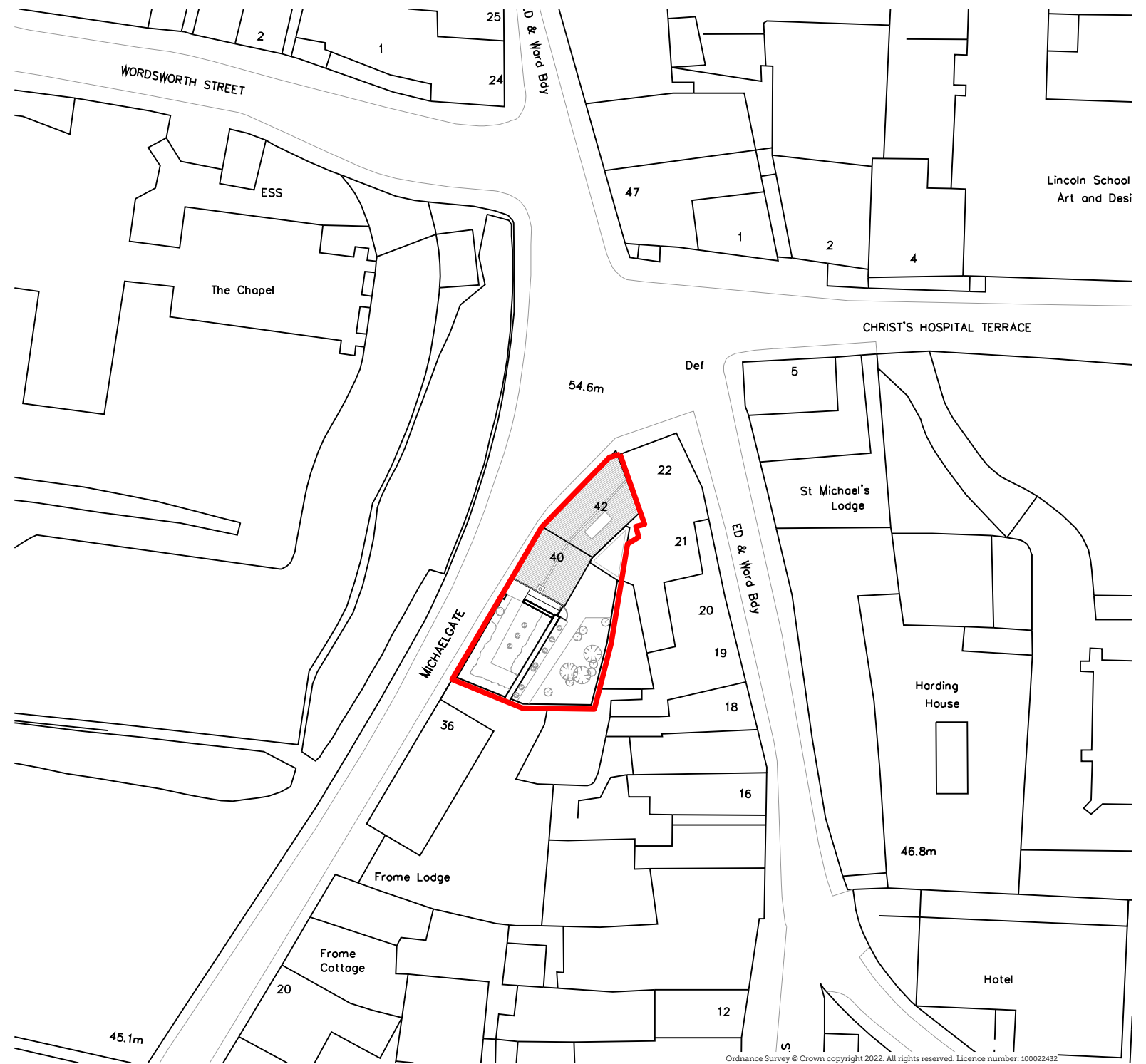


01 | SITE LOCATION PLAN

Scale 1:1250 @ A3

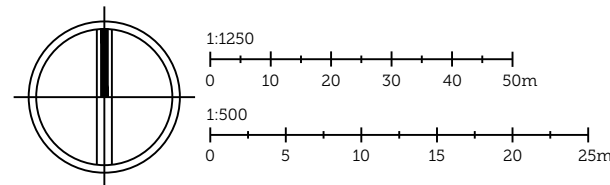
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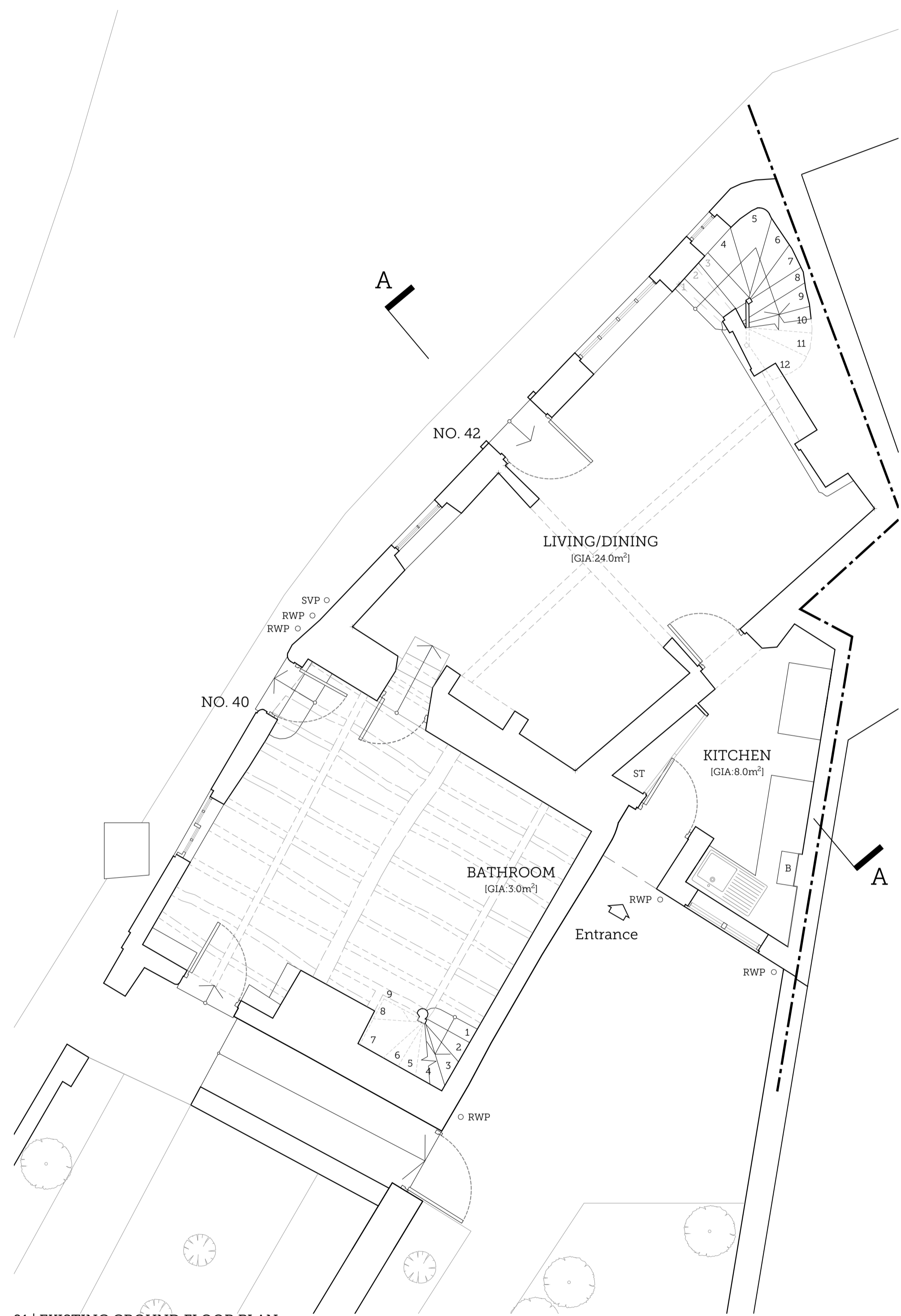
02 | PROPOSED BLOCK PLAN

Scale 1:500 @ A3

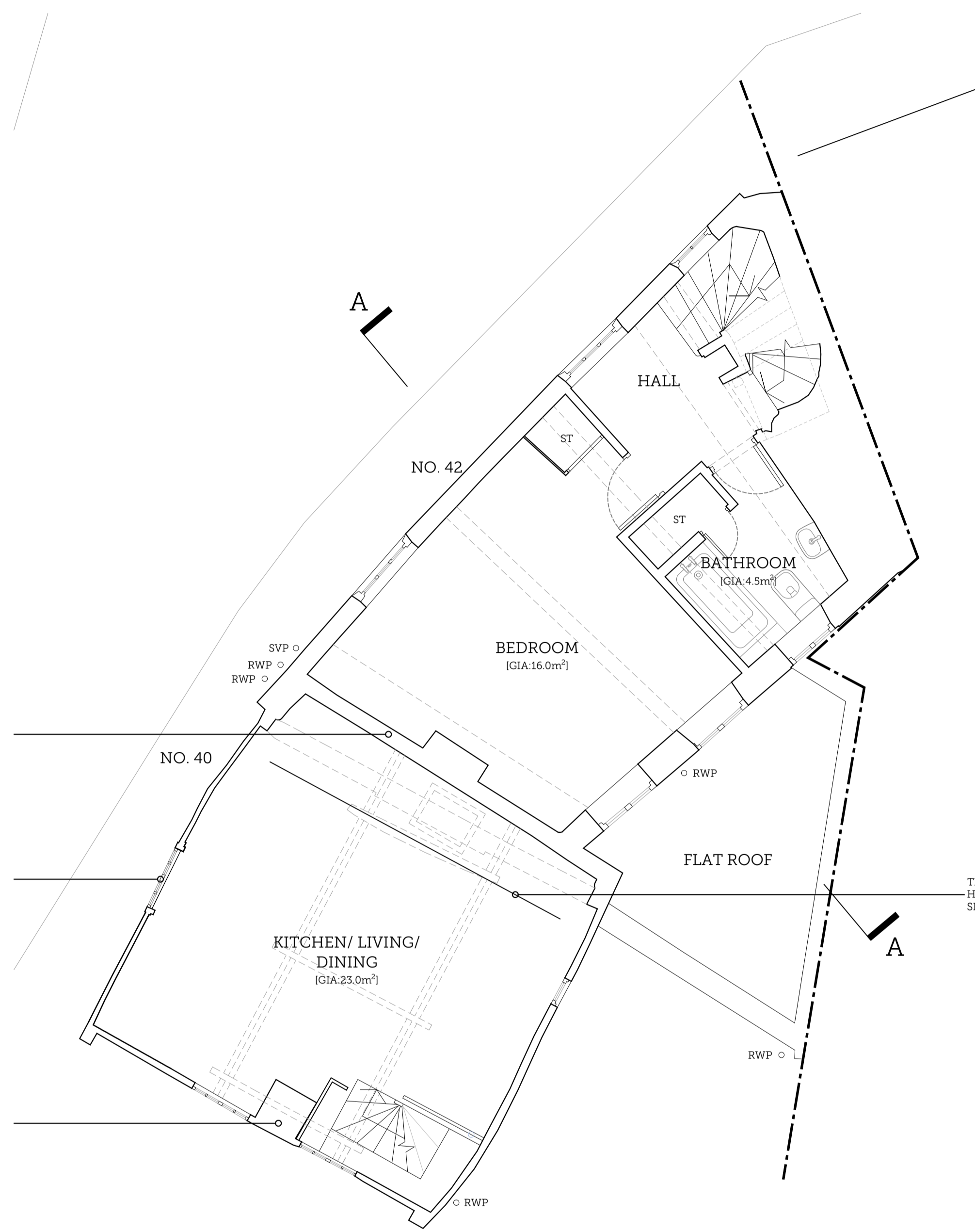
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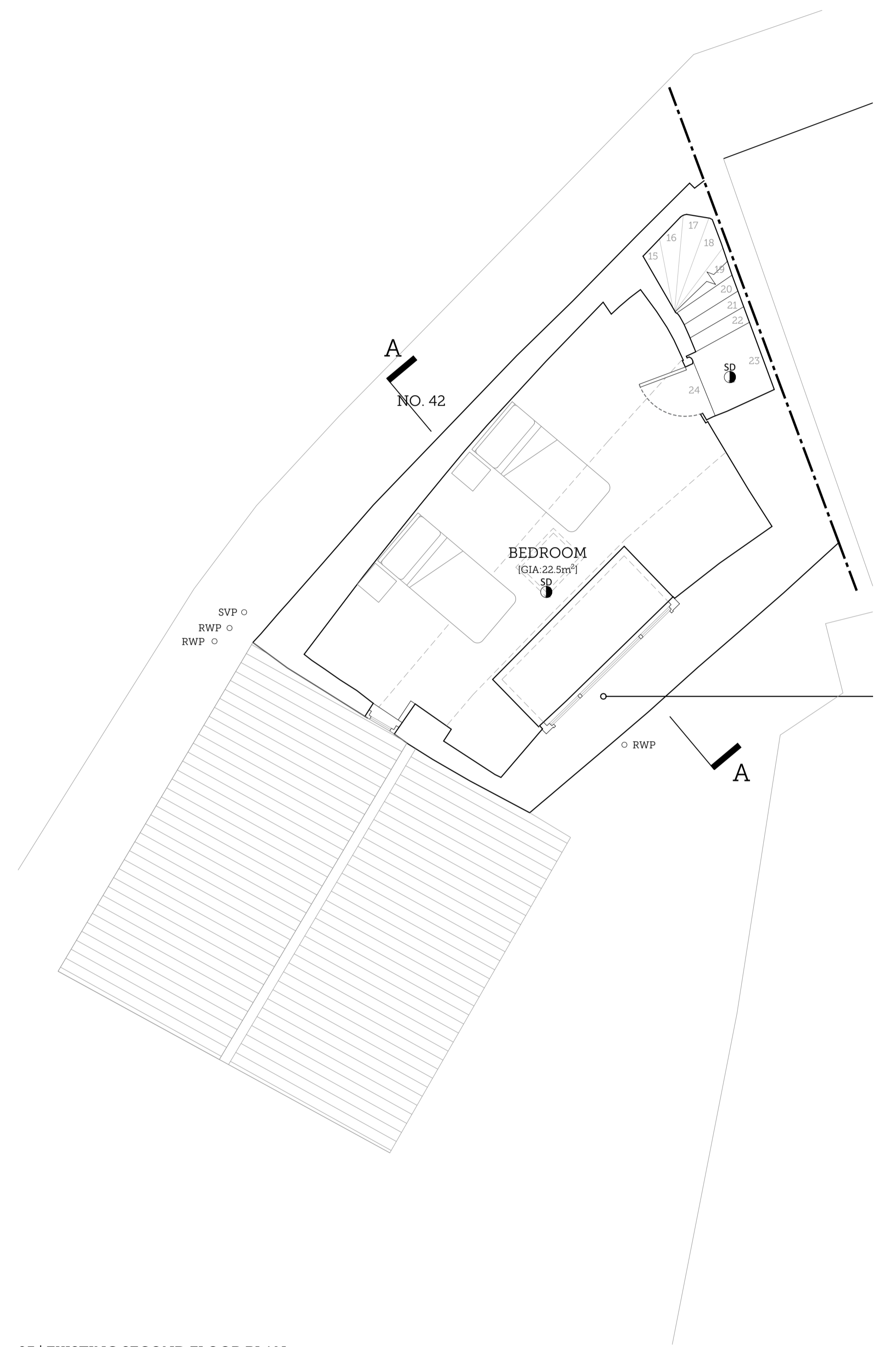
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| PROJECT TITLE:<br>40-42 MICHAELGATE, LINCOLN      |                |                           |                           | <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b><br>Lodge Farm Barns<br>Skendleby, Spilsby<br>Lincolnshire, PE23 4QF<br>01754 890089<br>projects@scorerhawkins.co.uk<br>www.scorerhawkins.co.uk |
| DRAWING TITLE:<br>SITE LOCATION PLAN & BLOCK PLAN |                |                           |                           |   |
| DRAWING NO:<br>2386-OS                            | REVISION:<br>- | ISSUE DATE:<br>04/12/2023 | SCALE:<br>1:1250<br>1:500 |   |



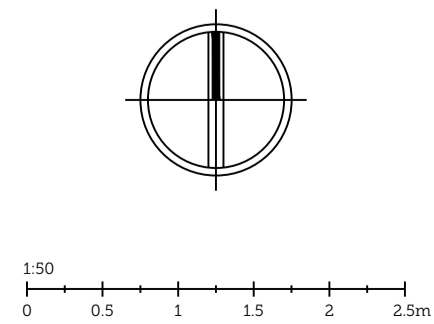
01 | EXISTING GROUND FLOOR PLAN  
Scale 1:50 @ A1



02 | EXISTING FIRST FLOOR PLAN  
Scale 1:50 @ A1



03 | EXISTING SECOND FLOOR PLAN  
Scale 1:50 @ A1



| PLANNING       |           |   |        |
|----------------|-----------|---|--------|
| PROJECT TITLE: |           | 40-42 MICHAELGATE,<br>LINCOLN   |        |
| DRAWING TITLE: |           | EXISTING FLOOR PLANS  |        |
| DRAWING NO:    | REVISION: | ISSUE DATE:   | SCALE: |
| 2386-EX01      | -         | 04/12/2023  | 1:50   |
|                |           | <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b><br><small>Lodge Farm Barns<br/>Skendleby, Spilsby<br/>Lincolnshire, PE23 4QF<br/>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small> |        |



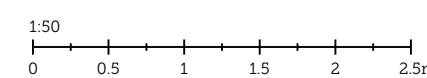
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Scale 1:50 @ A1



02 | EXISTING SOUTH ELEVATION  
Scale 1:50 @ A1

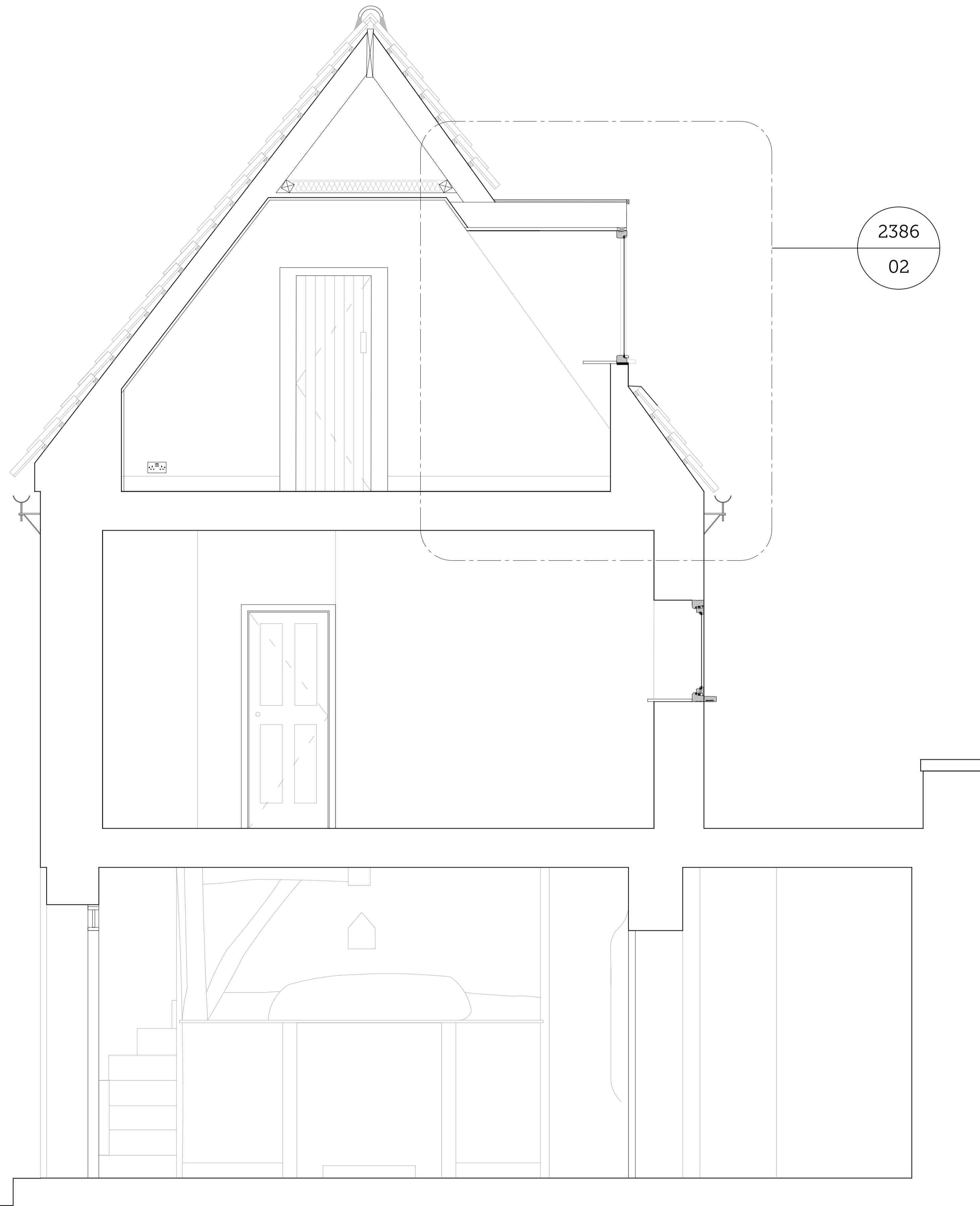


03 | EXISTING EAST ELEVATION  
Scale 1:50 @ A1

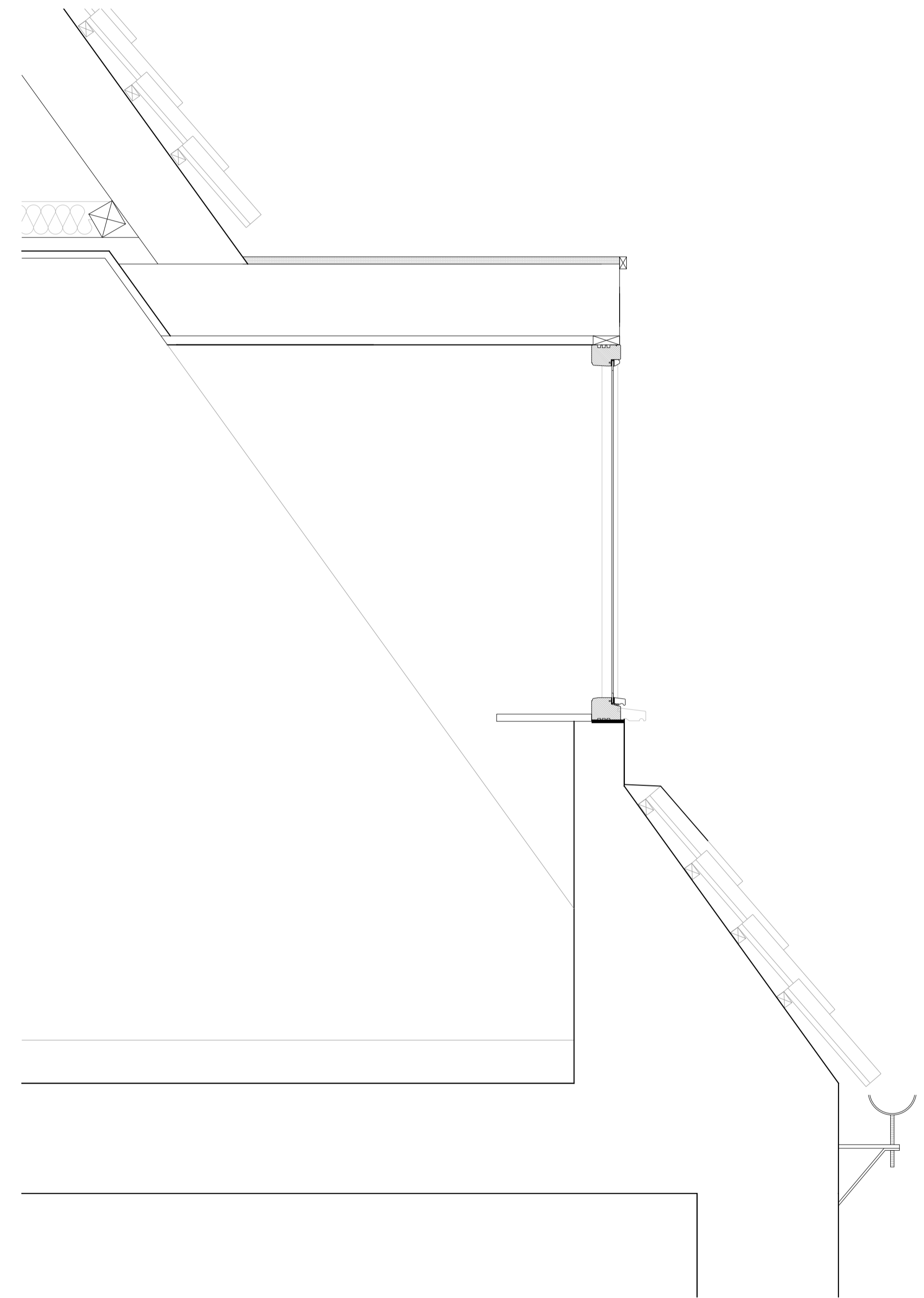
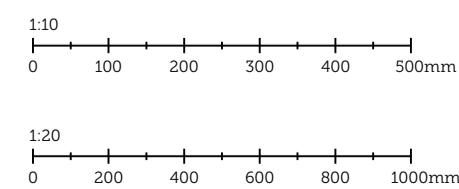


## PLANNING

|                |           |                               |        |   |
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| DRAWING TITLE: |           | EXISTING ELEVATIONS           |        |   |
| DRAWING NO:    | REVISION: | ISSUE DATE:                   | SCALE: | <small>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small>  |
| 2386-EX02      | -         | 04/12/2023                    | 1:50   |   |



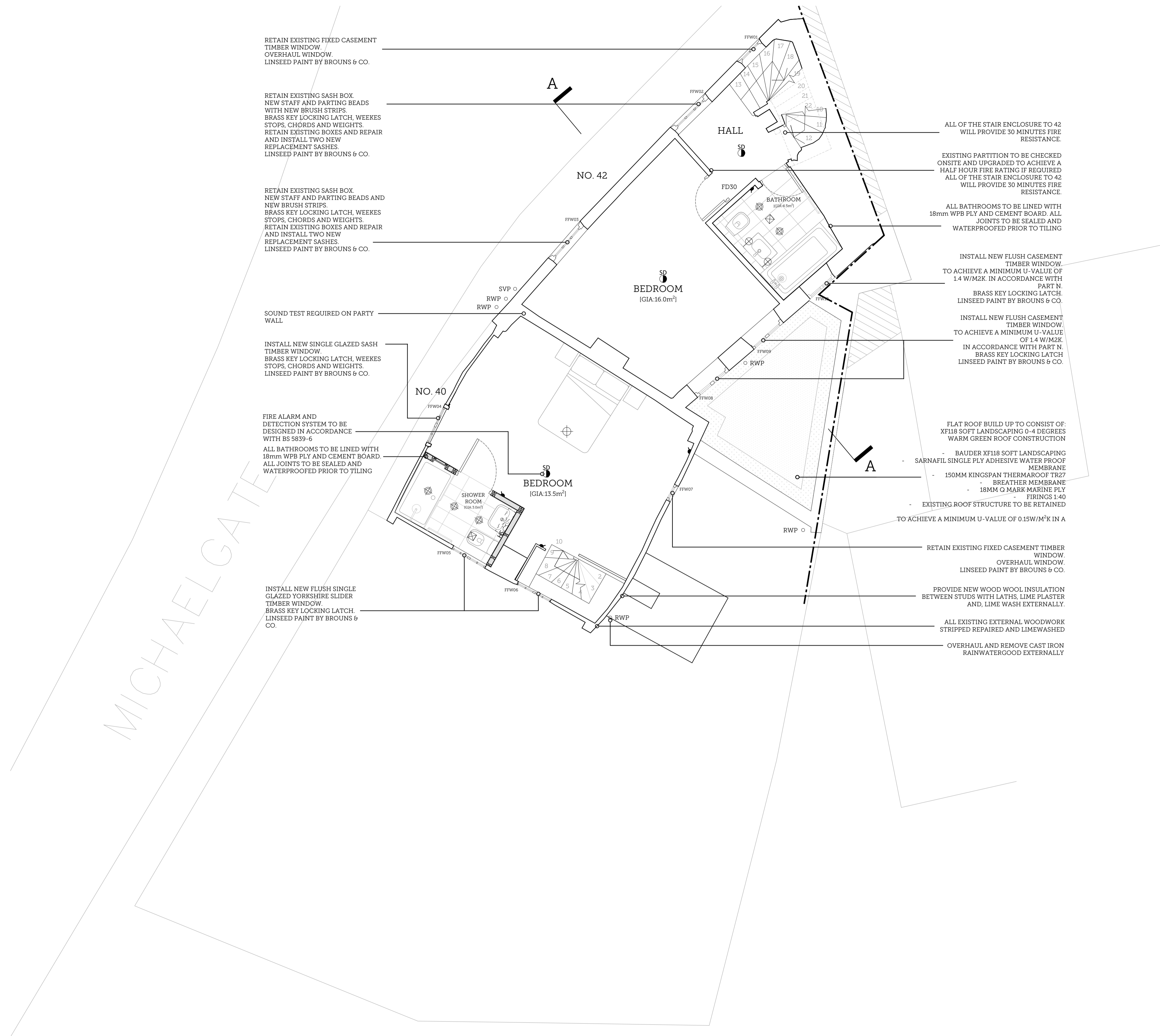
01 | EXISTING SECTION AA  
Scale 1:20 @ A1



02 | EXISTING SECOND FLOOR DORMER DETAIL  
Scale 1:10 @ A1

| PLANNING       |           |                               |              |   |
|----------------|-----------|-------------------------------|--------------|---|
| PROJECT TITLE: |           | 40-42 MICHAELGATE,<br>LINCOLN |              | <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b><br><small>Lodge Farm Barns<br/>Skendleby, Spilsby<br/>Lincolnshire, PE23 4QF<br/>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small> |
| DRAWING TITLE: |           | EXISTING SECTION AA DETAIL    |              |   |
| DRAWING NO:    | REVISION: | ISSUE DATE:                   | SCALE:       |   |
| 2386-EX03      | -         | 04/12/2023                    | 1:10<br>1:20 |   |





**1.00 STRUCTURAL | PART A**

1.01 Refer to structural engineers details.

**2.00 FIRE | PART B**

- 2.01 All compartment walls, partitions and floors to achieve 1 hour fire resistance in accordance with architects details.
- 2.02 All exposed structural elements to be either i) clad in 2no. layers of 12.5mm fireline board with taped and staged joints, or ii) painted with intumescent paint and certified in accordance with manufacturer's recommendations, all to achieve minimum 1 hour fire resistance.
- 2.03 All pipes, services passing through compartment partitions to be fitted with proprietary 1 hour fire collars to manufacturers recommendations.
- 2.04 All ventilation routes that pass through compartmental walls to be fitted with ES classified fire and smoke dampers
- 2.05 All pipes, ducts or services passing through compartment floors to be fitted with proprietary 1 hour fire collars to architects approval and in accordance with manufactures approval.
- 2.06 Proprietary cavity stops to be installed to all compartment wall and floor junctions in accordance with manufactures approval and in accordance with manufactures recommendations and to the local authority approval.
- 2.07 Emergency lighting to the communal stairs and hallways to be tested upto completion and certified by an NICEIC registered electrician to the local authority satisfaction.
- 2.08 Independent proprietary mains operated smoke alarms, with battery back up, to be fitted to architect's approval and in accordance with manufacturer's recommendations.
- 2.09 All doors to common parts and lobbies to be half hour fire resistant with self-closers, intumescent strips and smoke seals.
- 2.10 All internal doors to habitable rooms to be half hour fire resistant with self-closers and intumescent strips.

**3.00 THERMAL INSULATION | PART 1B**

- 3.01 All new ground slab construction to achieve a minimum u-value of 0.18
- 3.02 All new external cavity wall to achieve a minimum u-value of 0.17, typically constructed from:
  - 100mm local random coursed stone wall with 3:1 mix rhl 3.5 lime mortar and course sand, fixed back to
  - High density blockwork to engineers details;
  - 100mm cavity therm insulation by xtratherm;
  - High density blockwork to engineers details;
  - Render and skim
- 3.03 All new flat roof construction to achieve a minimum u-value of 0.15
- 3.04 All new pitch roof construction to achieve a minimum u-value of 0.16 if insulated at ceiling level or 0.16 if insulated at rafter level
- 3.05 All the above to be in accordance with architect's details, manufacturers' recommendations and local authority approval.

**4.00 SITE PREPARATION AND RESISTANCE TO CONTAMINATES AND MOISTURE | PART C**

- 4.01 All existing masonry to be tested for the presence of damp, review any need for remedial work if high levels present.
- 4.02 All existing and new timbers to be treated against wood-boring insects and fungal attack
- 4.03 Vertical dpcs to all new windows and doors and to be sealed around perimeter with silicone sealant

**5.00 TOXIC SUBSTANCES | PART D**

- 5.01 If insulating material is inserted into a cavity wall, reasonable precaution shall be taken to prevent the subsequent permeation of any toxic fumes from the material into any part of the building occupied by people

**6.00 SOUND INSULATION | PART E**

- 6.01 All compartment walls, partitions and floors to be constructed in accordance with architect's details to achieve sound insulation in accordance with building regulations part e and odpm robust standard details.
- 6.02 All floors joists to be hung on proprietary joist hangers to prevent flanking transmission.
- 6.03 All pipes, ducts or services passing through compartment floors and partitions to be wrapped in 25mm unfaced mineral wool and enclosed within 12.5mm plasterboard boxing.
- 6.04 Provision to be included for sound testing to residential accommodation upon completion, in accordance with local authority requirements.

**7.00 VENTILATION | PART F**

- 7.01 Openable window area to habitable rooms to be minimum of 1/20th of the floor area where possible.
- 7.02 Background ventilation to be provided to all habitable rooms by wear stops rather than trickle vents.
- 7.03 All kitchens to be provided with mechanical ventilation at a rate of 30 litres per second.
- 7.04 All bathrooms and WC to be provided with mechanical ventilation at a rate of 15 litres per second.
- 7.05 All bathrooms and WC without openable windows to be provided with mechanical ventilation linked to the main light switch with a 15 minute overrun and external isolating switch.

**8.00 COLD WATER SUPPLY | PART G**

- 8.01 Cold water supply:
  - There must be a suitable installation for the provision of:
    - Wholesome water to any place where drinking is drawn off;
    - Wholesome water or softened wholesome water to any washbasin or bidet provided in or adjacent to a room containing a sanitary convenience;
    - Whole some water or softened wholesome water to any washbasin, bidet, fixed bath or shower in a bathroom; and
    - Wholesome water to any sink provided in any area where food is prepared.
  - Where must be a suitable installation for the provision of water of suitable quality to any sanitary convenience fitted with a flushing device.

01 | PROPOSED FIRST FLOOR PLAN  
Scale 1:50 @ A1

**GENERAL NOTES**

1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor.
2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately.
3. All specified items are to be installed in accordance with their manufacturer's recommendations.
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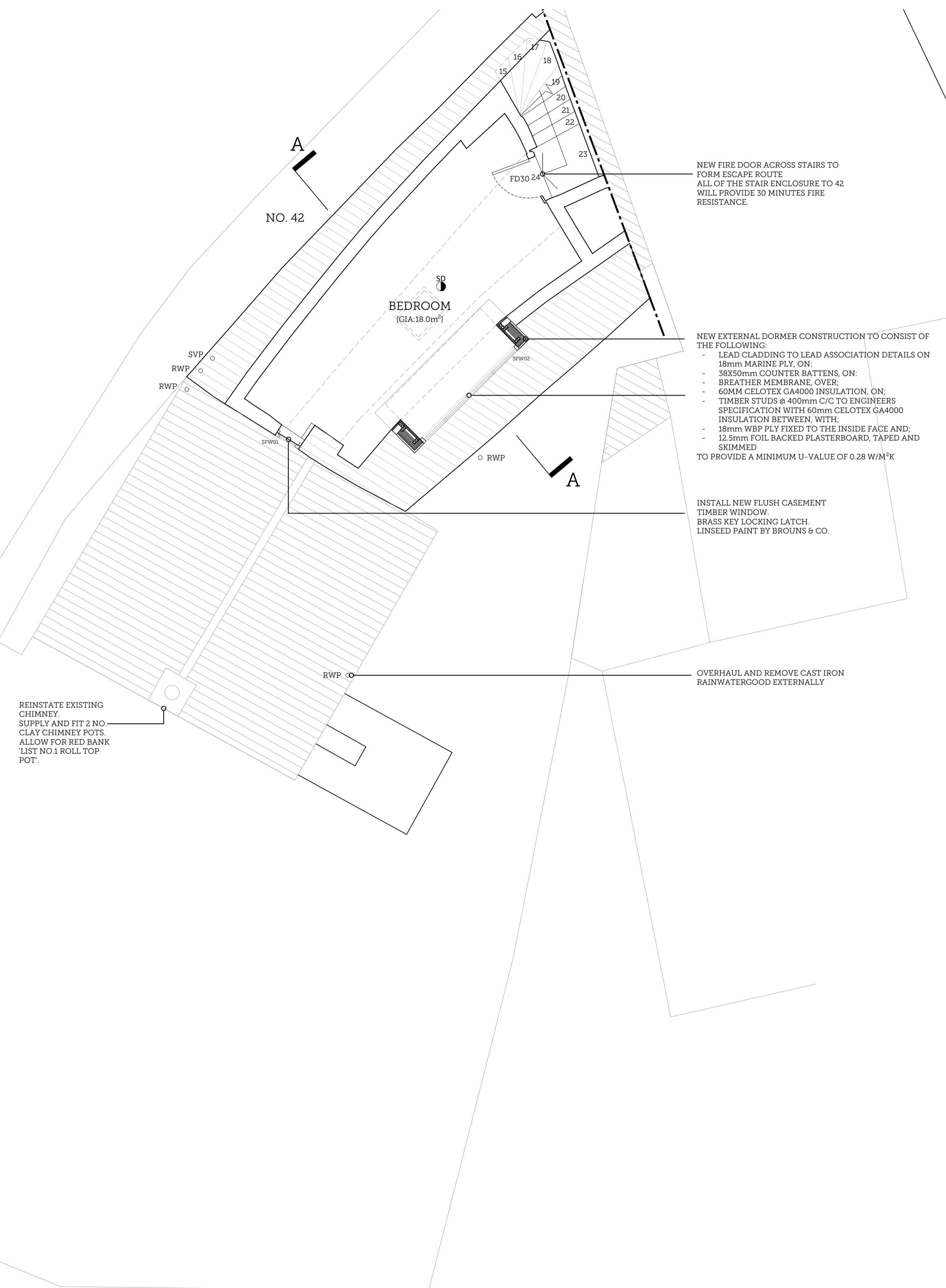
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| REV. | ISSUE DATE | DRAWN | REVISION NOTES                          |
|------|------------|-------|---|
| A    | 26.10.2023 | MA    | FIRE PLAN                               |
| B    | 30.10.2023 | MA    | FIRE PLAN                               |
| C    | 13.11.2023 | MA    | FFW07 CHANGED TO RETAIN EXISTING WINDOW |
| D    | 04.12.2023 | MA    | ALTERATIONS TO 42 MICHAEL GATE          |
|      |            |       |   |
|      |            |       |   |
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|--|-----------|---|--------|
| <h1>PLANNING</h1>                        |           |   |        |
| PROJECT TITLE:                           |           | 40-42 MICHAEGATE, LINCOLN   |        |
| DRAWING TITLE:                           |           | PROPOSED FIRST FLOOR PLAN   |        |
| DRAWING NO:                              | REVISION: | ISSUE DATE:   | SCALE: |
| 2386-PP02                                | D         | 04/12/2023  | 1:50   |
| <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b> |           | Lodge Farm Barns<br>Skendleby, Spilsby<br>Lincolnshire, PE23 4QF        |        |
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MICHAELGATE



**15.00 ELECTRICAL SAFETY | PART F**

- 15.01 All electrical installations to be tested upon completion by a nicea registered electrician.
- 15.02 As-built electrical schematic plans to be provided upon completion for inclusion within the building 'operation and maintenance manuals'
- 15.03 Electrical detailed design to be prepared by the main contractor for the architects approval.
- 15.04 Allow for power supplies to be following kitchen appliances:
  - i) Fridge/freezer
  - ii) Electric ovens
  - iii) Extractor
  - iv) Electric hob (induction)
  - v) Microwave oven
  - vi) Washer/dryer
  - vii) Dishwasher

- 15.05 Allow for power supply and wiring to boilers, including programmer and room heatmiser thermostats.
- 15.06 Allow for power supply to external isolating switch to bathroom extract fans.
- 15.07 Allow for lno. shaver socket to each bathroom.
- 15.08 All lighting to bathrooms above baths, shower and whb's to IP rated
- 15.09 Allow for wiring for terrestrial and cable television.
- 15.10 Allow for telephone wiring to hub point
- 15.11 100% of all lighting will incorporate a rated energy efficient luminaries.

**16.00 SECURITY | PART G**

- 16.01 Reasonable provision must be made to resist unauthorised access to-
  - Any dwelling, and
  - Any part of a building from which access can be gained to a flat within the building

**17.00 PHYSICAL INFRASTRUCTURE FOR HIGH SPEED ELECTRONIC COMMUNICATIONS NETWORKS | PART H**

- 17.01 Building work must be carried so as to ensure that the building is equipped with a high-speed-ready in-building physical infrastructure, up to a network termination point for high-speed electronic communications networks
- 17.02 Where the work concerns a building containing more than one dwelling, the work must be carried out so as to ensure that the building is equipped in addition with a common access point for high-speed electronic communications networks.

**18.00 INFRASTRUCTURE FOR THE CHARGING OF ELECTRONIC VEHICLES | PART I**

- 18.01 A new residential building with associated parking must have access to electric vehicle charge points
- 18.02 The number of associated parking spaces which have access to electric vehicle charge points must be
  - The total number of associated parking spaces, where there are fewer associated parking spaces than there are dwellings contained in the residential building, to
  - The number of associated parking spaces that is equal to the total number of dwellings contained in the residential building, where there are the same number of associated parking spaces as, or more associated parking spaces than, there are dwellings
- 18.03 Cable routes for electric vehicle charge points must be installed in any associated parking spaces which do not have an electric vehicle charge point where
  - A new residential building has more than 10 associated parking spaces; and
  - There are more associated parking spaces than there are dwellings contained in the residential building

**19.00 MATERIALS AND WORKMANSHIP | PART J**

- 19.01 Building work shall be carried out-
  - With adequate and proper materials which:
  - Are appropriate for the circumstances in which they are used
  - Are adequately mixed or prepared, and
  - Are applied, used or fixed so as adequately to perform the functions for which they are designed; and
  - In workmanlike manner

**20.00 DOORS AND GLAZING**

- 20.01 All windows to be double or triple glazed sealed units made up from minimum 4 mm plantflux float clear glass with a 28mm black spacer sandwiched by 4mm planitherm float clear with an argon filled cavity, to achieve a minimum u-value of 1.6 to specialist glaziers details
- 20.02 All windows to be fitted with integrated overhead trickle ventilators.
- 20.05 Toughened glass is to be fitted to all doors and side panels between finished floor level and 1500mm above ffl. all windows between finished floor level and 800mm above ffl must also be toughened in accordance with part n and to the local authority's approval.
- 20.06 All opening lights and doors are to be fitted with ironmongery with integrated locks to the architects approval.
- 20.07 All opening lights are to be fitted with friction hinges, operable to allow external cleaning from inside.
- 20.08 All new external doors are to achieve a minimum u value of 1.6.

01 | PROPOSED SECOND FLOOR PLAN  
Scale 1:50 @ A1

**GENERAL NOTES**

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| REV. | ISSUE DATE | DRAWN | REVISION NOTES                |
|------|------------|-------|-------------------------------|
| A    | 30.10.2023 | MA    | FIRE PLAN                     |
| B    | 04.12.2023 | MA    | ALTERATIONS TO 42 MICHAELGATE |
|      |            |       |                               |
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## PLANNING

|                |           |                             |        |
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| PROJECT TITLE: |           | 40-42 MICHAEGATE, LINCOLN   |        |
| DRAWING TITLE: |           | PROPOSED SECOND FLOOR PLAN. |        |
| DRAWING NO:    | REVISION: | ISSUE DATE:                 | SCALE: |
| 2386-PP03      | A         | 04/12/2023                  | 1:50   |

**SCORER HAWKINS ARCHITECTS**

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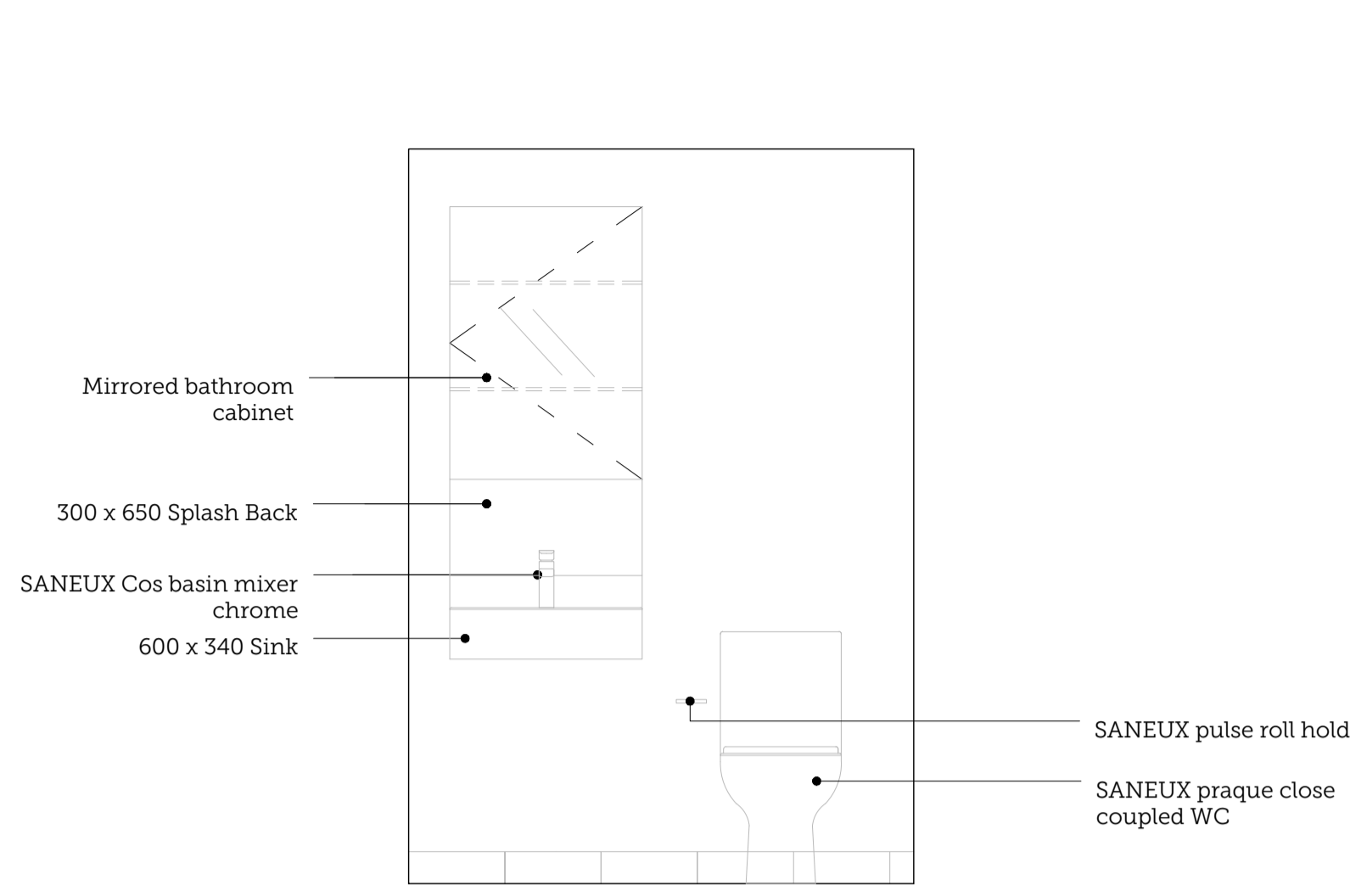
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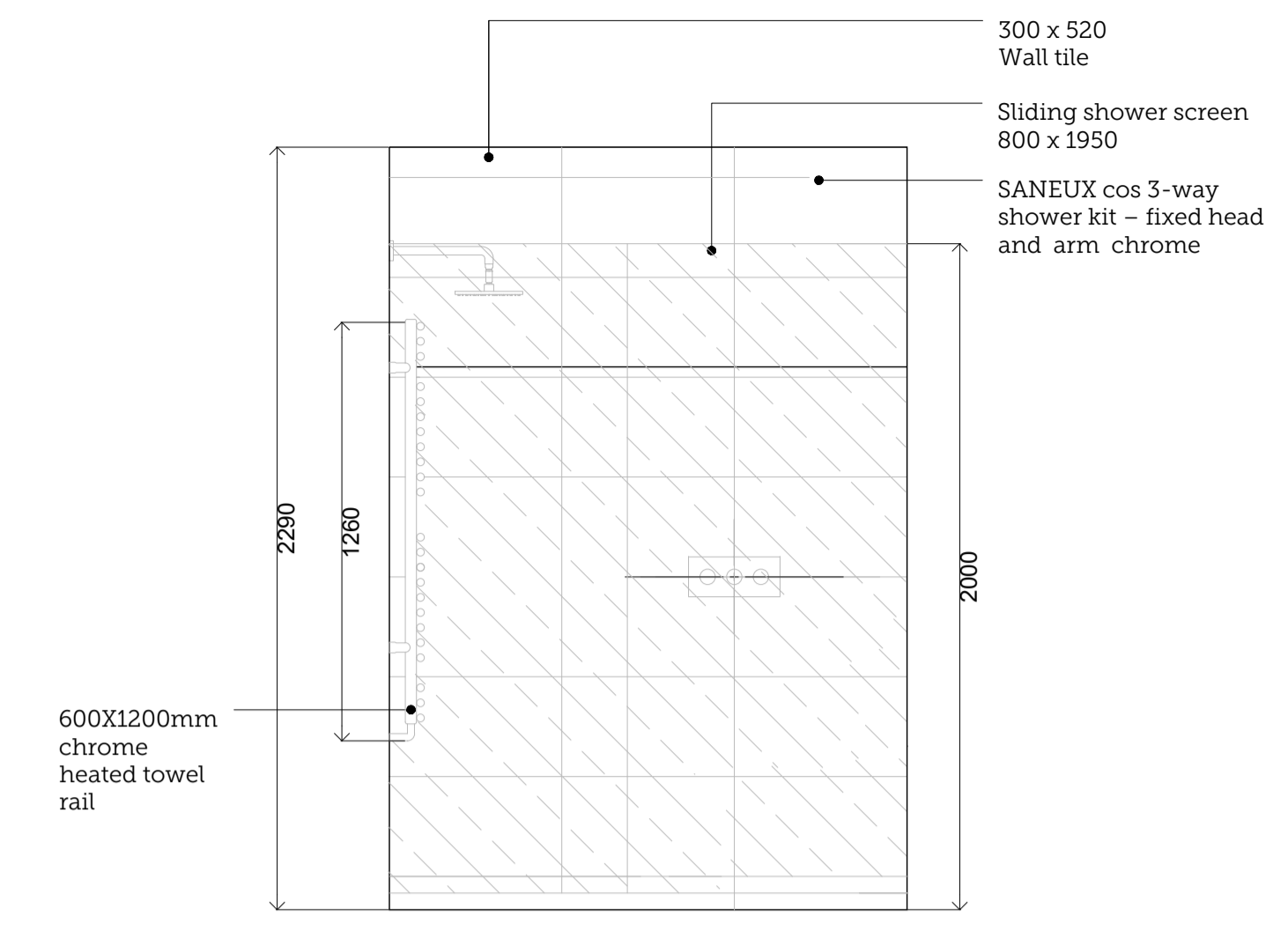




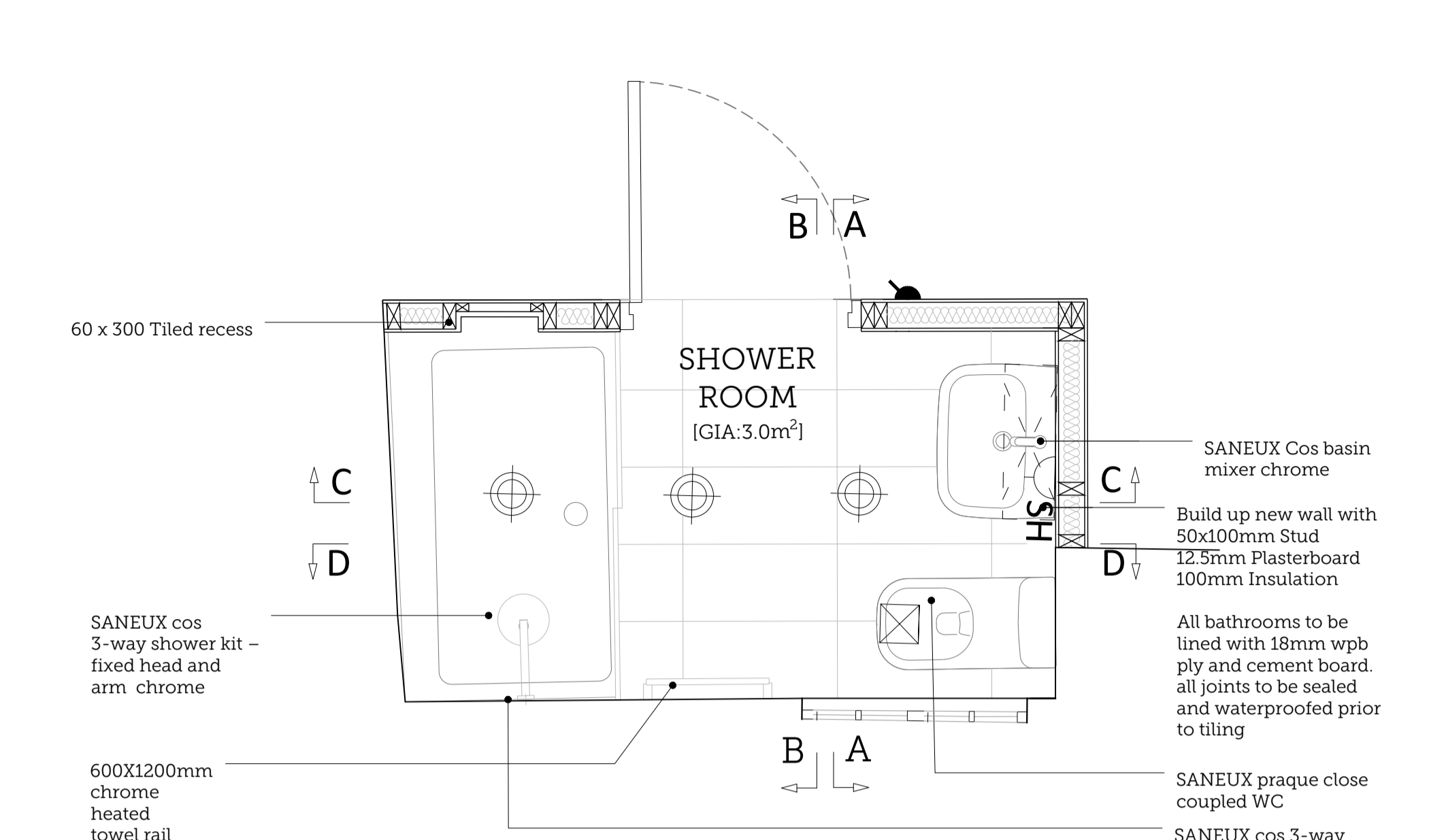




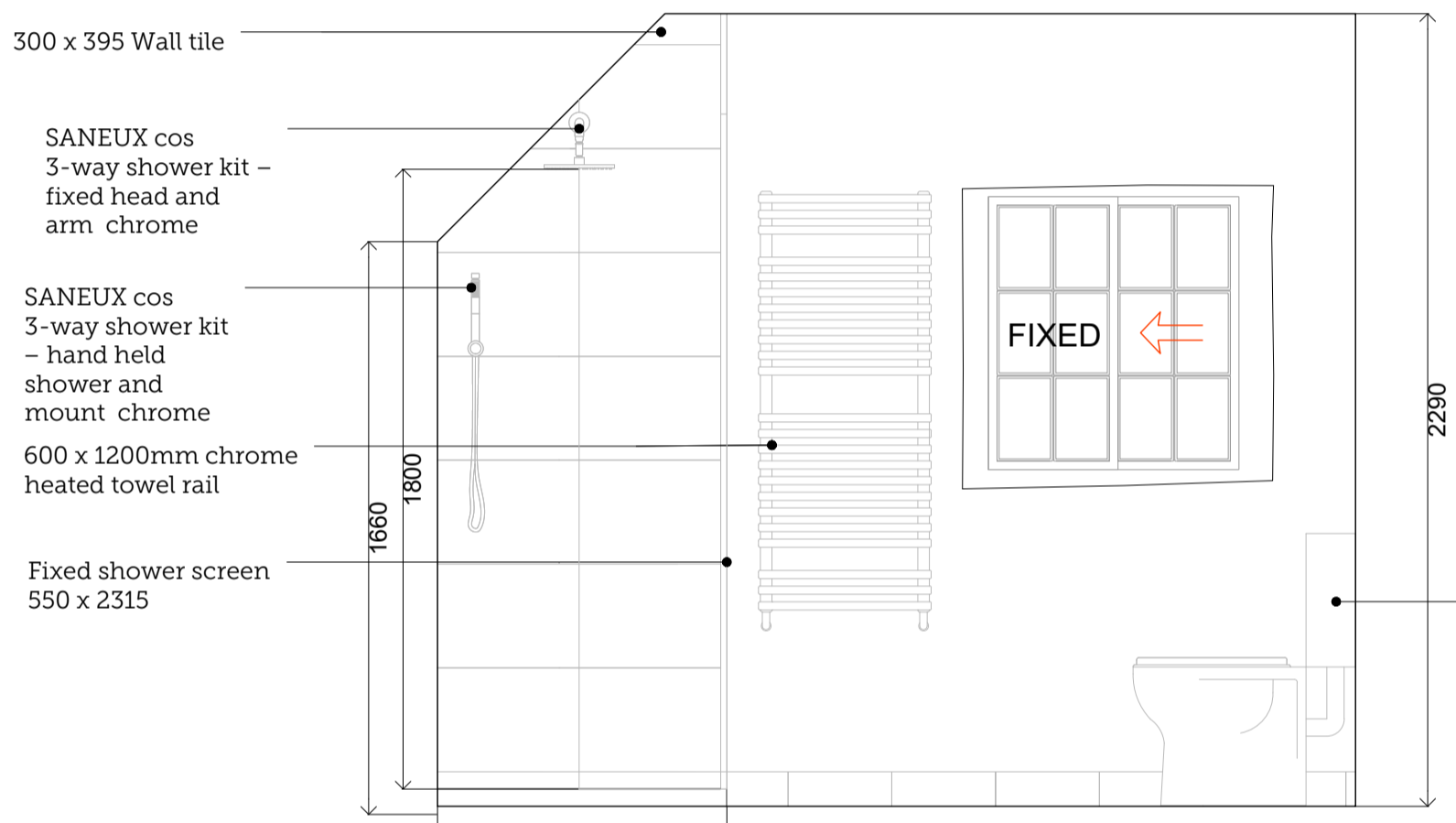
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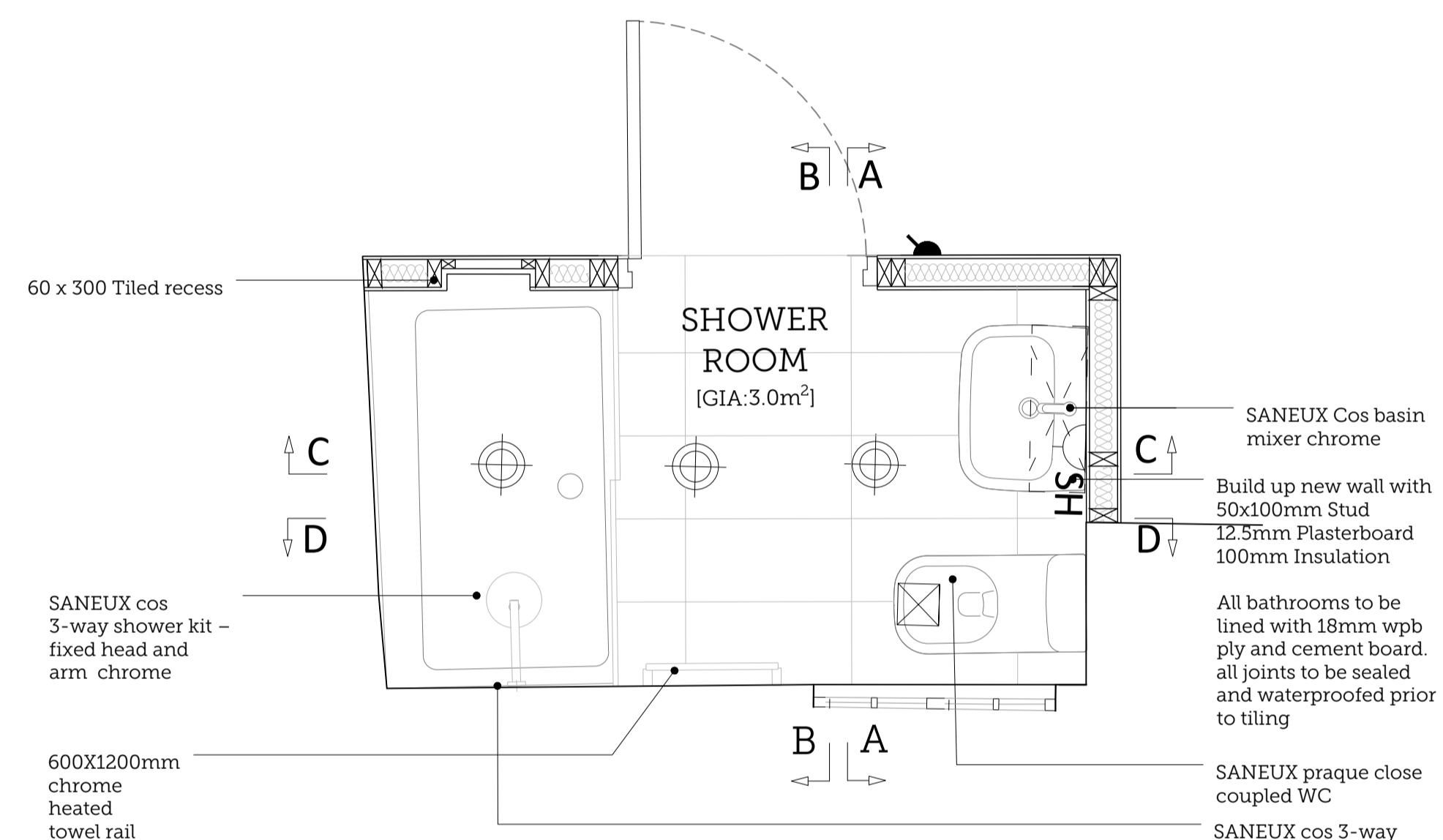
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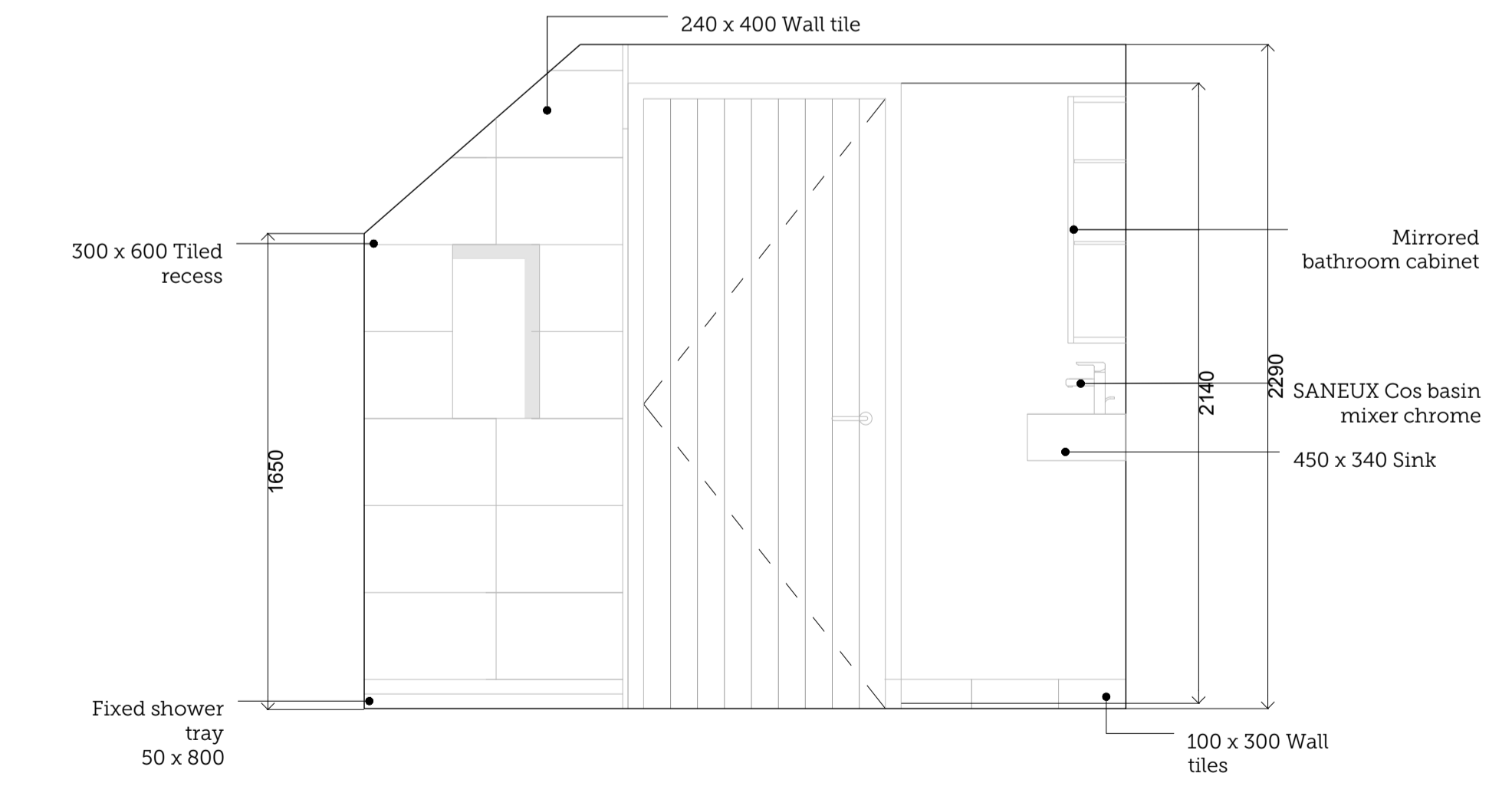
01 | PROPOSED GROUND FLOOR SHOWER ROOM M&E  
Scale 1:20 @ A1



05 | PROPOSED SECTION DD  
Scale 1:20 @ A1



01 | PROPOSED GROUND FLOOR SHOWER ROOM  
Scale 1:20 @ A1



04 | PROPOSED SECTION CC  
Scale 1:20 @ A1

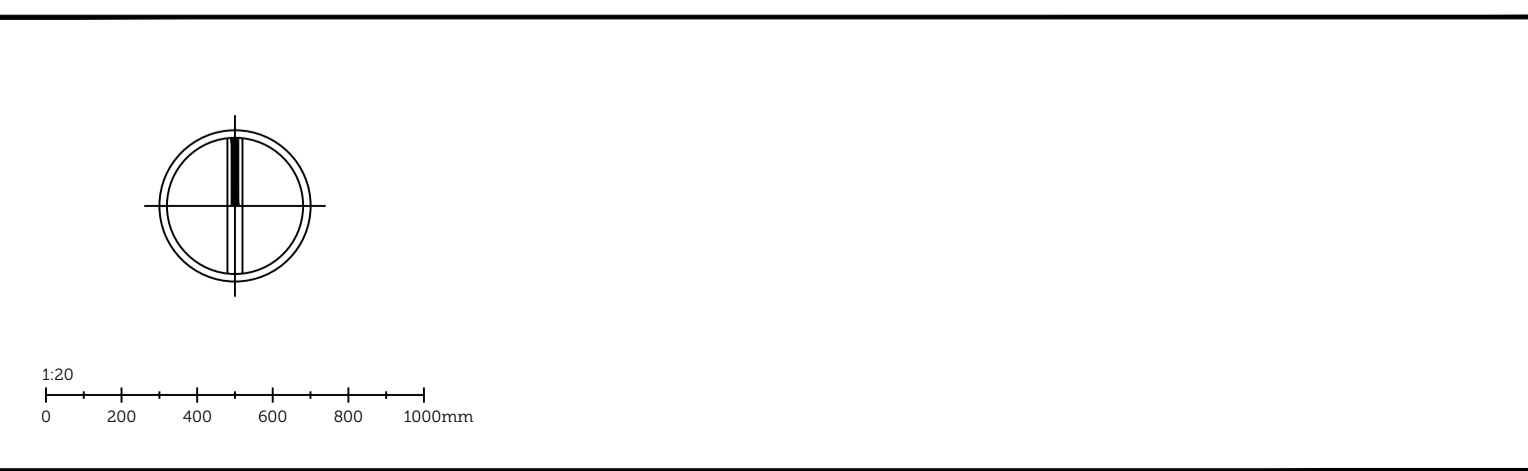
**NOTES**

- All tiled walls to bath and shower to be lined with 12mm Hardiebacker 500 cement based board or similar approved. Plasterboard to these walls omitted. All joints to be taped and filled in accordance with manufacturer's recommendations.
- All boxing-out to conceal WC cistern to consist of 12mm Hardiebacker 500 cement based board or similar approved (Use 18mm wbp ply behind sink and wc) on 50x50mm s/w tanalised battens.
- 'Ditra matting' by schluter systems (T:01530.813.396), or similar approved, to be used beneath all floor tiles laid over timber sub-structure.
- FLOOR TILES TO TERMINATE CENTRE LINE OF DOOR. floor tiles to terminate against stainless steel angle, and be flush with floor finishes to adjacent room\*.
- All wall-hung WC's and cisterns to be supported on proprietary steel frame by Gerberit or similar approved, securely fixed to walls and floor.
- All basins mounted directly on s/w noggins.
- Cross-bracing to boxing out to concealed cistern.
- 3 coats of matt sealer to all solid or veneered MDF.
- All wall, partition and floor junctions to be pointed, vertically and horizontally, with waterproof mastic sealer prior to tiling.
- All wall/partition junctions with shower trays and baths to be pointed with waterproof mastic sealer; baths to be filled with water prior to pointing.
- All ducting/boxing to bathrooms to be set out to suit tile dimensions; tile samples to be obtained for use on site during setting out.
- Panels of sample floor and wall tiling to be prepared for architect's approval prior to commencement of bathroom joinery; sample panels to include floor/wall skirting junction; mosaic/tile vertical 90° internal and external junction.
- Bathroom cabinets to be constructed to accommodate mirrored finish flush with tile finishes.
- WC's and WHB's to be removed following first fix installation and tiling to be continuous behind; WC's and WHB's to be refixed following tiling with an appropriate packing piece to avoid cracking tiles.
- All limestone tiles to be presealed with lithofin stainstop W (1 coat), when dry and after grouting, lithofin stainstop MN (3 coats).
- Matching controls to towel warmer, including projecting sections of pipework. ie Chrome, Brass or steel

**GENERAL NOTES**

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| REV. | ISSUE DATE | DRAWN | REVISION NOTES                |
|------|------------|-------|-------------------------------|
| A    | 04.12.2023 | MA    | ALTERATIONS TO 42 MICHAELGATE |
|      |            |       |                               |
|      |            |       |                               |
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## PLANNING

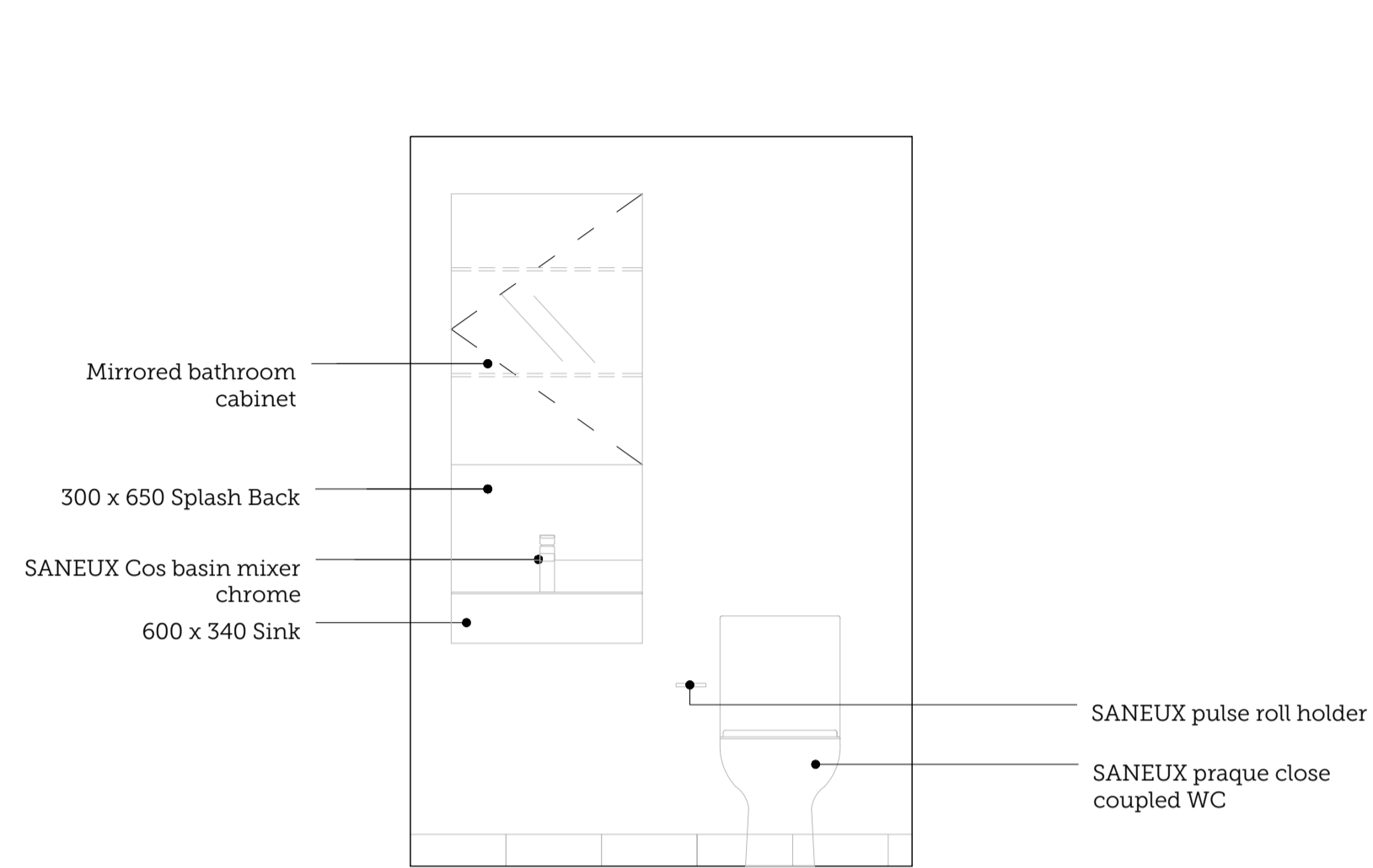
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**40-42 MICHAEGATE, LINCOLN**

DRAWING TITLE:  
**PROPOSED FIRST FLOOR SHOWER ROOM**

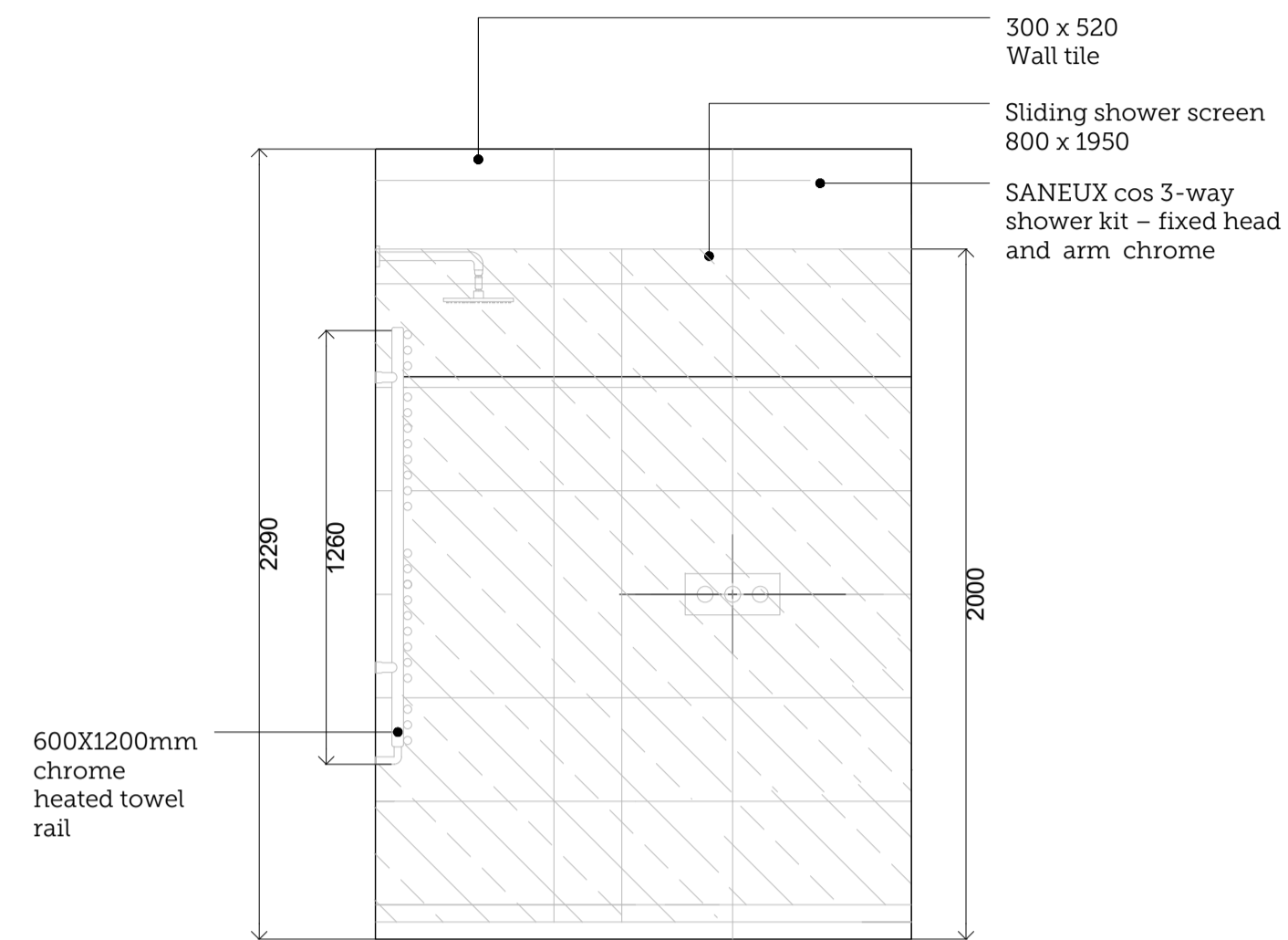
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**SCORER HAWKINS ARCHITECTS**

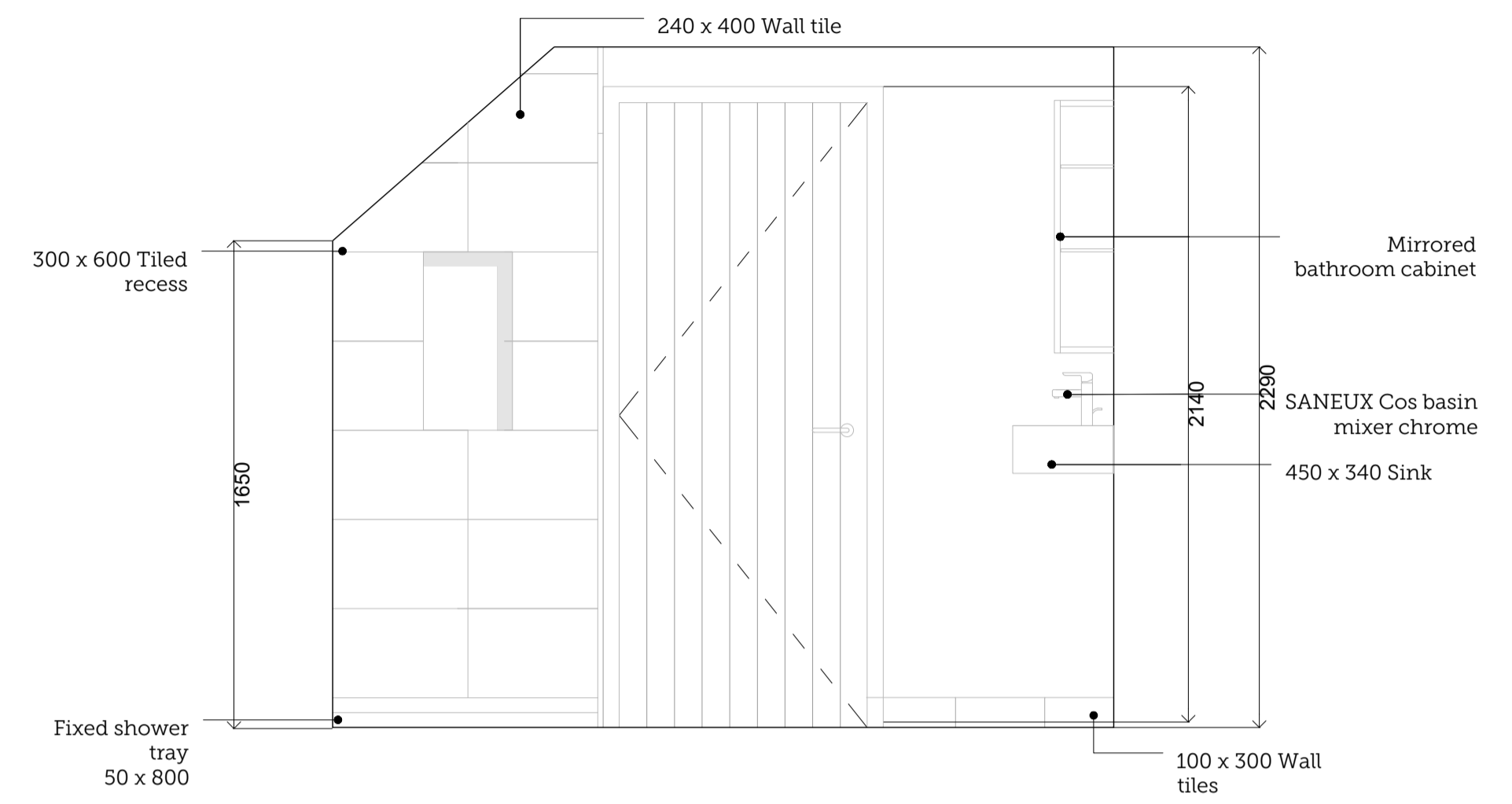
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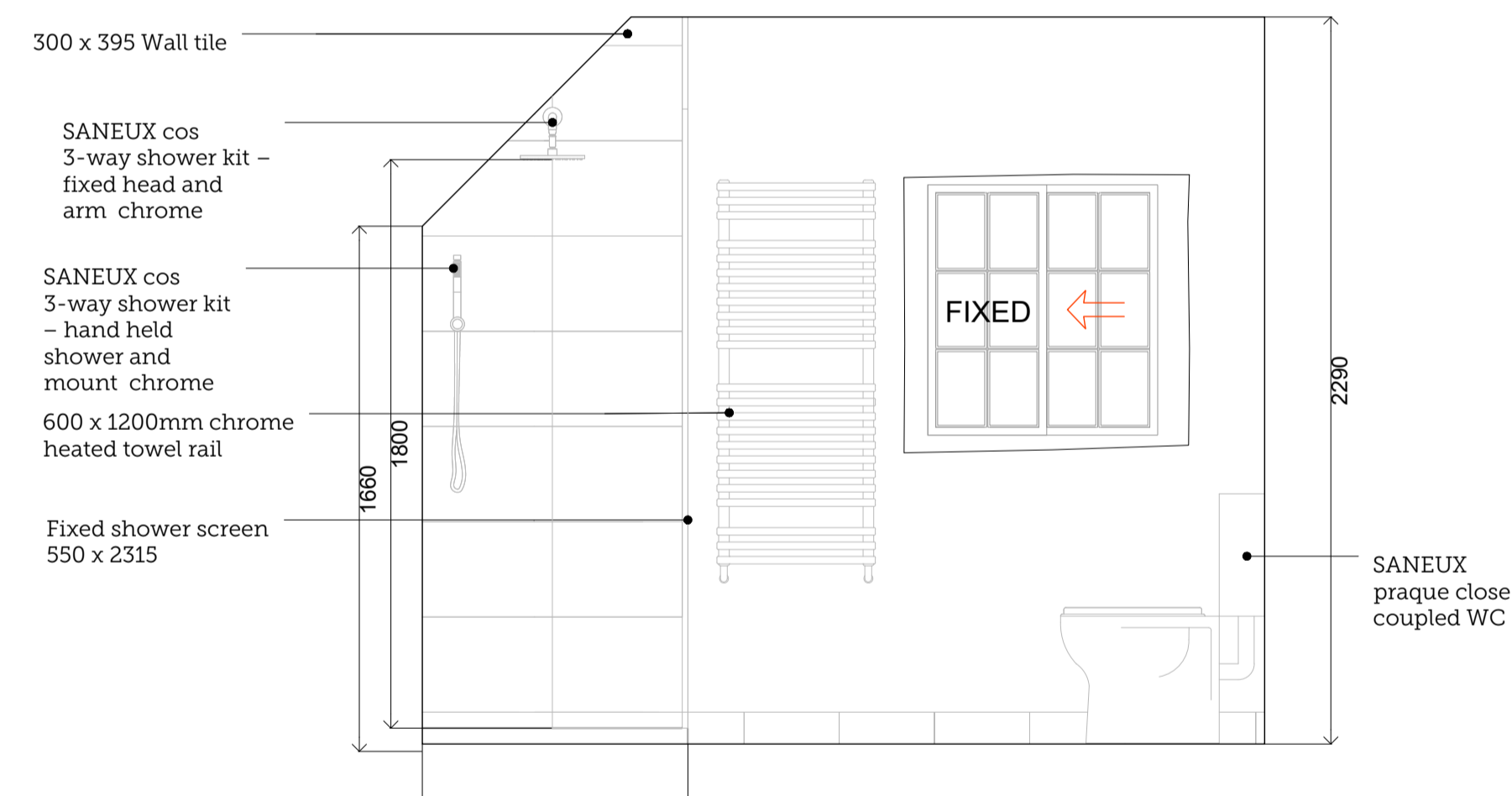
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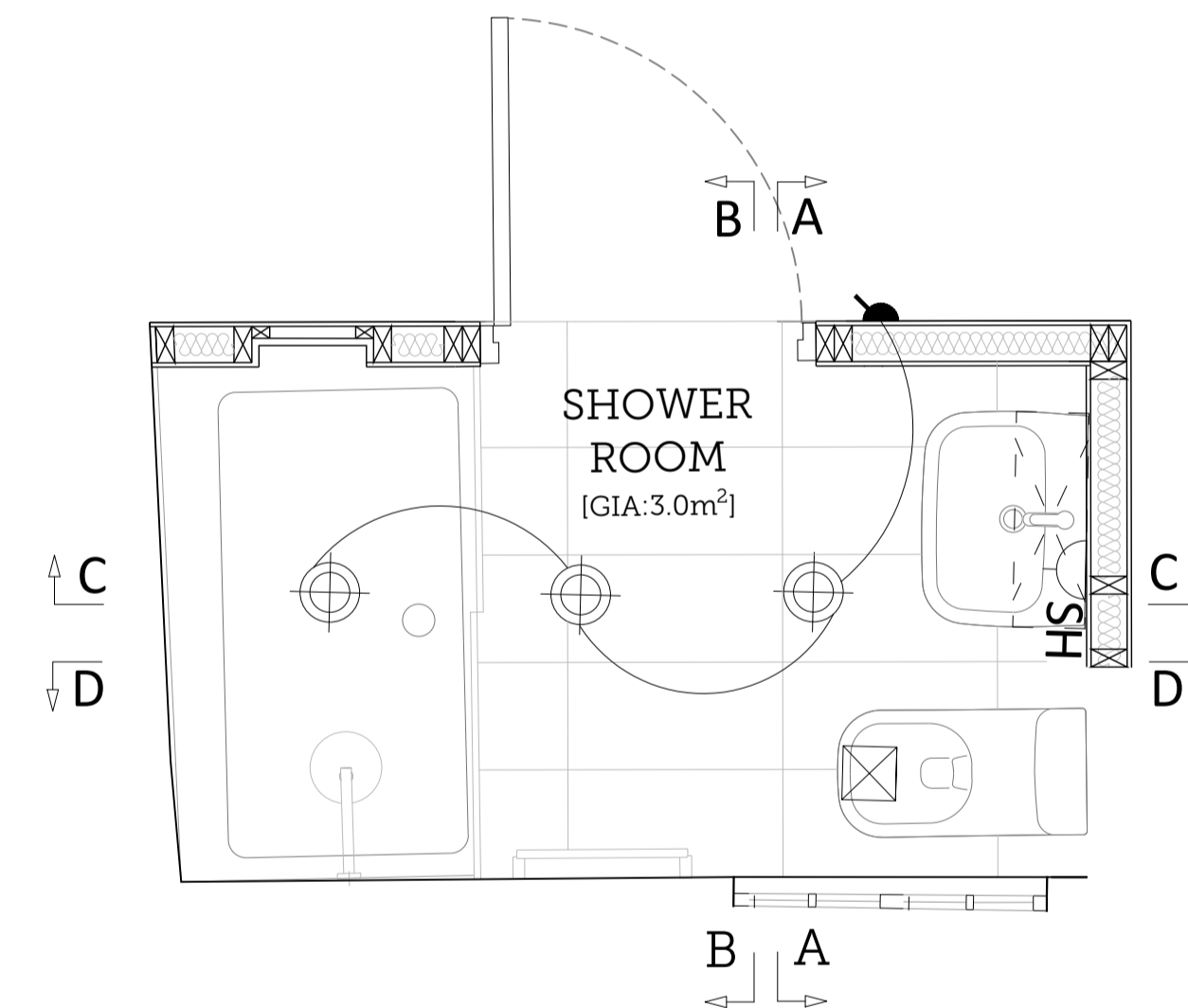
03 | PROPOSED SECTION BB  
Scale 1:20 @ A1



04 | PROPOSED SECTION CC  
Scale 1:20 @ A1



05 | PROPOSED SECTION DD  
Scale 1:20 @ A1



01 | PROPOSED GROUND FLOOR SHOWER ROOM M&E  
Scale 1:20 @ A1

NOTES

- All tiled walls to bath and shower to be lined with 12mm Hardiebacker 500 cement based board or similar approved. Plasterboard to these walls omitted. All joints to be taped and filled in accordance with manufacturer's recommendations.
- All boxing-out to conceal WC cistern to consist of 12mm Hardiebacker 500 cement based board or similar approved (Use 18mm wbp ply behind sink and we) on 50x50mm s/w tanalised battens.
- 'Ditra matting' by schluter systems (T:01530.813.396), or similar approved, to be used beneath all floor tiles laid over timber sub-structure.
- FLOOR TILES TO TERMINATE CENTRE LINE OF DOOR. floor tiles to terminate against stainless steel angle, and be flush with floor finishes to adjacent room\*.
- All wall-hung WC's and cisterns to be supported on proprietary steel frame by Gerberit or similar approved, securely fixed to walls and floor.
- All basins mounted directly on s/w noggins.
- Cross-bracing to boxing out to concealed cistern.
- 3 coats of matt sealer to all solid or veneered MDF.

- All wall, partition and floor junctions to be pointed, vertically and horizontally, with waterproof mastic sealer prior to tiling.
- All wall/partition junctions with shower trays and baths to be pointed with waterproof mastic sealer; baths to be filled with water prior to pointing.
- All ducting/boxing to bathrooms to be set out to suit tile dimensions; tile samples to be obtained for use on site during setting out.
- Panels of sample floor and wall tiling to be prepared for architect's approval prior to commencement of bathroom joinery; sample panels to include floor/wall skirting junction; mosaic/tile vertical 90° internal and external junction.
- Bathroom cabinets to be constructed to accommodate mirrored finish flush with tile finishes.
- WC's and WHB's to be removed following first fix installation and tiling to be continuous behind; WC's and WHB's to be refixed following tiling with an appropriate packing piece to avoid cracking tiles.
- All limestone tiles to be presealed with lithofin stainstop W (1 coat), when dry and after grouting, lithofin stainstop MN (3 coats).
- Matching controls to towel warmer, including projecting sections of pipework. ie Chrome, Brass or steel

GENERAL NOTES

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| REV. | ISSUE DATE | DRAWN | REVISION NOTES                |
|------|------------|-------|-------------------------------|
| A    | 04.12.2023 | MA    | ALTERATIONS TO 42 MICHAELGATE |
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## PLANNING

PROJECT TITLE:  
**40-42 MICHAEGATE, LINCOLN**

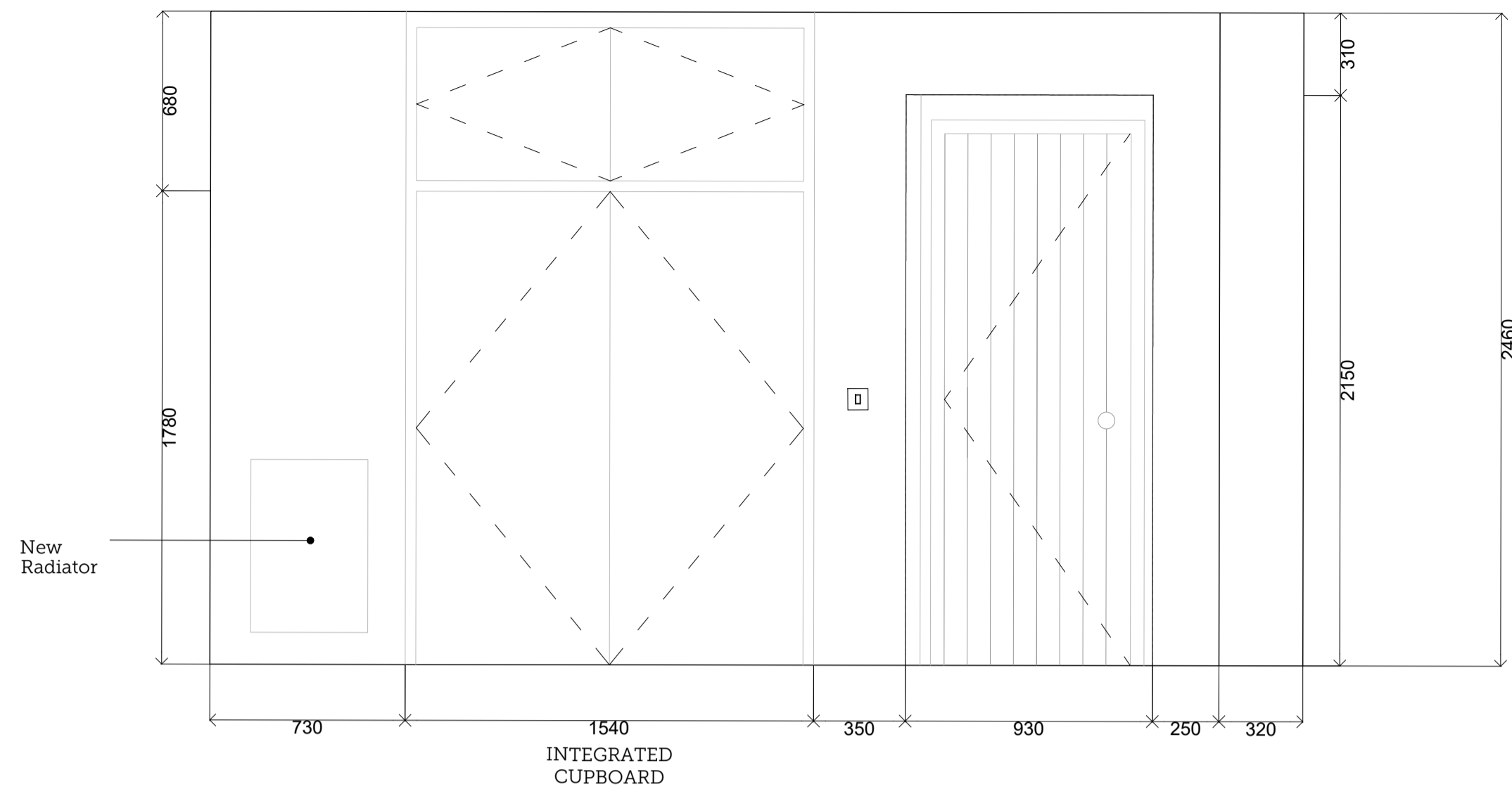
DRAWING TITLE:  
**PROPOSED FIRST FLOOR  
SHOWER ROOM M&E**

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|---------------------------------|-----------------------|----------------------------------|-----------------------|
| DRAWING NO:<br><b>2386-PP08</b> | REVISION:<br><b>A</b> | ISSUE DATE:<br><b>04/12/2023</b> | SCALE:<br><b>1:20</b> |
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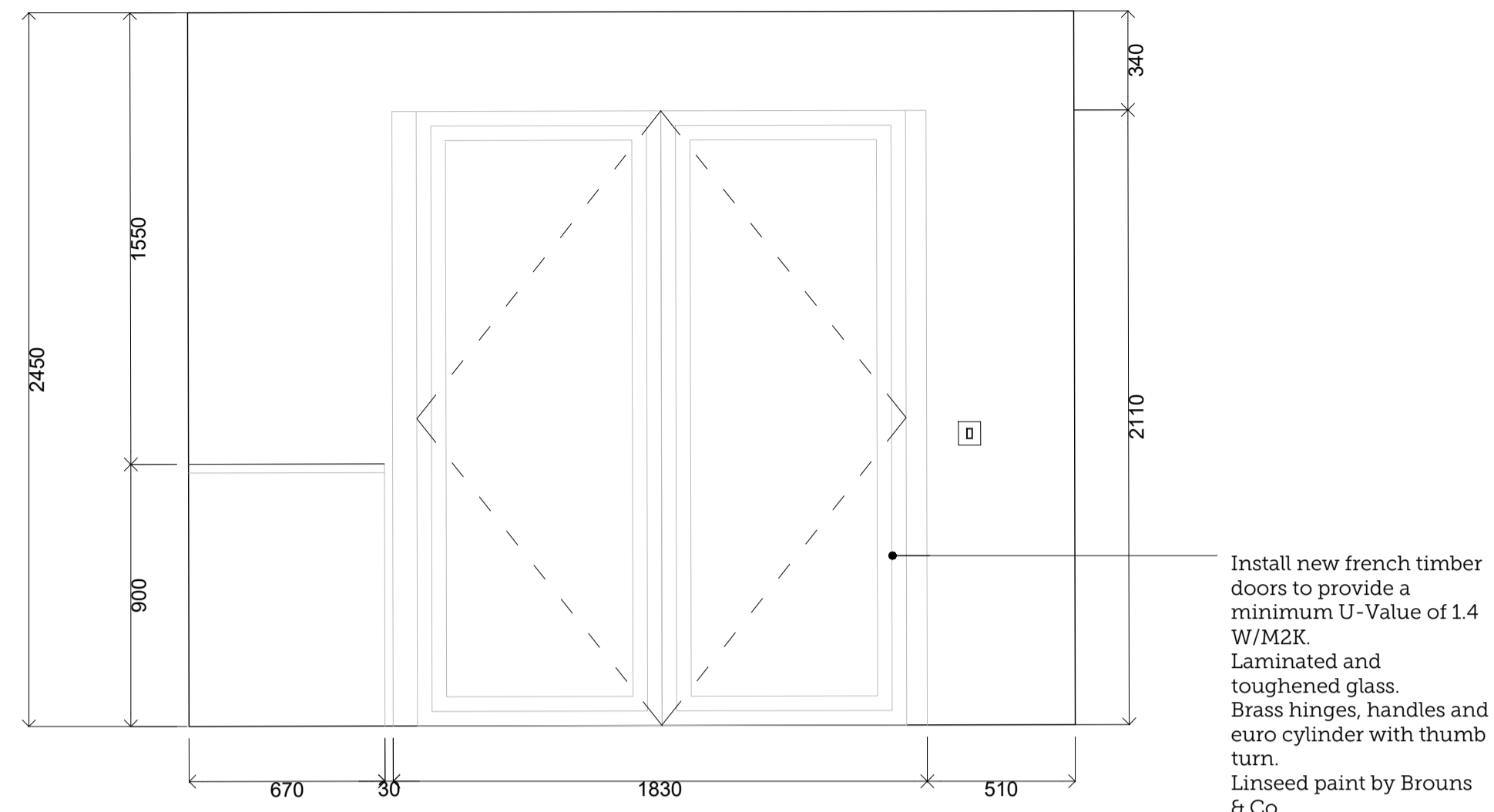
**SCORER  
HAWKINS  
ARCHITECTS**

Lodge Farm Barns  
Skendleby, Spilsby  
Lincolnshire, PE23 4QF

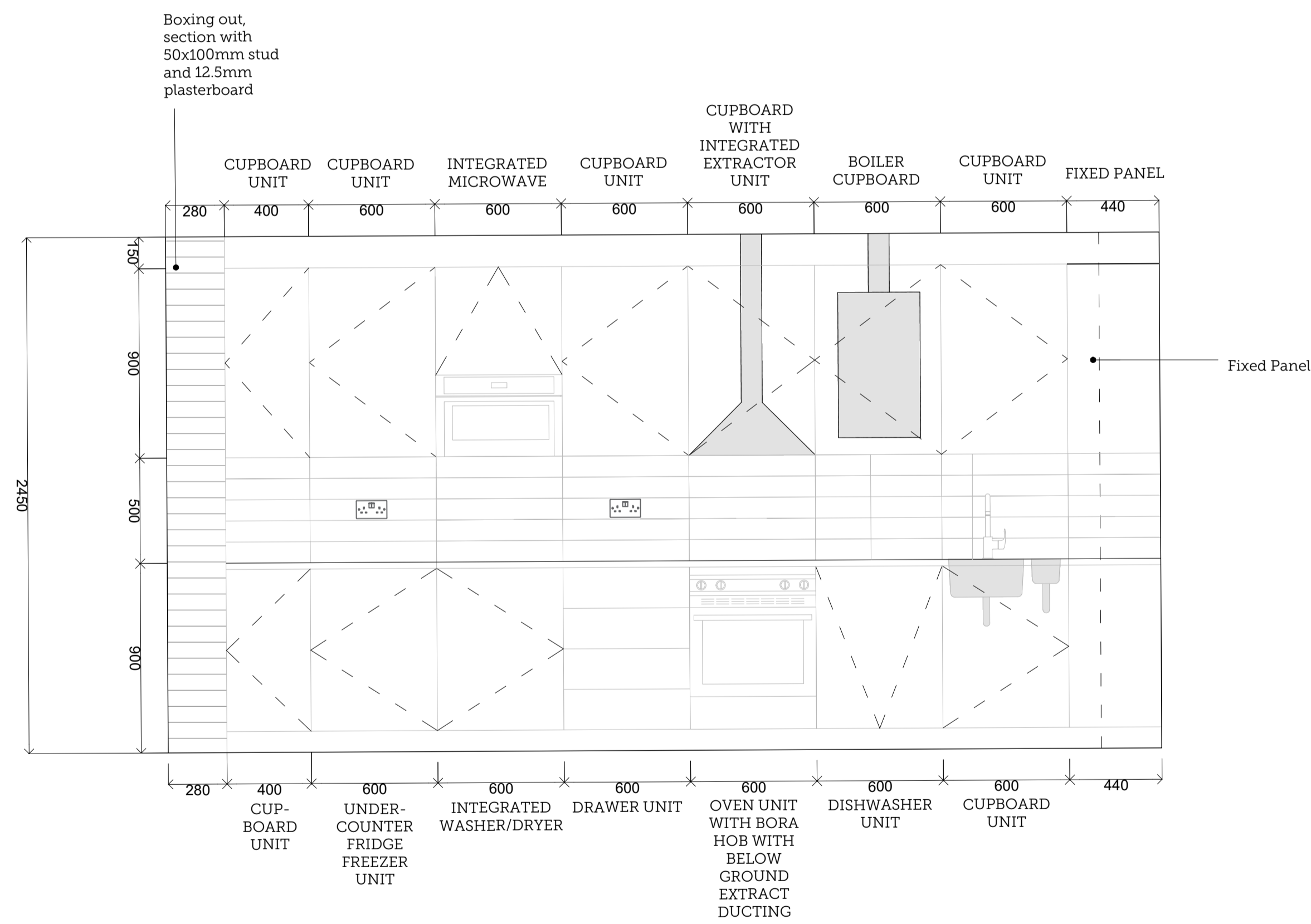
01754 890089  
projects@scorerhawkins.co.uk  
www.scorerhawkins.co.uk



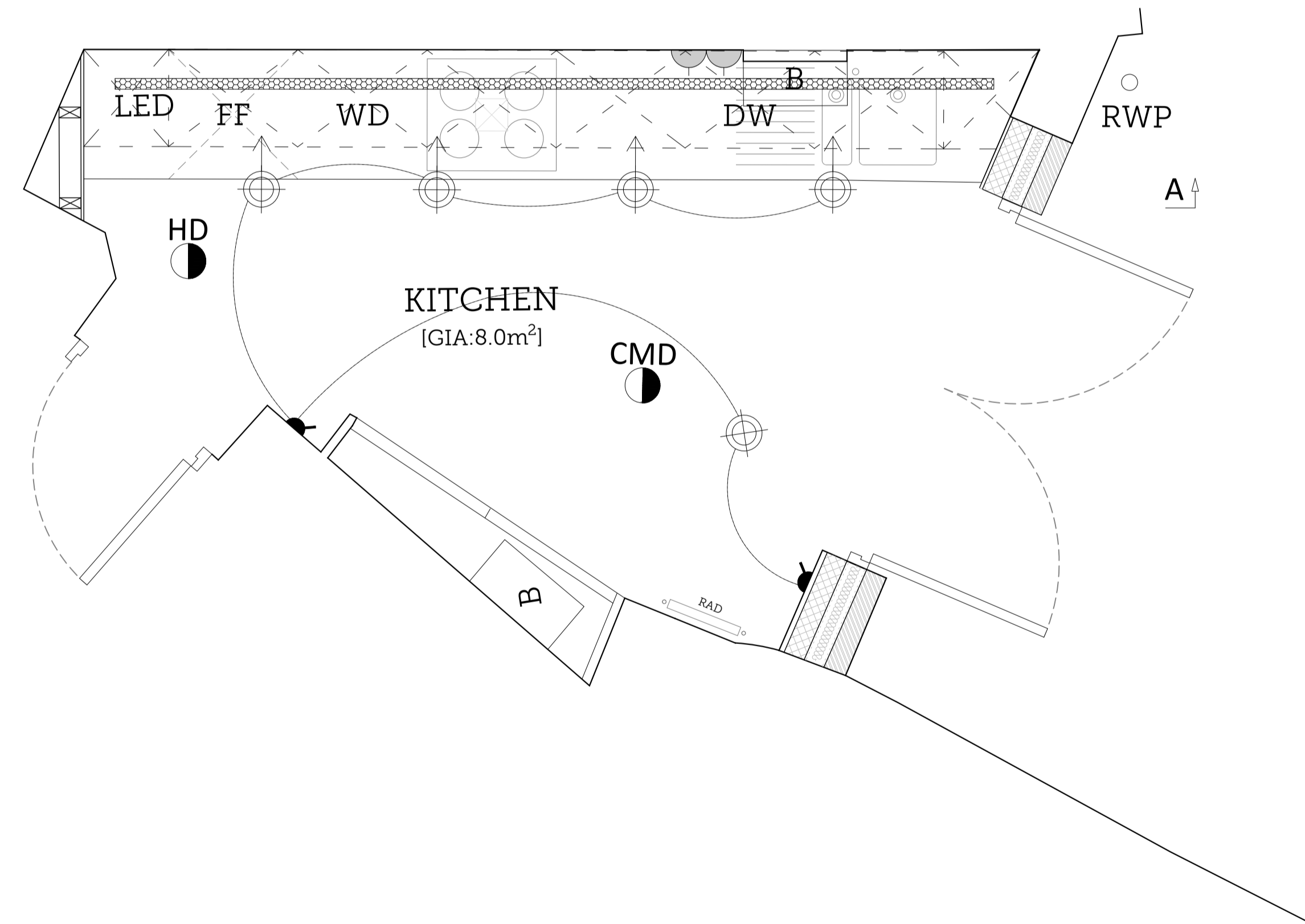
02 | PROPOSED SECTION CC  
Scale 1:20 @ A1



04 | PROPOSED SECTION BB  
Scale 1:20 @ A1



05 | PROPOSED SECTION AA  
Scale 1:20 @ A1



01 | PROPOSED GROUND FLOOR KITCHEN M&E  
Scale 1:20 @ A1

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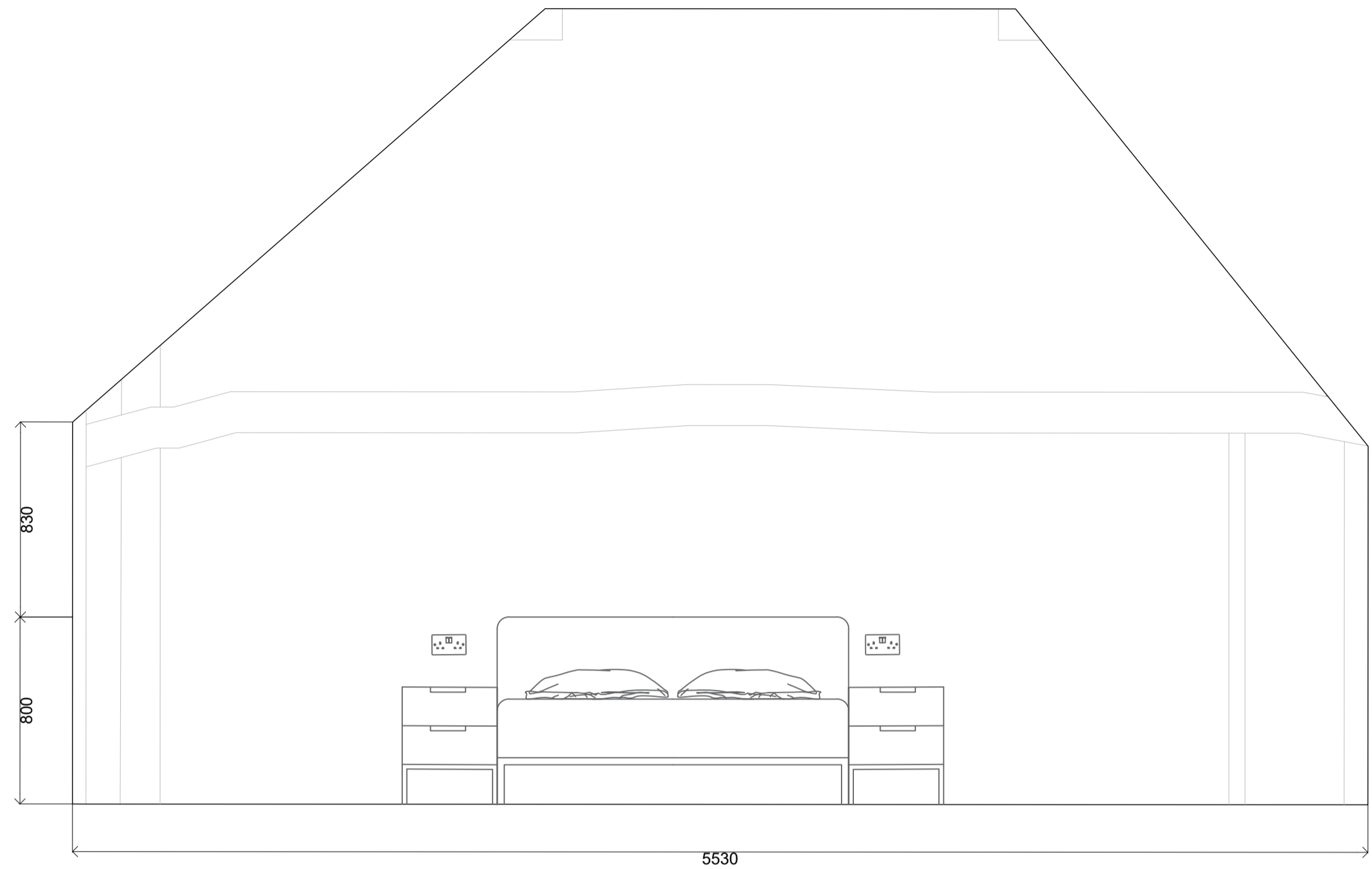
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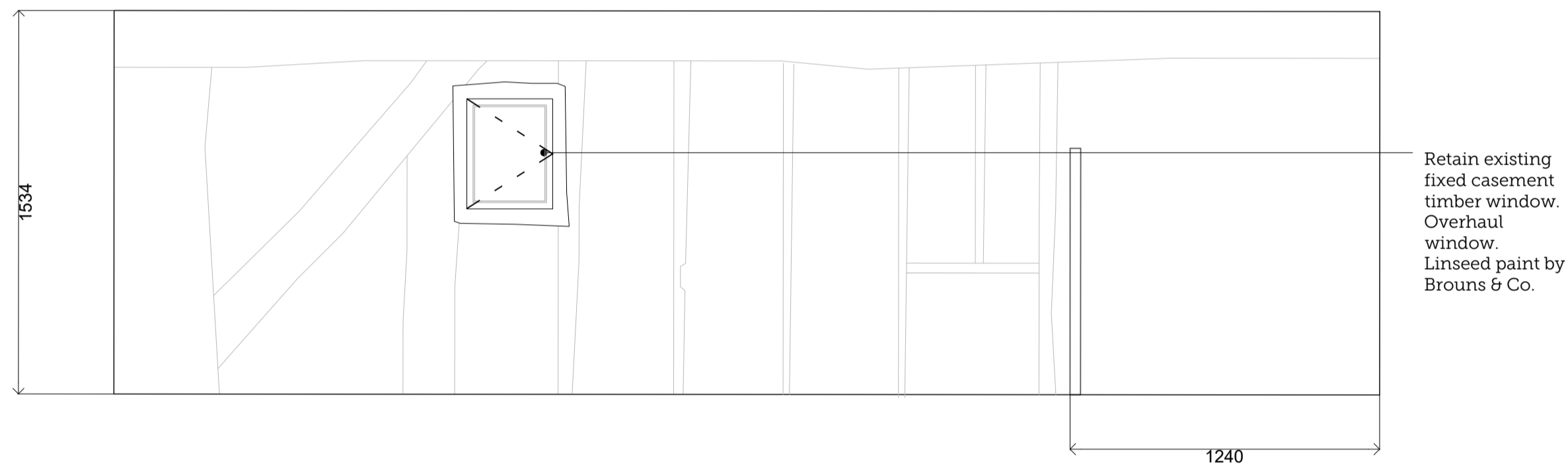
| REV. | ISSUE DATE | DRAWN | REVISION NOTES |
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| PLANNING       |           |   |        |
|----------------|-----------|---|--------|
| PROJECT TITLE: |           | 40-42 MICHAEGATE, LINCOLN   |        |
| DRAWING TITLE: |           | PROPOSED GROUND FLOOR KITCHEN M&E   |        |
| DRAWING NO:    | REVISION: | ISSUE DATE:   | SCALE: |
| 2386-PP09      | -         | 04/12/2023  | 1:20   |
|                |           | Lodge Farm Barns<br>Skendleby, Spilsby<br>Lincolnshire, PE23 4QF<br>01754 890089<br>projects@scorerhawkins.co.uk<br>www.scorerhawkins.co.uk |        |

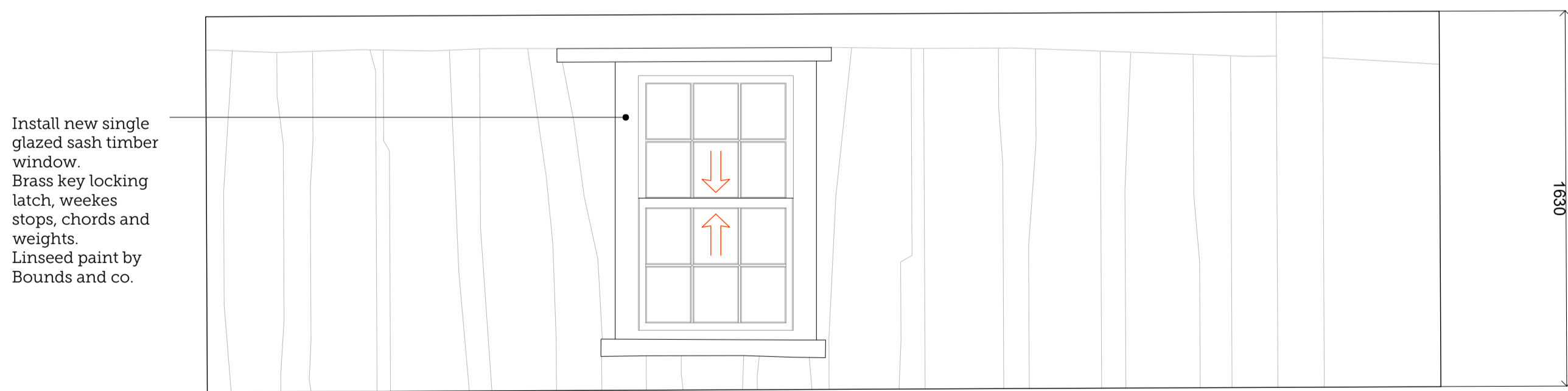




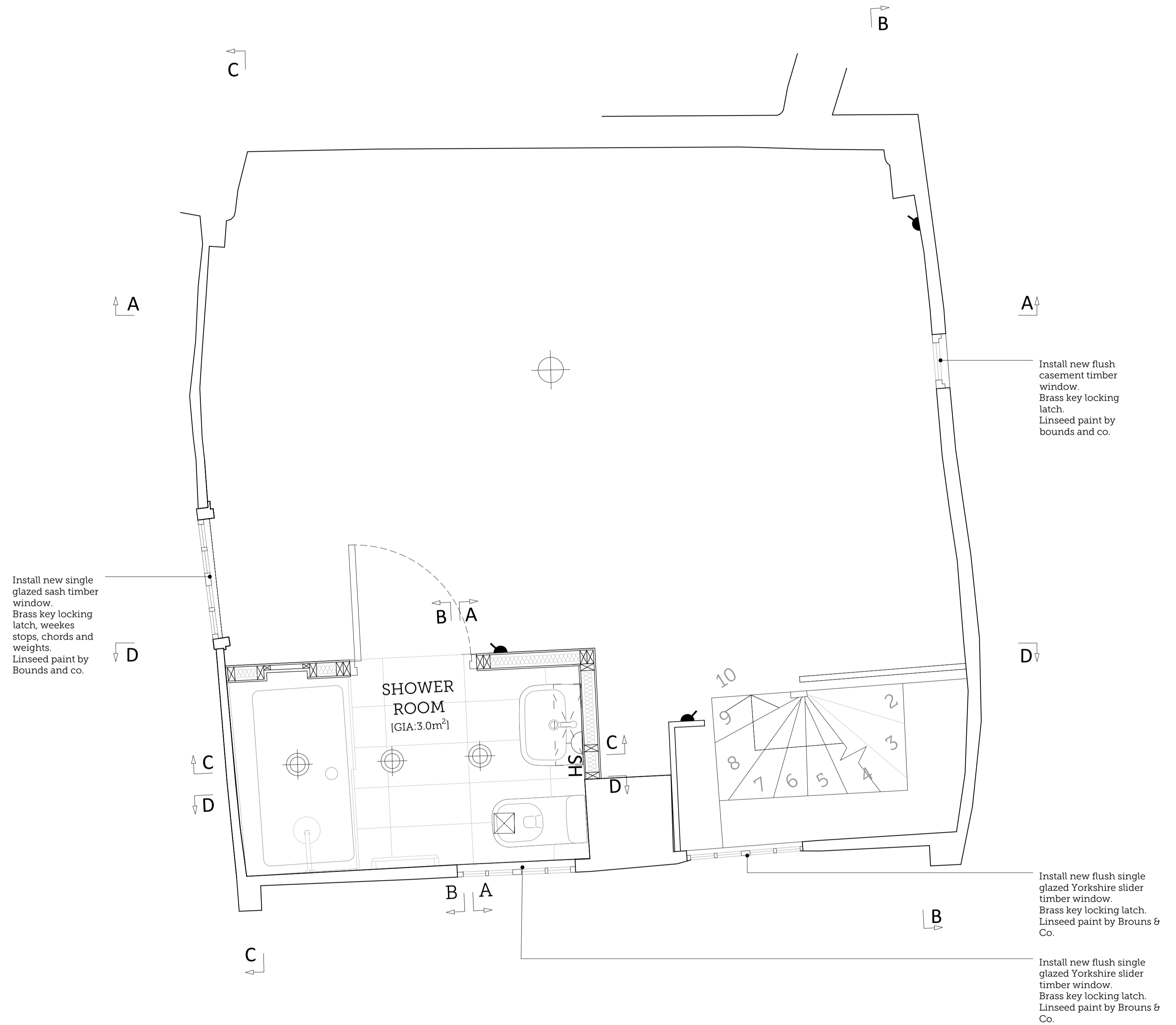
02 | PROPOSED SECTION AA FIRST FLOOR KITCHEN  
Scale 1:20 @ A1



03 | PROPOSED SECTION BB FIRST FLOOR KITCHEN  
Scale 1:20 @ A1



04 | PROPOSED SECTION CC FIRST FLOOR KITCHEN  
Scale 1:20 @ A1



01 | PROPOSED FIRST FLOOR KITCHEN  
Scale 1:20 @ A1

**GENERAL NOTES**

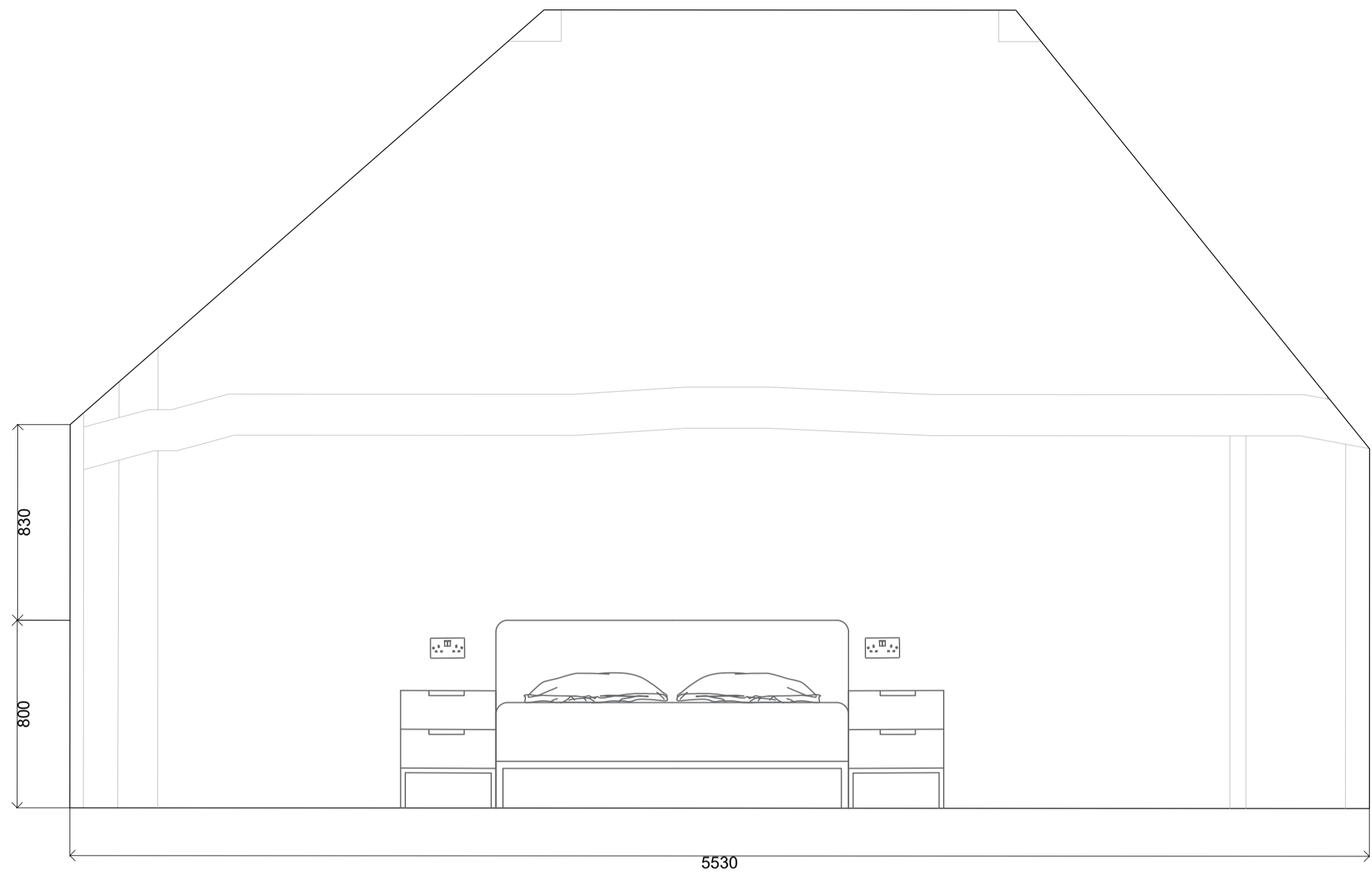
- Do not scale from this drawing. All dimensions must be checked on site by the Contractor.
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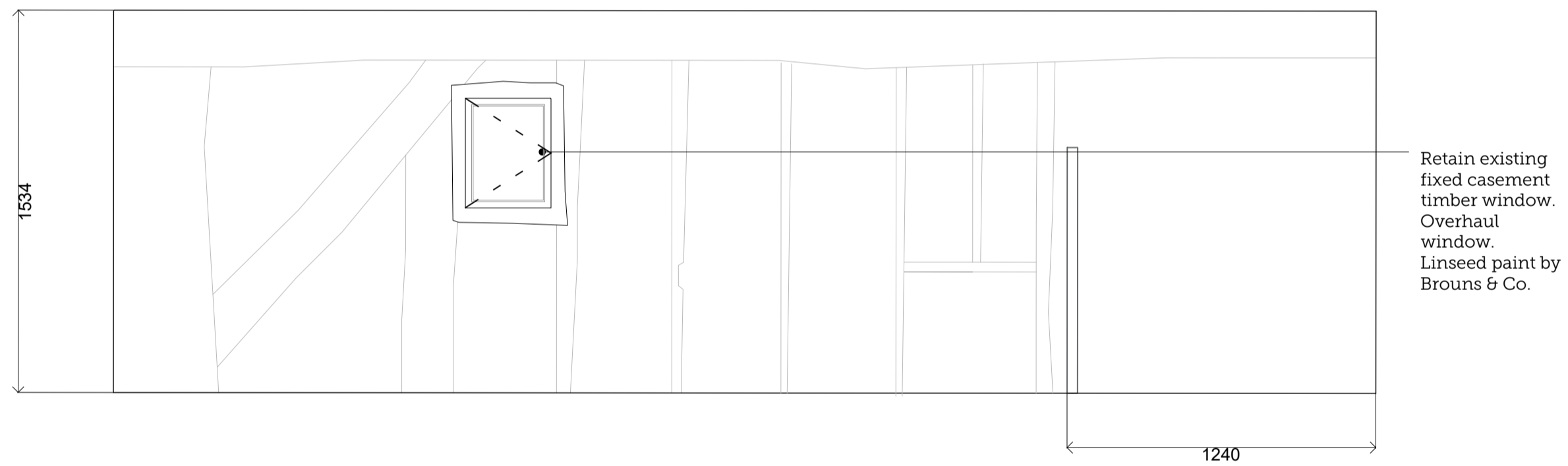


| REV. | ISSUE DATE | DRAWN | REVISION NOTES                          |
|------|------------|-------|---|
| A    | 13.11.2023 | MA    | FFWO7 CHANGED TO RETAIN EXISTING WINDOW |
| B    | 04.12.2023 | MA    | ALTERATIONS TO 42 MICHAELGATE           |
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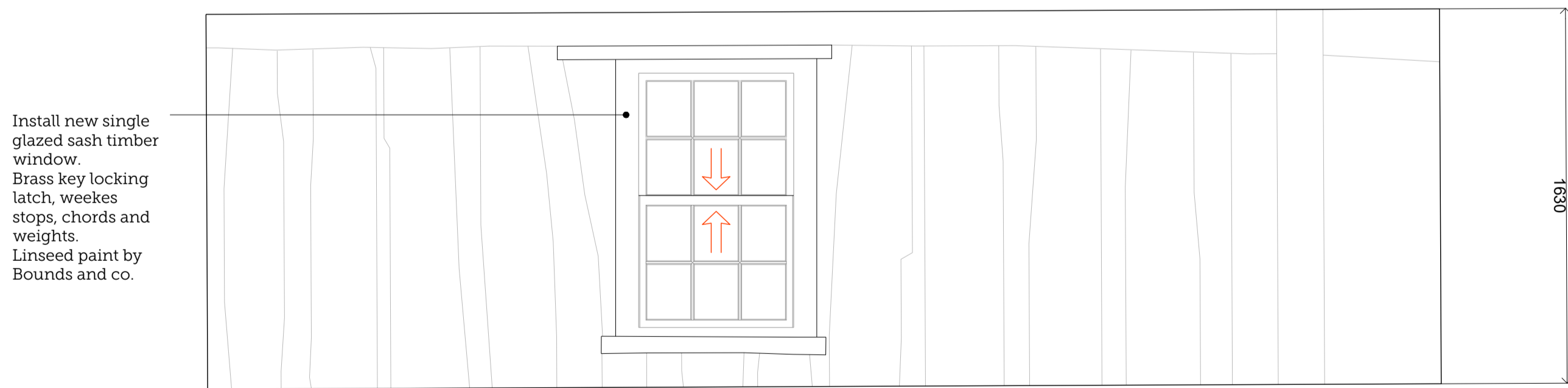
| PLANNING  |           |  |        |
|---|-----------|--|--------|
| PROJECT TITLE:  |           | 40-42 MICHAEGATE, LINCOLN  |        |
| DRAWING TITLE:  |           | PROPOSED FIRST FLOOR KITCHEN   |        |
| DRAWING NO:   | REVISION: | ISSUE DATE:  | SCALE: |
| 2386-PP11   | B         | 04/12/2023   | 1:20   |
| <b>SCORER HAWKINS ARCHITECTS</b><br><small>Lodge Farm Barns<br/>Skendleby, Spilsby<br/>Lincolnshire, PE23 4QF</small> |           | <small>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small> |        |



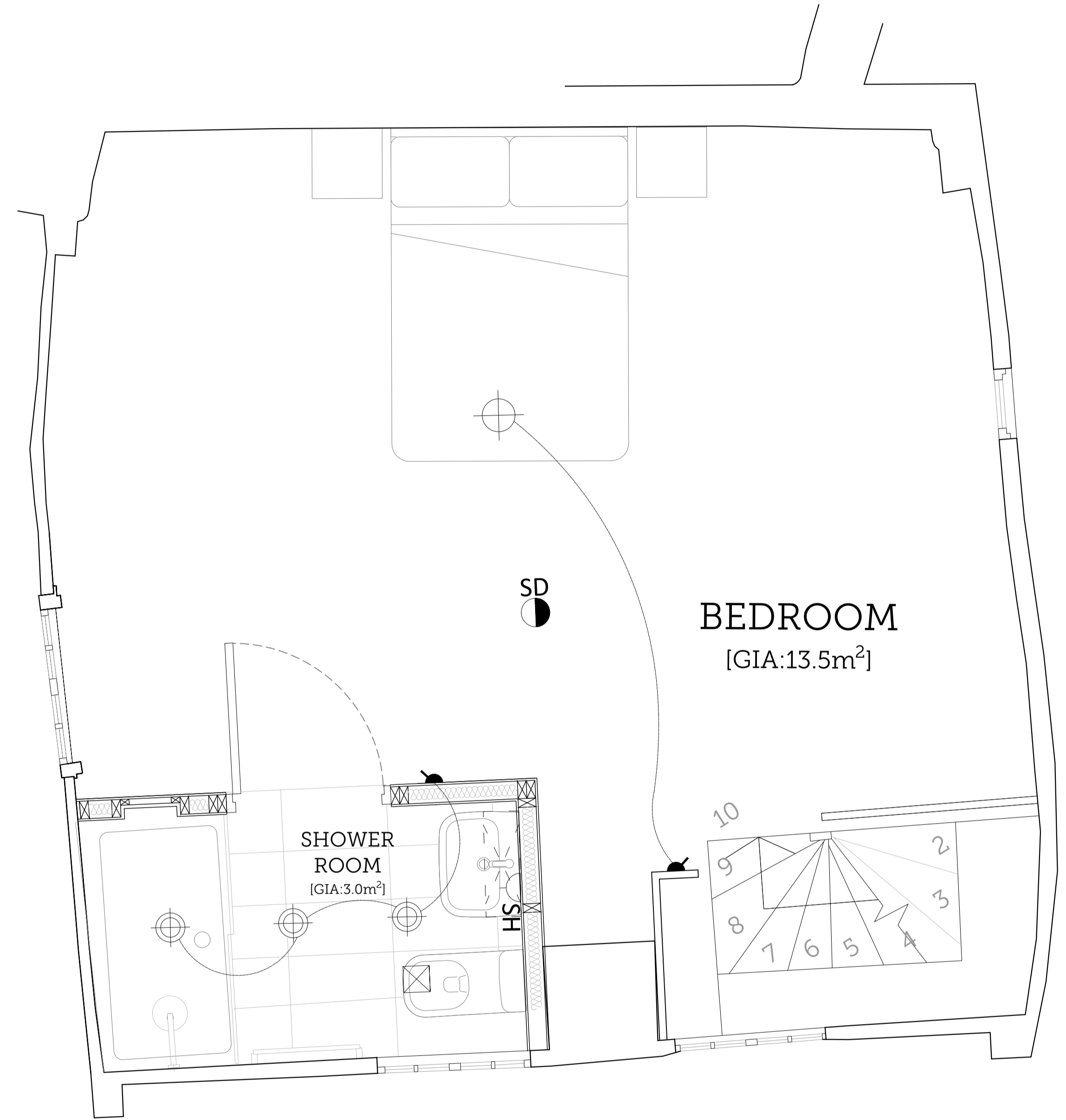
02 | PROPOSED SECTION AA  
Scale 1:20 @ A1



03 | PROPOSED SECTION BB  
Scale 1:20 @ A1



04 | PROPOSED SECTION CC  
Scale 1:20 @ A1



01 | PROPOSED FIRST FLOOR KITCHEN M&E  
Scale 1:20 @ A1

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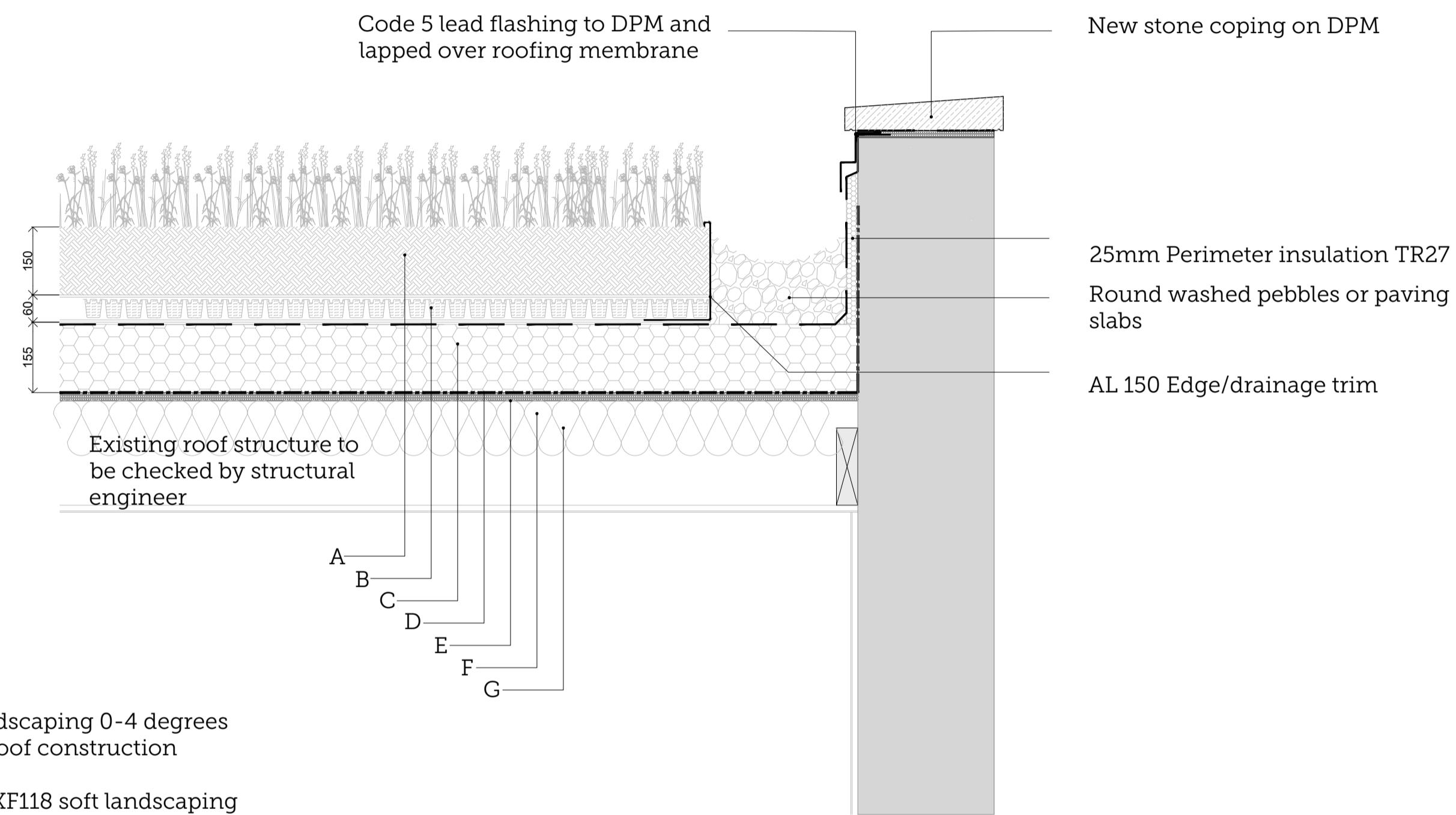
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| REV. | ISSUE DATE | DRAWN | REVISION NOTES                          |
|------|------------|-------|---|
| A    | 13.11.2023 | MA    | FFWO7 CHANGED TO RETAIN EXISTING WINDOW |
| B    | 04.12.2023 | MA    | ALTERATIONS TO 42 MICHAELGATE           |
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| PLANNING                                 |           |   |        |
|--|-----------|---|--------|
| PROJECT TITLE:                           |           | 40-42 MICHAEGATE, LINCOLN   |        |
| DRAWING TITLE:                           |           | PROPOSED FIRST FLOOR<br>KITCHEN M&E   |        |
| DRAWING NO:                              | REVISION: | ISSUE DATE:   | SCALE: |
| 2386-PP12                                | B         | 04/12/2023  | 1:20   |
| <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b> |           | Lodge Farm Barns<br>Skendleby, Spilsby<br>Lincolnshire, PE23 4QF<br>01754 890089<br>projects@scorerhawkins.co.uk<br>www.scorerhawkins.co.uk |        |



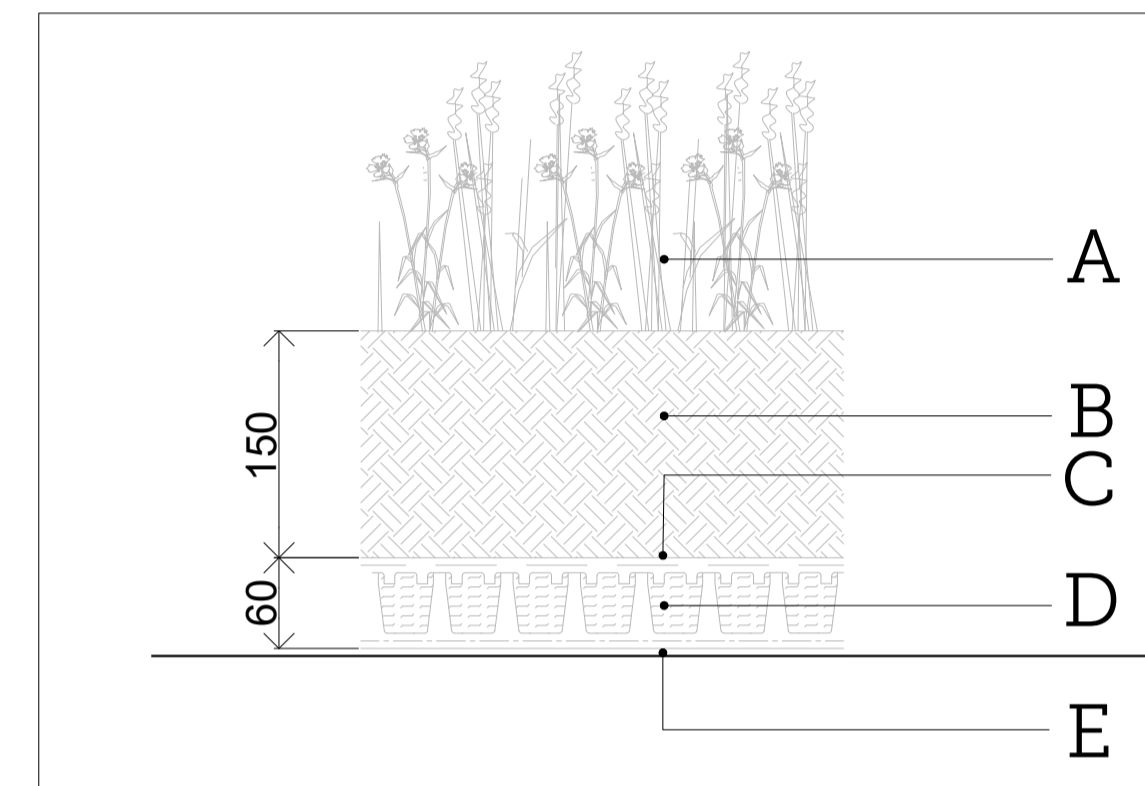


XF118 Soft landscaping 0-4 degrees  
Warm green roof construction

- A. Bauder XF118 soft landscaping
- B. Sarnafil single ply adhesive water proof membrane
- C. 150mm Kingspan thermaroof TR27
- D. Breather membrane
- E. 18mm Q mark marine ply
- F. firings 1:40
- G. Existing roof structure to be retained

To achieve a minimum u-value of 0.15W/m<sup>2</sup>K in A

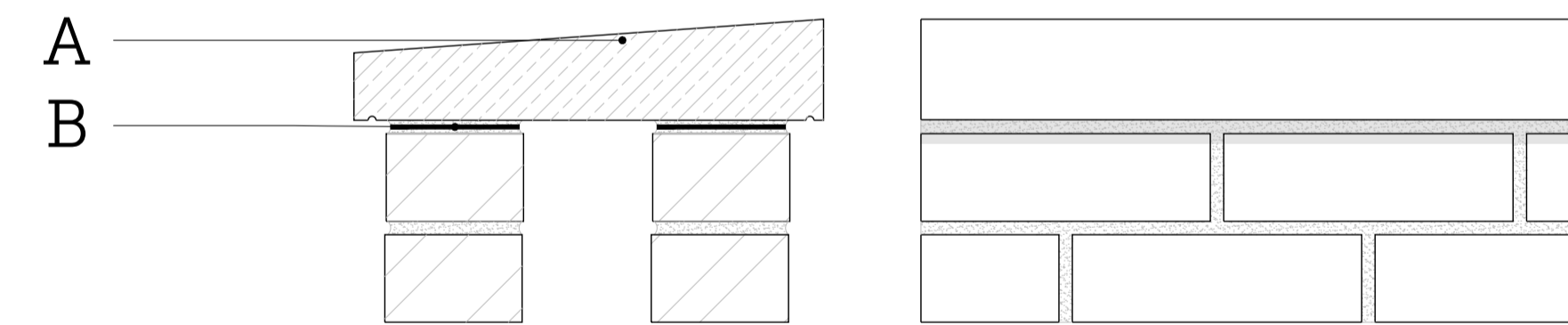
01 | PROPOSED GREEN ROOF DETAIL  
Scale 1:10 @ A1



XF118 Soft landscaping 04- degrees

- A. Bauder XF118 UK Native species wildflower blanket
- B. Biodiverse substrate 150mm min
- C. Bauder filter fleece
- D. DES40 Drainage board
- E. Bauder protection mat

02 | PROPOSED GREEN ROOF DETAIL  
Scale 1:5 @ A1



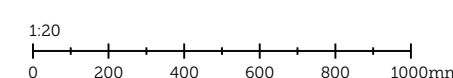
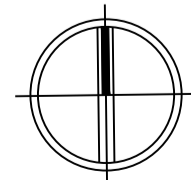
- A. Stone
- B. DPC

03 | PROPOSED GREEN ROOF DETAIL  
Scale 1:5 @ A1

GENERAL NOTES

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3. All specified items are to be installed in accordance with their manufacturer's recommendations.
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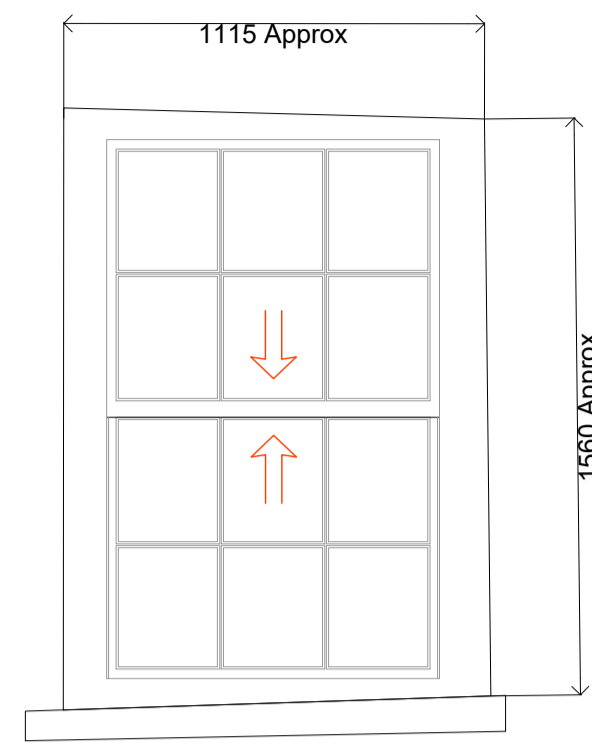
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PLANNING

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| PROJECT TITLE:<br>40-42 MICHAEGATE, LINCOLN     |                |                           |                        | <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b><br><br><small>Lodge Farm Barns<br/>Skendleby, Spilsby<br/>Lincolnshire, PE23 4QF</small> |
| DRAWING TITLE:<br>PROPOSED GREEN ROOF<br>DETAIL |                |                           |                        |   |
| DRAWING NO:<br>2386-PP13                        | REVISION:<br>- | ISSUE DATE:<br>04/12/2023 | SCALE:<br>1:5/<br>1:10 | <small>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small>  |



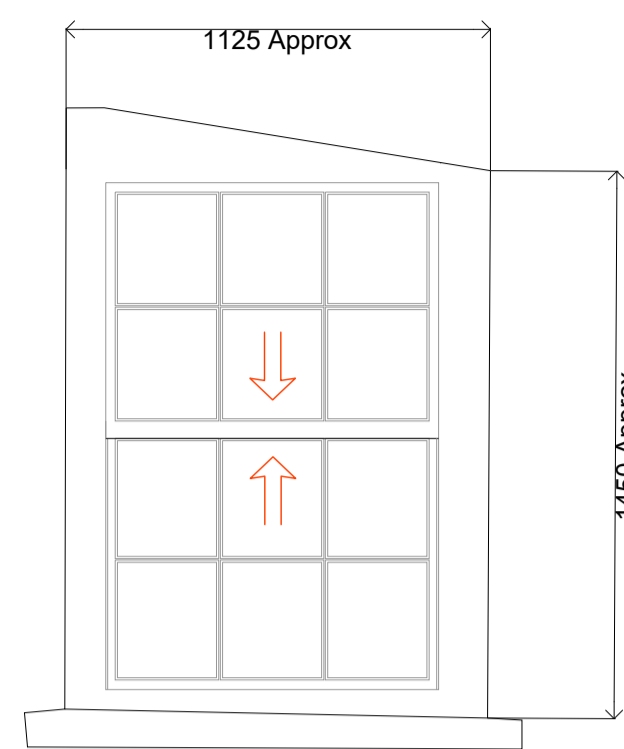
FFW02

Ironmongery: Brass key locking latch, Weekes stops, chords and weights

Type: Retain existing sash window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: New staff and parting beads with new brush strips. Retain existing boxes and repair and install two new replacement sashes.



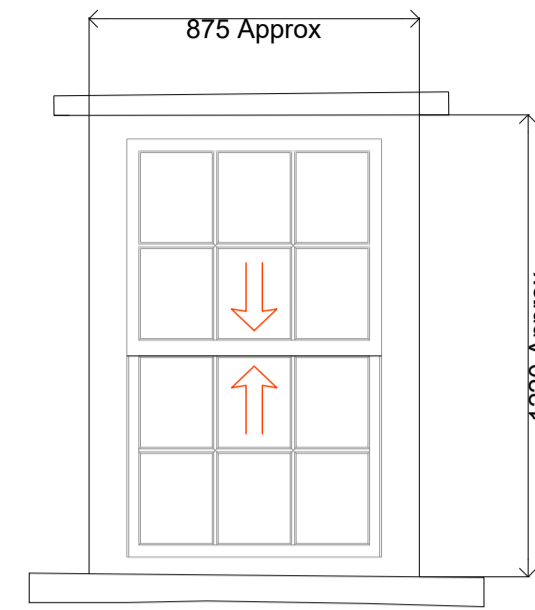
FFW03

Ironmongery: Brass key locking latch, Weekes stops, chords and weights

Type: Retain existing sash window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: New staff and parting beads with new brush strips. Retain existing boxes and repair and install two new replacement sashes.



FFW04

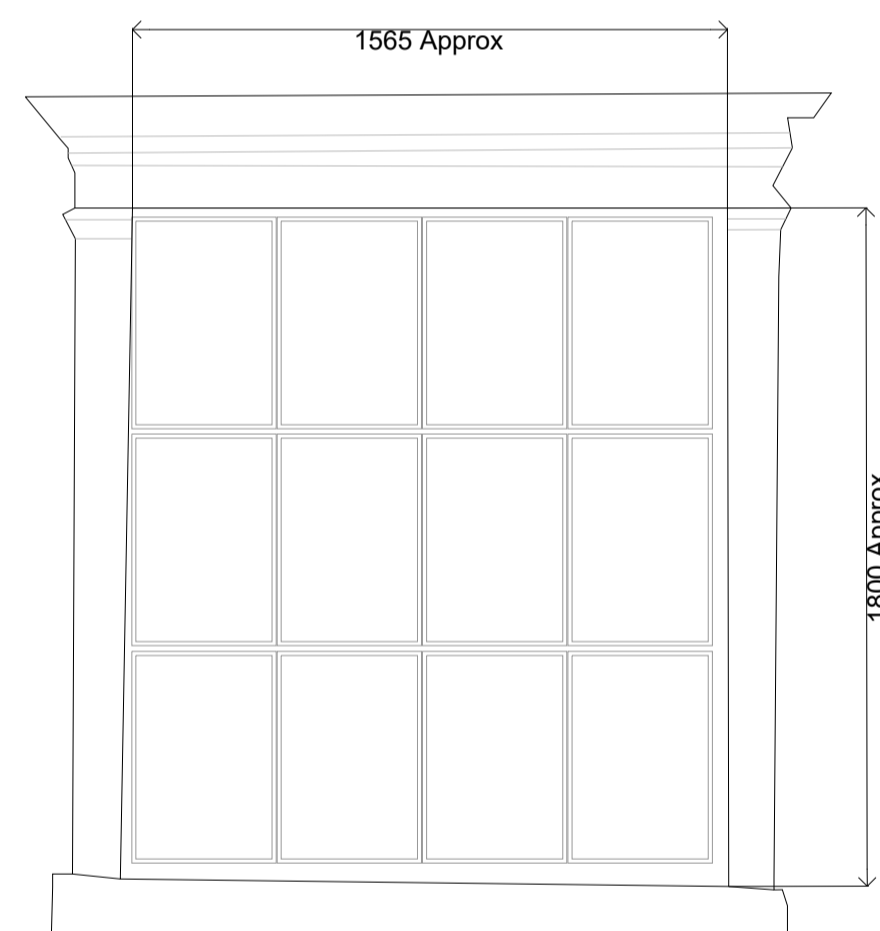
Ironmongery: Brass key locking latch, Weekes stops, chords and weights

Type: Install new single glazed sash timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

N.B  
All new glass to be handmade - Architect to approve sample.  
Shop drawings required for all new windows provided by manufacturers.



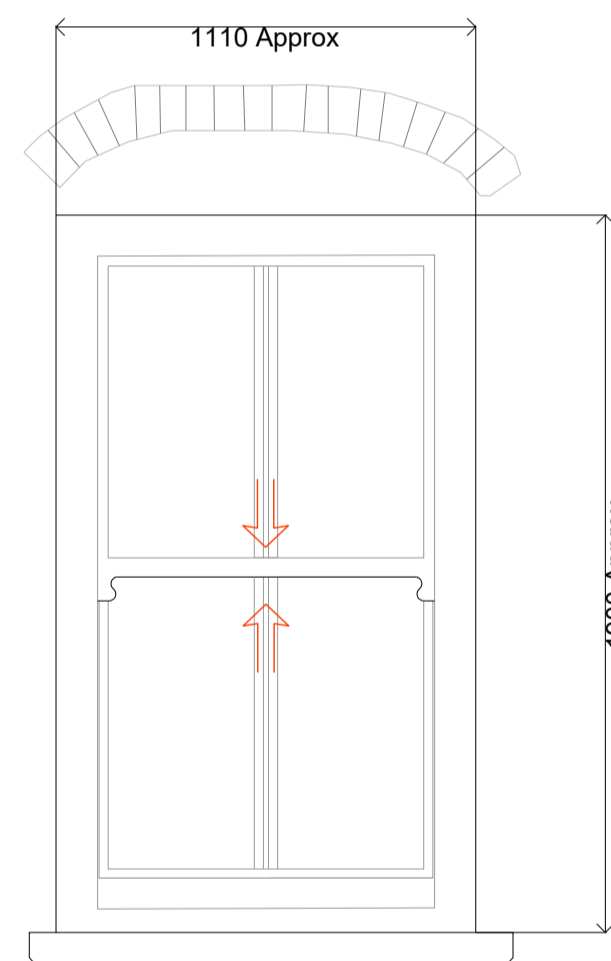
GFW02

Ironmongery: N/A

Type: Retain existing casement window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window and draft proof. Remove existing small casement and re-glaze where casement is removed



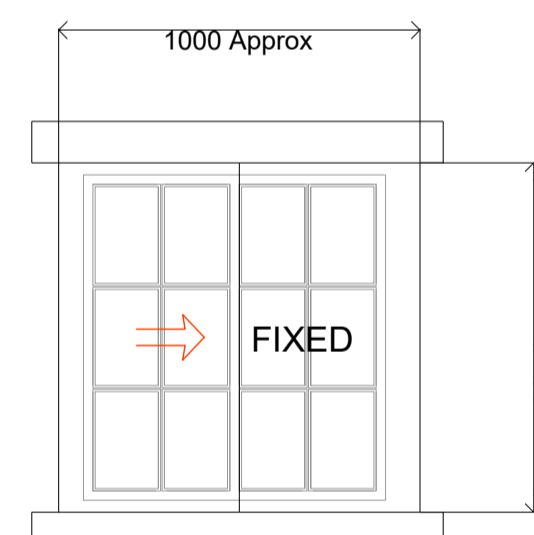
GFW03

Ironmongery: Brass key locking latch, Weekes stops, sash lift chords and weights

Type: Retain existing sash window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window and draft proof



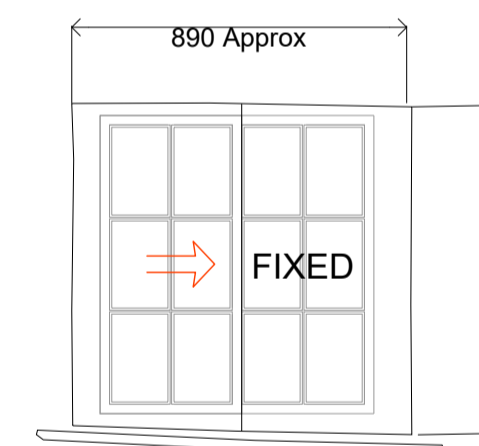
GFW04

Ironmongery: Brass key locking latch

Type: Install new flush single glazed Yorkshire slider timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.



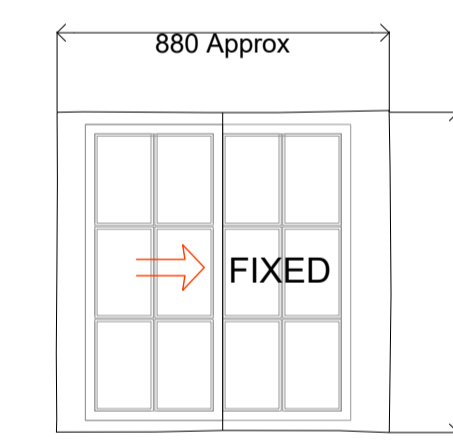
FFW05

Ironmongery: Brass key locking latch

Type: Install new flush single glazed Yorkshire slider timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.



FFW06

Ironmongery: Brass key locking latch

Type: Install new flush single glazed Yorkshire slider timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

01 | WINDOW SCHEDULE 01

Scale 1:20 @ A1

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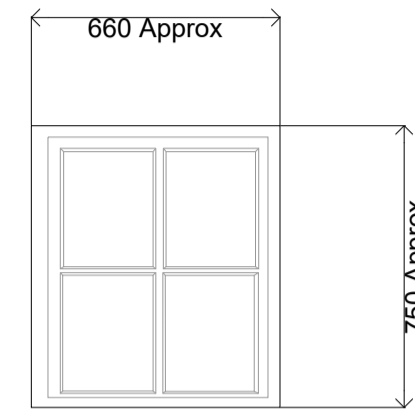
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PLANNING

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| PROJECT TITLE:<br>40-42 MICHAEGATE, LINCOLN |                |                           |                | <b>SCORER<br/>HAWKINS<br/>ARCHITECTS</b><br><br><small>Lodge Farm Barns<br/>Skendleby, Spilsby<br/>Lincolnshire, PE23 4QF<br/>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small> |
| DRAWING TITLE:<br>WINDOW SCHEDULE 01        |                |                           |                |   |
| DRAWING NO:<br>2386-PP14                    | REVISION:<br>- | ISSUE DATE:<br>04/12/2023 | SCALE:<br>1:20 |   |

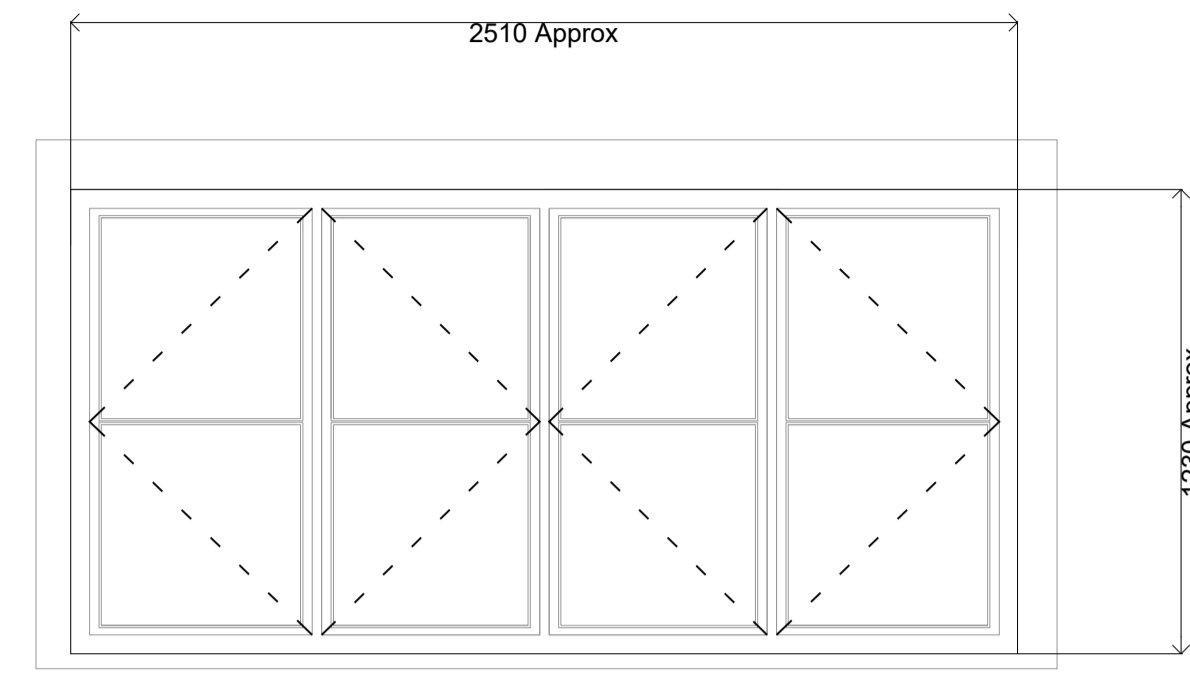


FFW01

Type: Retain existing fixed casement timber window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window



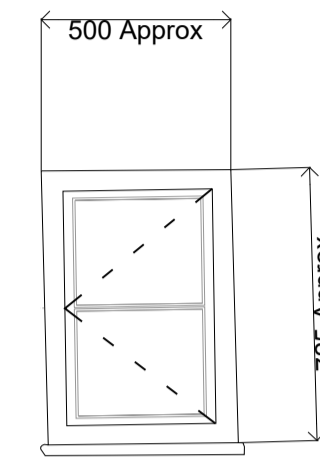
SFW02

Ironmongery: Brass key locking latches

Type: Install new double glazed flush casement timber windows

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.



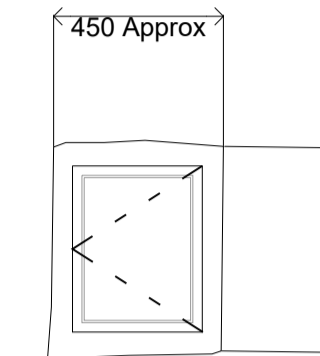
SFW01

Ironmongery: Brass key locking latch

Type: Install new flush casement timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

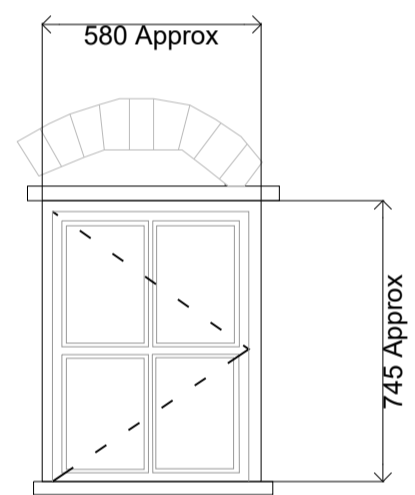


FFW07

Ironmongery: Brass key locking latch

Type: Retain existing casement timber window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.



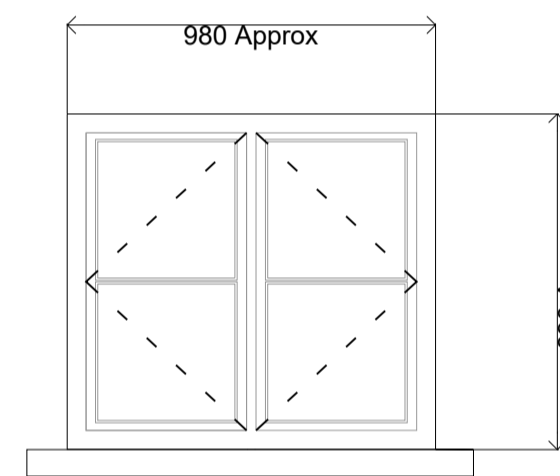
GFW01

Ironmongery: Brass key locking latch

Type: Retain existing flush casement timber window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window and draft proof.



FFW08

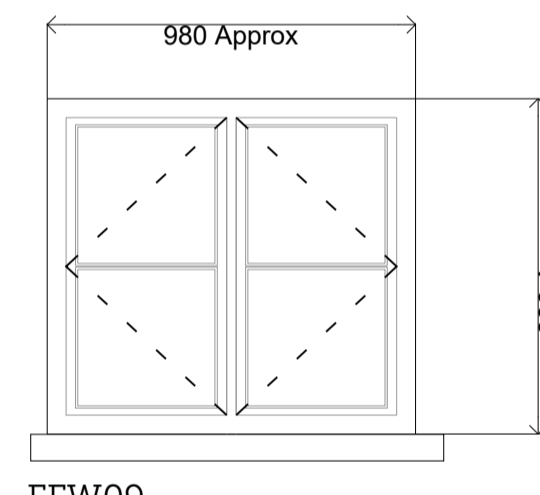
Ironmongery: Brass key locking latch

Type: Install new flush casement timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: To achieve a minimum u value of 1.4 W/M2K. In accordance with part N, Fensa Certificate to be provided upon completion.



FFW09

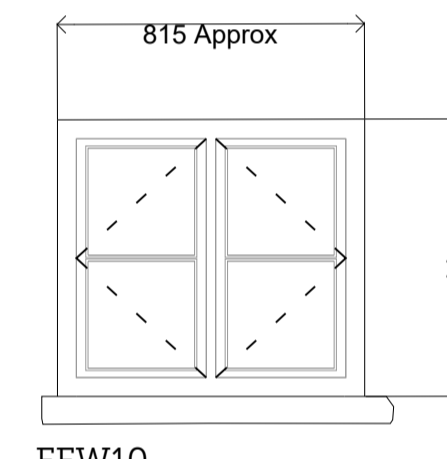
Ironmongery: Brass key locking latch

Type: Install new flush casement timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: To achieve a minimum u value of 1.4 W/M2K. In accordance with part N, Fensa Certificate to be provided upon completion.



FFW10

Ironmongery: Brass key locking latch

Type: Install new flush casement timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: To achieve a minimum u value of 1.4 W/M2K. In accordance with part N, Fensa Certificate to be provided upon completion.

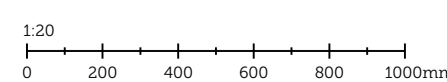
01 | WINDOW SCHEDULE 02

Scale 1:20 @ A3

GENERAL NOTES

- Do not scale from this drawing. All dimensions must be checked on site by the Contractor.
- This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately.
- All specified items are to be installed in accordance with their manufacturer's recommendations.
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| REV. | ISSUE DATE | DRAWN | REVISION NOTES                          |
|------|------------|-------|---|
| A    | 13.11.2023 | MA    | FFW07 CHANGED TO RETAIN EXISTING WINDOW |
|      |            |       |   |
|      |            |       |   |
|      |            |       |   |
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|   |           |  |        |
|---|-----------|--|--------|
| <h1>PLANNING</h1>   |           |  |        |
| PROJECT TITLE:  |           | 40-42 MICHAEGATE, LINCOLN  |        |
| DRAWING TITLE:  |           | WINDOW SCHEDULE 02   |        |
| DRAWING NO:   | REVISION: | ISSUE DATE:  | SCALE: |
| 2386-PP15   | A         | 04/12/2023   | 1:20   |
| <b>SCORER HAWKINS ARCHITECTS</b><br><small>Lodge Farm Barns<br/>Skendleby, Spilsby<br/>Lincolnshire, PE23 4QF</small> |           | <small>01754 890089<br/>projects@scorerhawkins.co.uk<br/>www.scorerhawkins.co.uk</small> |        |
|   |           |  |        |

