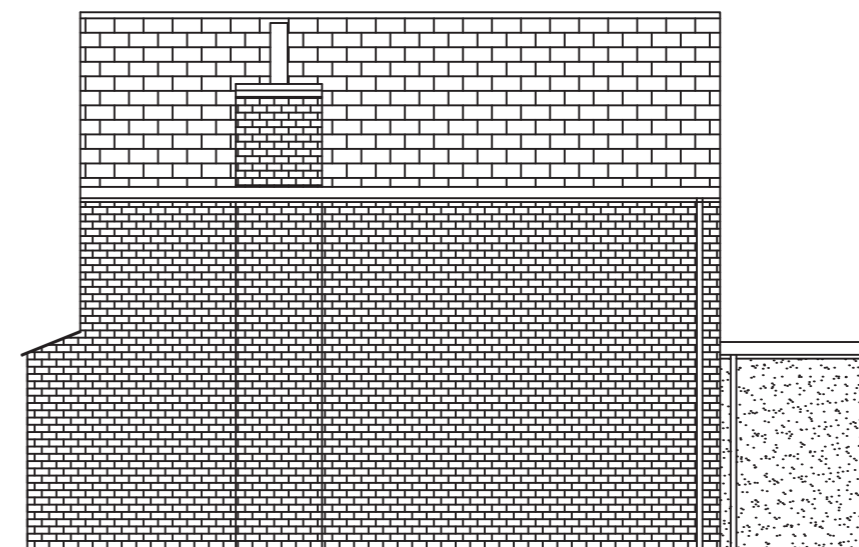
South Elevation



East Elevation



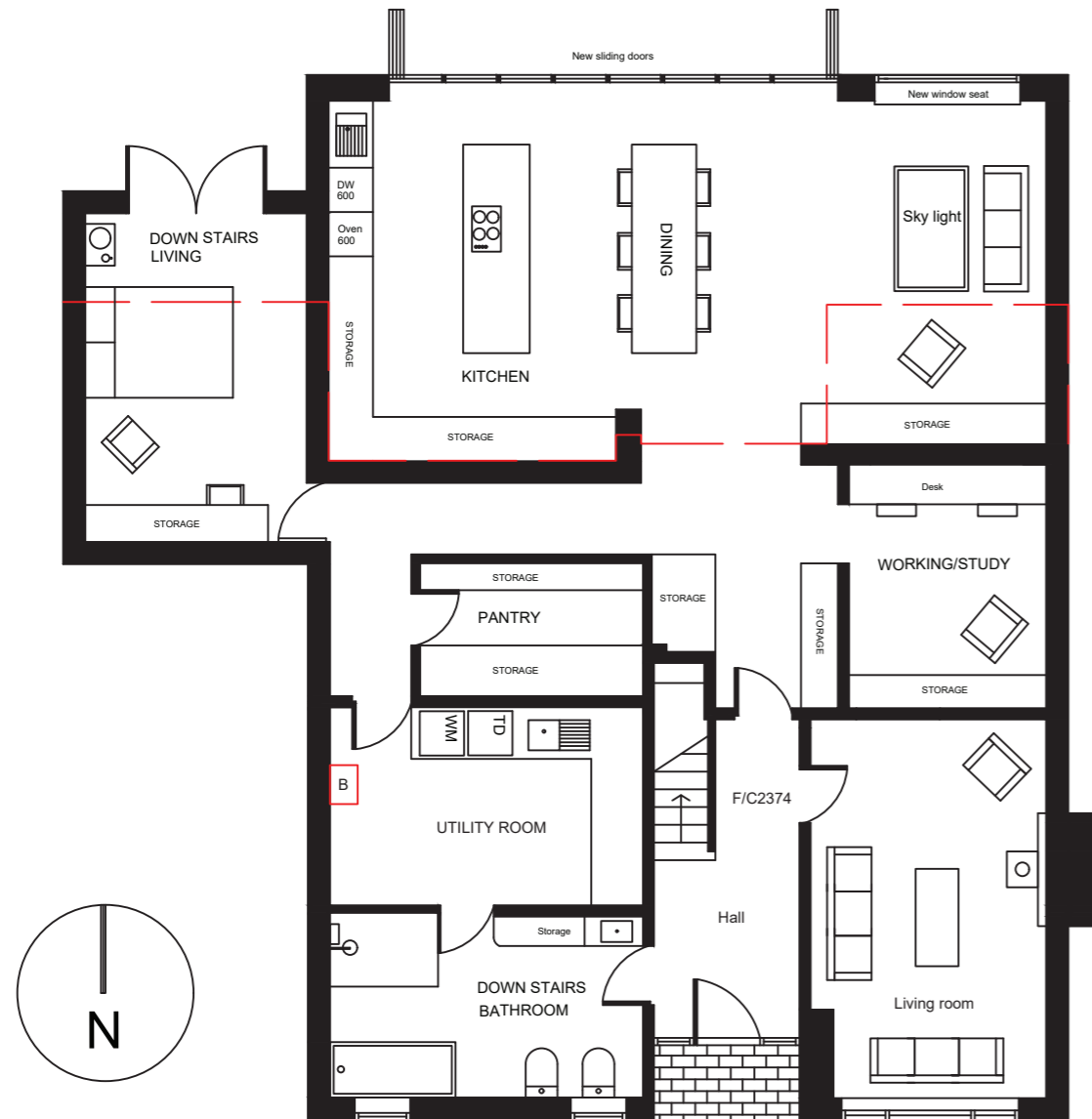
North Elevation



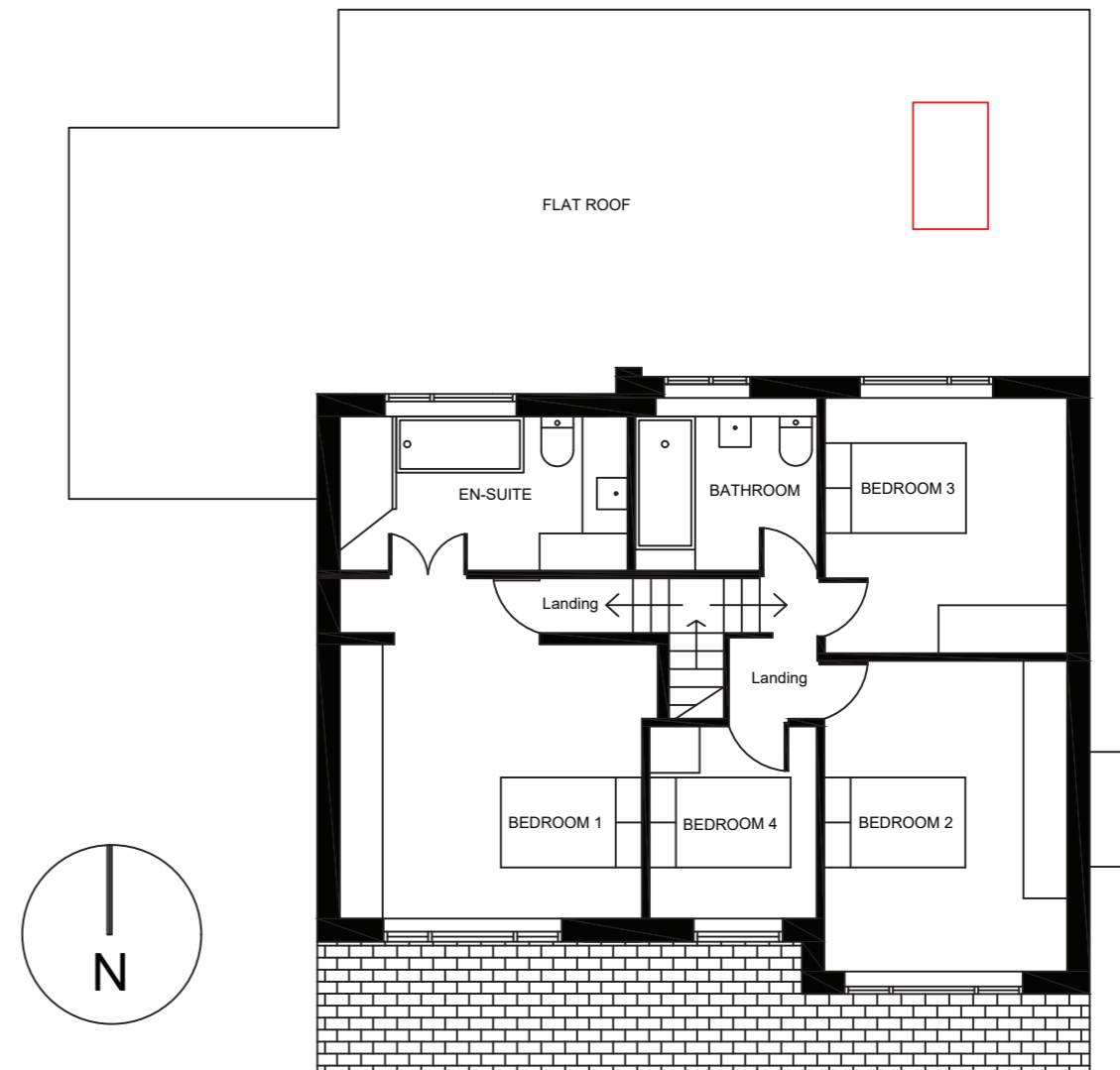
West Elevation

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Drawings. Proposed Plans at 1/100 @ A3



GF Plan



FF Plan

