

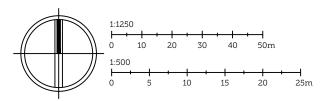
01 | SITE LOCATION PLAN

Scale 1:1250 @ A3

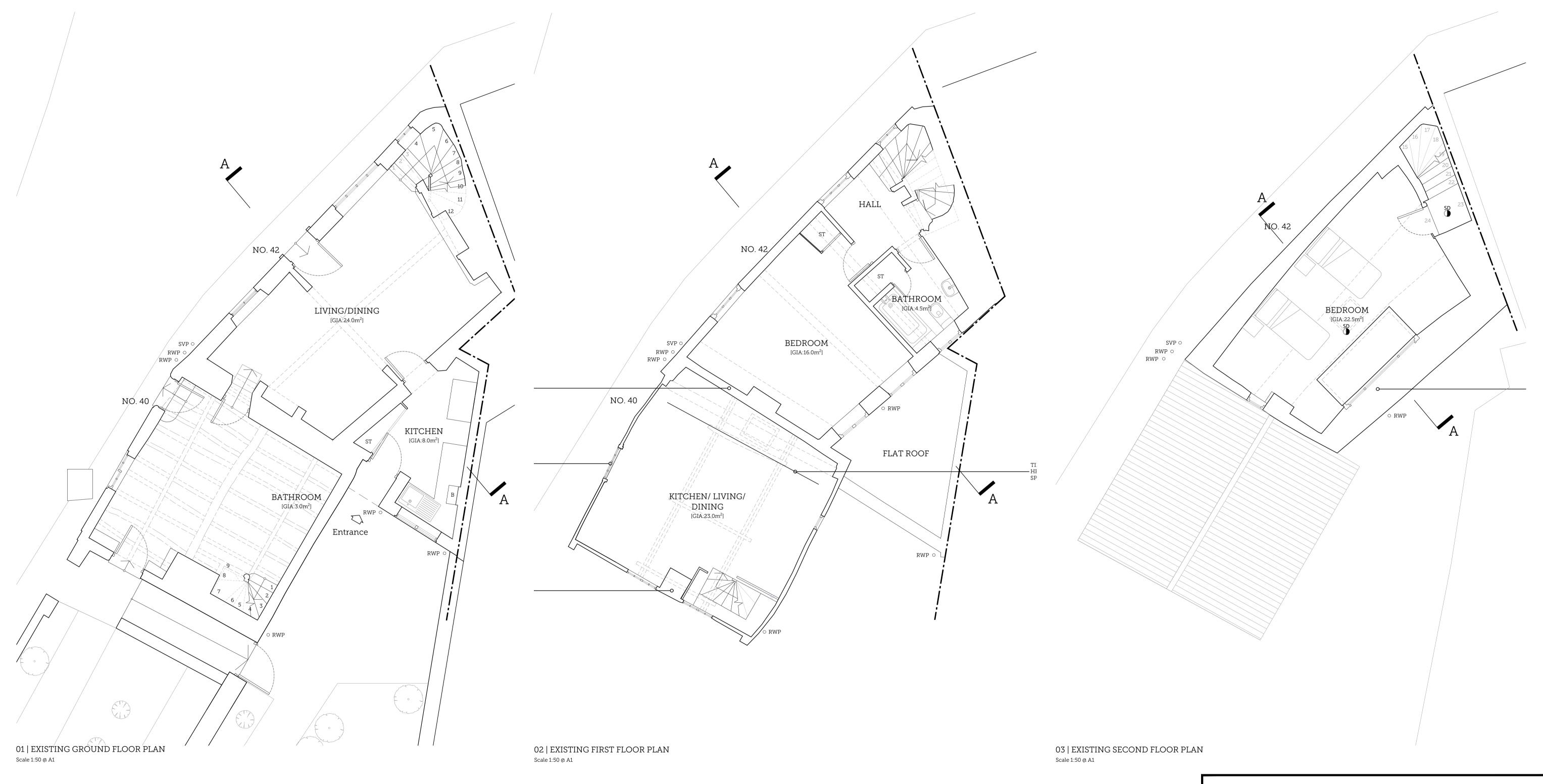


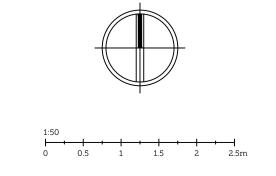
02 | PROPOSED BLOCK PLAN

Scale 1:500 @ A3



PROJECT TITLE:				
	40-42 MICHAI	ELGATE, LINCO	SCORER HAWKINS	
DRAWING TITLE:	SITE LOCATIC	ARCHITECTS Lodge Farm Barns Skendleby, Spilsby		
DRAWING NO:	REVISION:	ISSUE DATE:	SCALE:	Lincolnshire, PE23 4QF
2386-OS	-	04/12/2023	1:1250 1:500	01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk





PLANNING					
DRAWING TITLE:	40-42 MICHAELGATE, LINCOLN			SCORER I-IAWKINS ARCI-IITECTS	
DRAWING NO:	REVISION:	ISSUE DATE:	SCALE:	Skendleby, Spilsby Lincolnshire, PE23 4QF	
2386-EX01	-	04/12/2023	1:50	01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk	



Scale 1:50 @ A1

Scale 1:50 @ A1

PROJECT TITLE:

40-42 MICHAELGATE,
LINCOLN

DRAWING TITLE:

EXISTING ELEVATIONS

DRAWING NO:

REVISION:

ISSUE DATE:

SCALE:

04/12/2023 1:50

SCORER

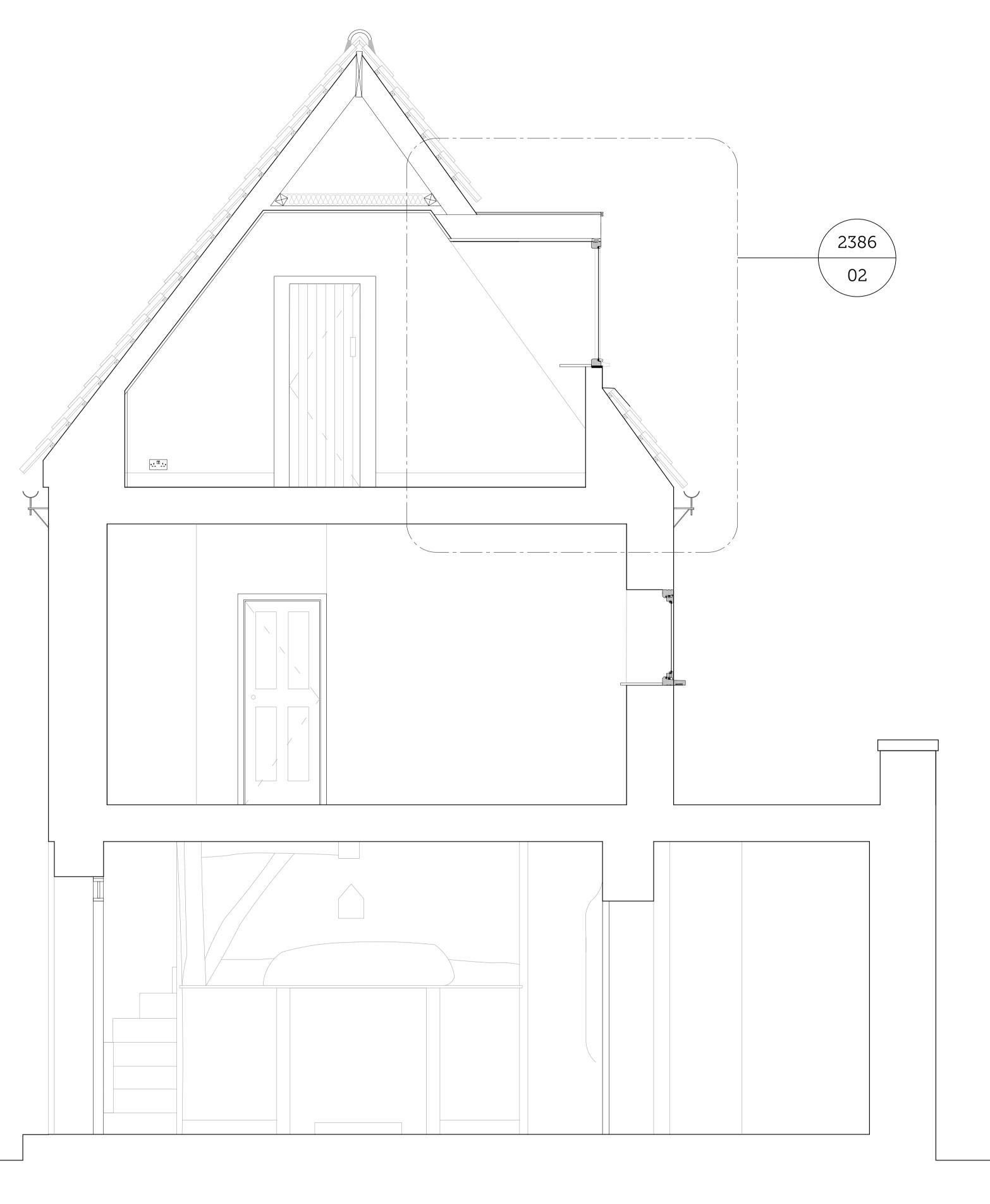
HAWKINS

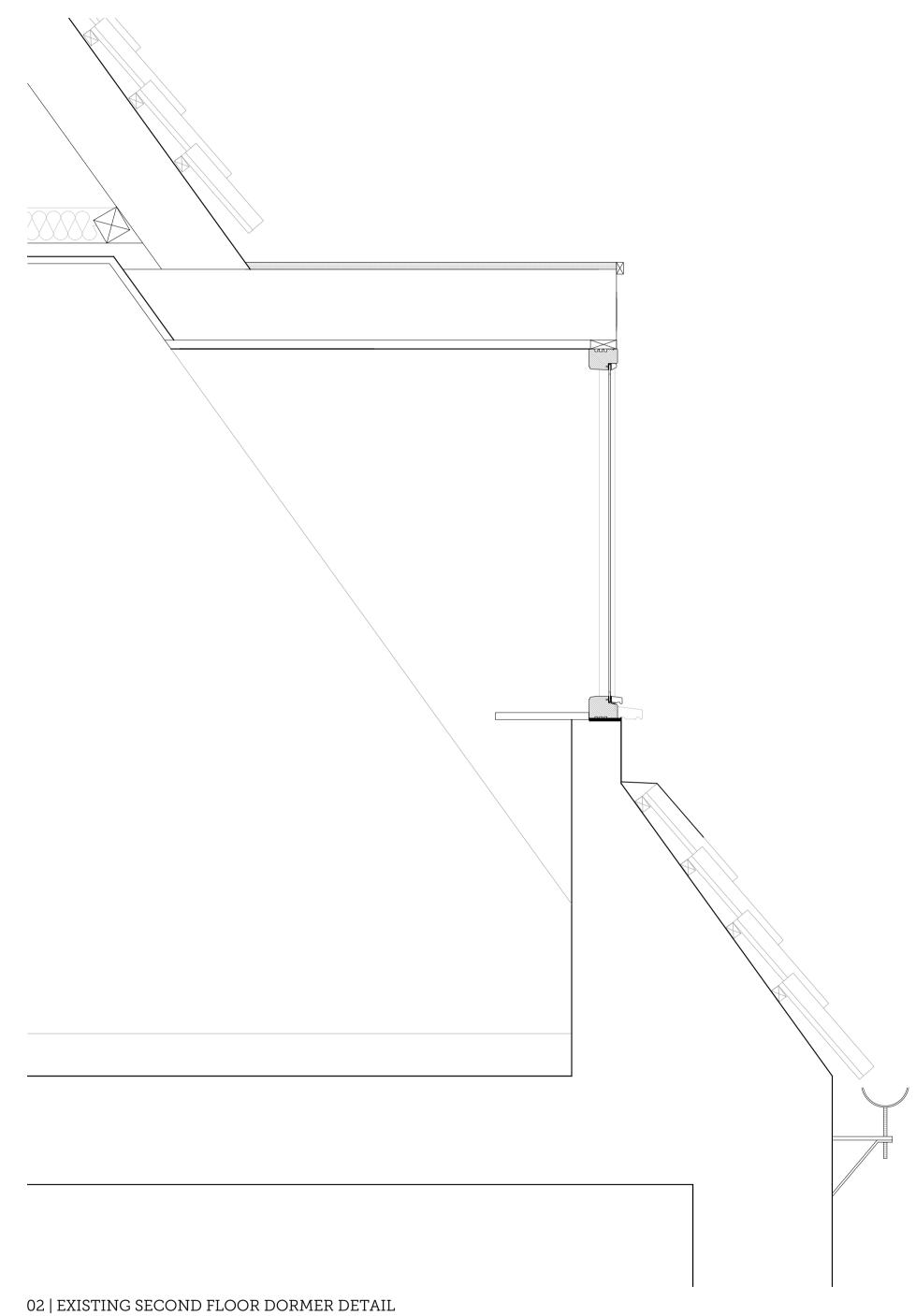
ARCI·IITECTS

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Scale 1:50 @ A1



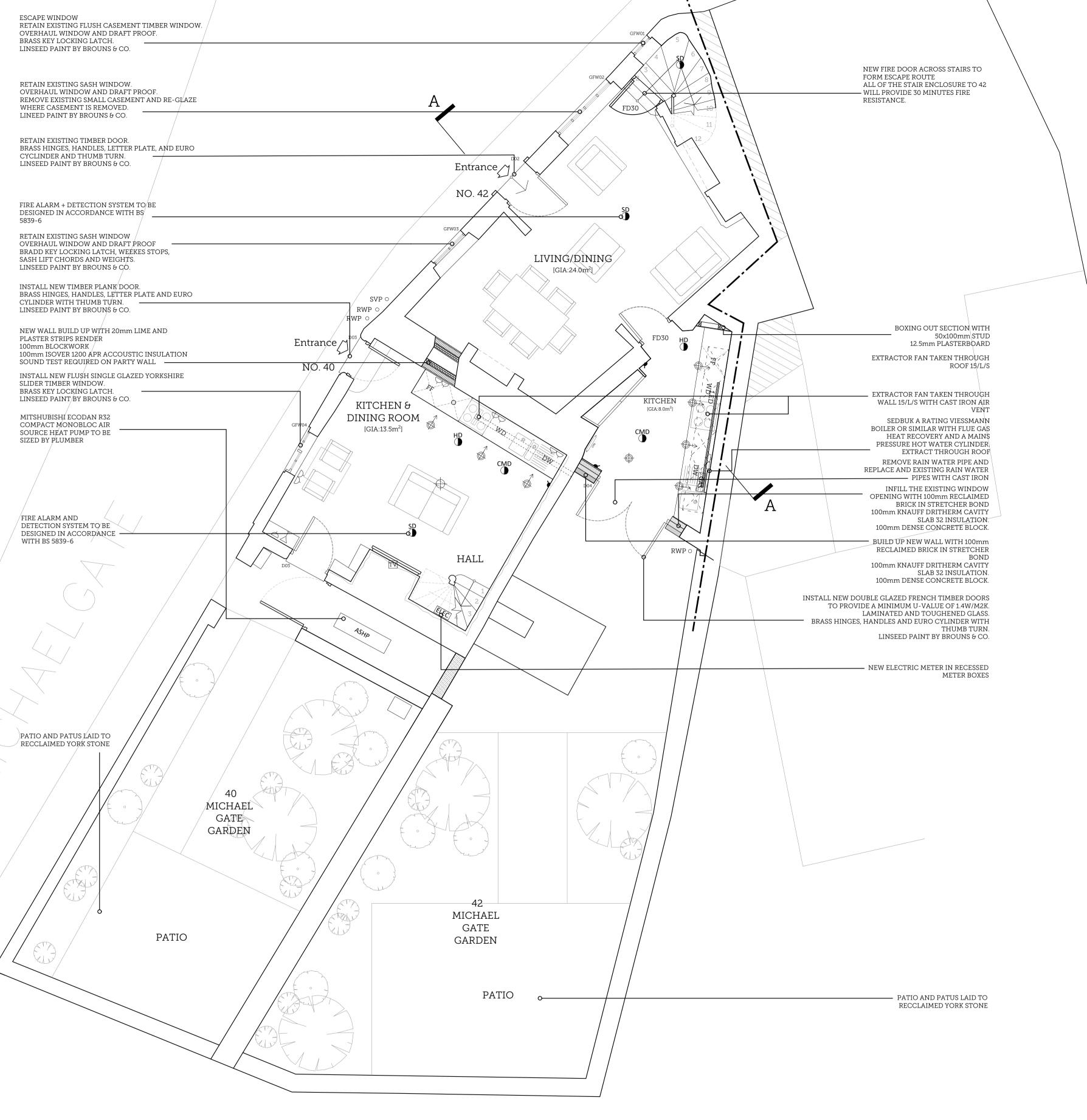


01 | EXISTING SECTION AA

Scale 1:20 @ A1

Scale 1:10 @ A1

		PLAN	NING) J
PROJECT TITLE:	40-42 MIC LINCOLN	HAELGATE	· ,	SCORER HAWKINS
DRAWING TITLE:	EXISTING S	ARCHITECT Lodge Farm Barns Skendleby, Spilsby		
DRAWING NO:	REVISION:	ISSUE DATE:	SCALE:	Lincolnshire, PE23 4QF
2386-EX03	_	04/12/2023	1:10 1:20	01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk



01 | PROPOSED GROUND FLOOR PLAN Scale 1:50 @ A1

GENERAL NOTES		REV. ISSUE DATE DRAWN	REVISION NOTES
1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor.			GAS METER + FIRE PLAN
2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately.		B 30.10.2023 MA	FIRE PLAN
3. All specified items are to be installed in accordance with their manufacturer's recommendations.			
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8.01 WATER EFFICIENCY | PART G

8.01.1 Water efficiency:

Reasonable provision must be made by the installation of fittings and fixed appliances that use water efficiently for the prevention of undue consumption of water.

8.01.02 Water Usage

- WC 4/2.6 litres dual flush
- Shower 8 l/min Bath - 170 litres
- Basin taps 5 l/min
- Sink taps 6 l/min Dishwasher - 1.25 l/place setting
- Washing machine 8.17 l/kilogram

8.02 HOT WATER SAFETY | PART G

8.02.01 Hot water supply:

- There must be a suitable installation for the provision of heated wholesome water or heated softened wholesome water to:

- -- Any washbasin or bidet provided in or adjacent to a room
- containing a sanitary convenience. Any washbasin, bidet, fixed bath and shower in a bathroom; and
- Any sink provided in any area where food is prepared A hot water system, including any cistern or other vessel that supplies water to or receives expansion water from a hot water system, shall be designed, constructed and installed so as to resist the effects of temperature and pressure that may occur either in normal use or in the event of such malfunctions as may reasonably be anticipated, and
- must be adequately supported. A hot water system that has a hot water storage vessel shall incorporate precautions to:
- -- Prevent the temperature of the water stored in the vessel at any
- time exceeding 100 degrees celsius; and Ensure that any discharge from safety devices is safely conveyed to where it is visible but will not cause a danger to persons in or about the building
- The hot water supple to any fixed bath must be so designed and installed as to incorporate measures to enusre that the temperature of the water that can be delivered to that bath does not exceed 48 degrees

9.00 DRAINAGE AND WASTE DISPOSAL | PART H

9.01 All new below ground drainage to be 100mm dia. 'helpsleve' earthenware pipes with proprietary upvc connectors, laid to walls with 100mm concrete encasement all to architect's details and the local authority's approval.

9.02 All new gullies and drain runs to be provided with rodding points at all changes in direction

9.03 All new svp's and stud stacks to be 100mm diameter upvc.

9.04 All stud stacks to be fitted with proprietary air admittance valves.

9.06 All sanitary fittings to have 75mm deep seal traps.

450mm dia. upvc manhole encased in 100mm concrete.

WHB's, showers and sinks - 38mm DIA

9.05 Waste pipes to be sized as follows:

Baths and showers - 38mm DIA WC's - 100mm DIA

W/M's and D/W's - 75mm DIA

9.07 All pipes, fittings and joints to be air pressure tested with a positive

pressure of at lead 38mm water gauge for a minimum of 3 minutes. all traps to maintain a minimum of 25mm water seal. 9.08 Combined and/or over length waste pipes to be 50mm diameter with

anti-syphone device. 9.10 Any new manhole to consist of 225mm semi-engineering brickwork on 150mm thick concrete slab with medium duty recessed manhole cover or

9.11 Sewer connections to be determined by contractor prior to works being carried out.

9.12 Contractor to confirm statutory authority connection points prior to works being carried out.

9.13 All pipes, ducts or services passing through compartment partitions to be fitted with proprietary 1 hour fire collars to architects approval and in accordance with manufacturers recommendations.

9.14 Drainage to BS 8301

9.15 Plumbing to BS 5572

10.00 GAS AND HEATING INSTALLATION | PART J

10.01 All gas installations to be tested upon completion and certified by a gas

safe registered engineer to the local authority's approval.

10.02 All fan assisted flue outlets to terminate a minimum of 150mm from any opening into the building.

10.03 All boilers and heating systems to be tested upon completion and certified by registered engineers to the local authority's approval.

11.00 PROTECTION FROM FALLING, COLLISION AND IMPACT | PART K

11.01 Stairs, ladders and ramps shall be so designed, constructed and installed as to be safe for people moving between different levels in or about the building.

11.02 Constrasting nosing's to be provided to the stair treads/risers.

12.00 CONSERVATION OF FUEL AND POWER | PART L

12.01 Ensure compliance with any SAP or SBEM calculations

13.00 ACCESS | PART M

13.01 All commercial accommodation, residential dwellings and common areas to be constructed with level entrance thresholds to architect's details.

14.00 OVERHEATING | PART O

14.01 Overheating mitigation:

Reasonable provision must be made in respect of a dwelling, institution or any other building containing one or more rooms for residential purposes, other than a room in a hotel ('residences') to-

-- Limited unwated solar gains in summer; Provide an adequate means to remove heat from the indoor

- In meeting the obligations:

-- Account must be taken of the dafety of any occupant, and their reasonable enjoyment of the residence; and

Mechanical cooling may only be used where insufficient heat is capable of being removed from the indoor environment without it

PLANNING

PROJECT TITLE:

40-42 MICHAEGATE, LINCOLN

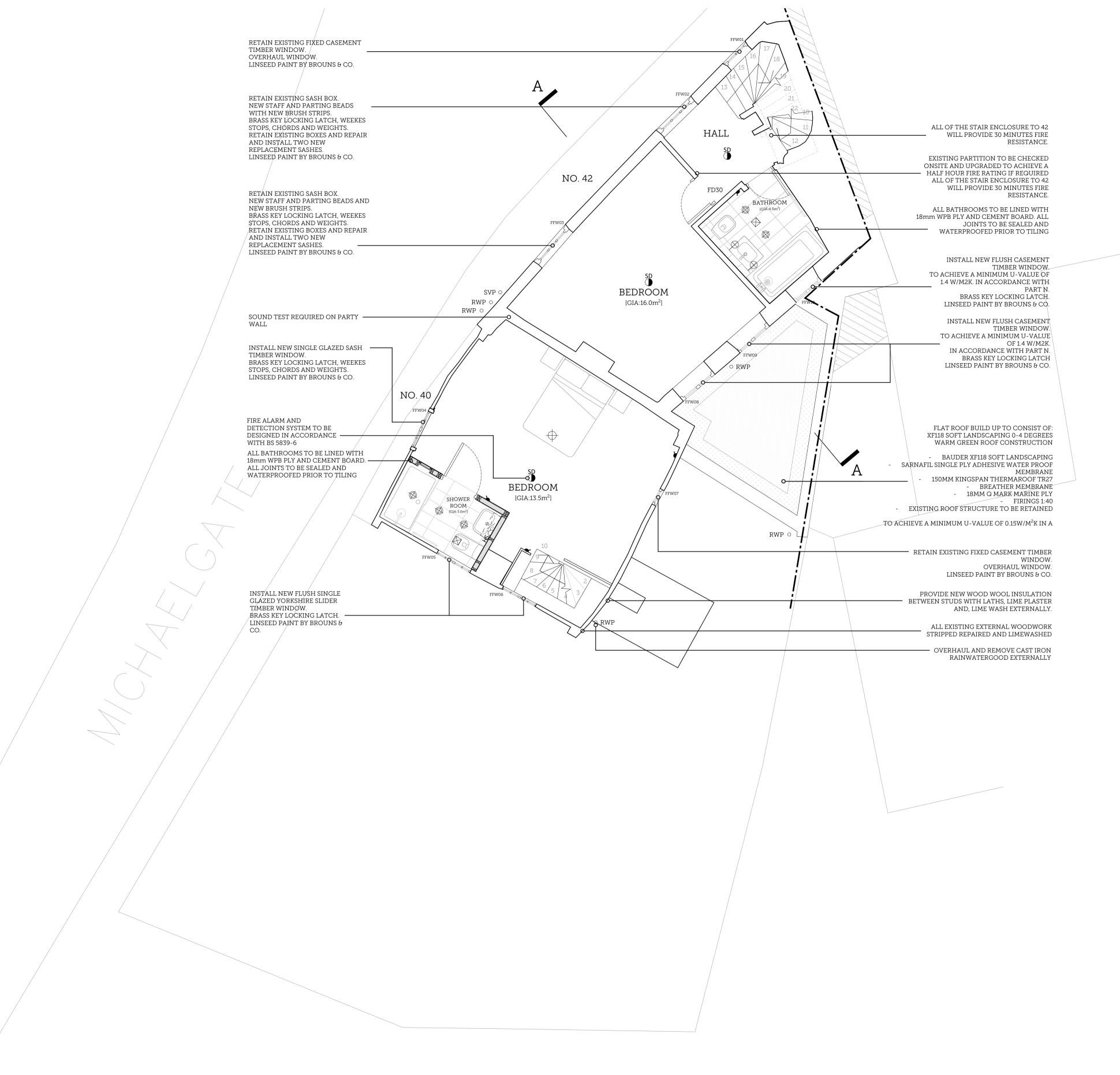
DRAWING TITLE:

PROPOSED GROUND FLOOR

PLAN REVISION: ISSUE DATE:

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DRAWING NO: SCALE: 2386-PP01 04/12/2023 www.scorerhawkins.co.uk

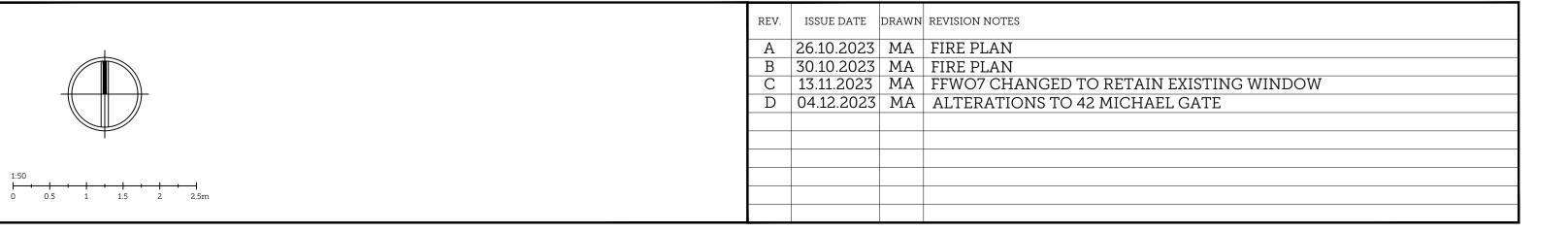


01 | PROPOSED FIRST FLOOR PLAN Scale 1:50 @ A1

GENERAL NOTES

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- ${\it 3. }\ \ {\it All specified items are to be installed in accordance with their manufacturer's recommendations.}$
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1.00 STRUCTURAL | PART A

manufactures approval.

1.01 Refer to structural engineers details.

2.00 FIRE | PART B

- 2.01 All compartment walls, partitions and floors to achieve 1 hour fire resistance in accordance with architects details.
- 2.02 All exposed structural elements to be either i) clad in 2no. layers of 12.5mm fireline board with taped and stagged joints, or ii) painted with intumescent paint and certified in accordance with manufacturer's recommendations, all to achieve minimum 1 hour fire resistance.
- 2.03 All pipes, services passing through compartment partitions to be fitted with proprietary 1 hour fire collars to manufacturers recommendations.
- 2.04 All ventilation routes that pass through compartmental walls to be fitted with ES classified fire and smoke dampers
- 2.05 All pipes, ducts or services passing through compartment floors to be fitted with proprietary 1 hour fire collars to architects approval and in accordance with
- 2.06 Proprietary cavity stops to be installed to all compartment wall and floor junctions in accordance with manufactures approval and in accordance with manufactures
- 2.07 Emergency lighting to the communal stairs and hallways to be tested upto completion and certified by an NICEIC registered electrician to the local authority

recommendations and to the local aut hority approval.

- 2.08 Independent proprietary mains operated smoke alarms, with battery back up, to be
- fitted to architect's approval and in accordance with manufacturer's recommendations.

 2.09 All doors to common parts and lobbies to be half hour fire resistant with self-closers, intumescent strips and smoke seals.
- 2.10 All internal doors to habitable rooms to be half hour fire resistant with self-closers and intumscent strips.

3.00 THERMAL INSULATION | PART L1B

- 3.01 All new ground slab construction to achieve a minimum u-value of 0.18
- 3.02 All new external cavity wall to achieve a minimum u-value of 0.17, typically constructed from:
 100mm local random coursed stone wall with 3:1 mix nhl 3.5 lime mortar and
- course sand, fixed back to:
 High density blockwork to engineers details;
 100mm cavity therm insulation by xtratherm,
- High density blockwork to engineers details;
 Render and skim
- 3.03 All new flat roof construction to achieve a minimum u-value of 0.15
- 3.04 All new pitch roof construction to achieve a minimum u-value of 0.16 if insulated at ceiling level or 0.16 if insulated at rafter level
- 3.05 All the above to be in accordance with architect's details, manufacturers' recommendations and local authority approval.

4.00 SITE PREPARATION AND RESISTANCE TO CONTAMINATES AND MOISTURE

- 4.01 All existing masonary to be tested for the presence of damp. review any need for
- remedial work if high levels present.
- 4.02 All existing and new timbers to be treated against wood-boring insects and fungal attack
- 4.03 Vertical dpcs to all new windows and doors and to be sealed around perimeter with silicone sealant

5.00 TOXIC SUBSTANCES | PART D

5.01 If insulating material is inserted into a cavity wall, reasonable precaution shall be taken to prevent the subsequent permeation of any toxic fumes from the material into any part of the building occupied by people

6.00 SOUND INSULATION | PART E

- 6.01 All compartment walls, partitions and floors to be constructed in accordance with architect's details to achieve sound insulation in accordance with building regulations part e and odpm robust standard details.
- 6.02 All floors joists to be hung on proprietary joist hangers to prevent flanking transmission.
- 6.03 All pipes, ducts or services passing through compartment floors and partitions to be wrapped in 25mm unfaced mineral wool and enclosed within 12.5mm plasterboard boxing.
- 6.04 Provision to be included for sound testing to residential accommodation upon completion, in accordance with local authority requirements.

7.00 VENTILATION | PART F

- 7.01 Openable window area to habitable rooms to be minimum of 1/20th of the floor area
- 7.02 Background ventilation to be provided to all habitable rooms by wear stops rather than trickle vents.
- 7.03 All kitchens to be provided with mechanical ventilation at a rate of 30 litres per
- 7.04 All bathrooms and WC to be provided with mechanical ventilation at a rate of 15 litres per second.
- 7.05 All bathrooms and WC without openable windows to be provided with mechanical ventilation linked to the main light switch with a 15 minute overrun and external

8.00 COLD WATER SUPPLY | PART G

- 8.01 Cold water supply:
- There must be a suitable installation for the provision of:
 Wholesome water to any place where drinking is drawn off;
- -- Wholesome water or softened wholesome water to any washbasin or bidet provided in or adjacent to a room containing a sanitary convenience;
- -- Whole some water or softened wholesome water to any washbasin, bidet, fixed bath or shower in a bathroom; and
- Wholesome water to any sink provided in any area where food in prepared.
 Where must be a suitable installation for the provision of water of suitable quality to
- Where must be a suitable installation for the provision of water of suitable qual any sanitary convenience fitted with a flushing device.

PLANNING

PROJECT TITLE:

40-42 MICHAEGATE, LINCOLN

DRAWING TITLE:

PROPOSED FIRST FLOOR PLAN

DRAWING NO: REVISION: ISSUE DATE: SCALE:

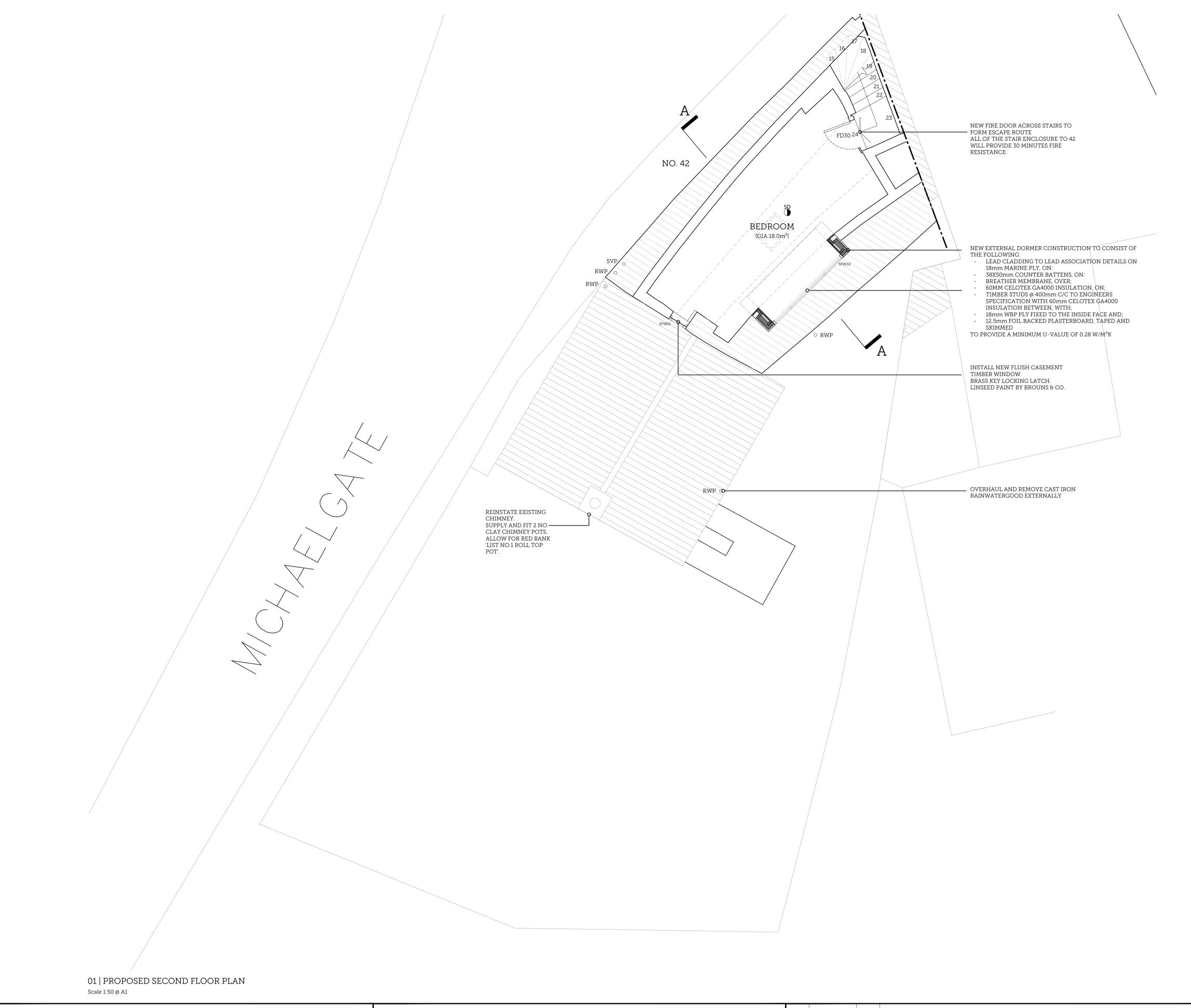
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GENERAL NOTES

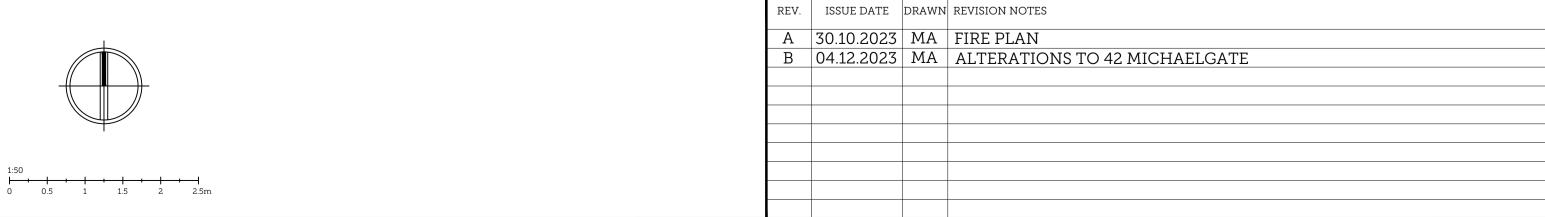
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15.00 ELECTRICAL SAFETY | PART P

15.01 All electrical installations to be tested upon completion by a niceic

15.02 As-built electrical schematic plans to be provided upon completion for inculsion within the building 'operation and maintenance manuals'

15.03 Electrical detailed design to be prepared by the main contractor for the architects approval.

15.04 Allow for power supplies to be following kitchen appliances: i) Fridge/freezer

ii) Electric ovens
iii) Extractor
iv) Electric heb (in

iv) Electric hob (induction)
v) Microwave oven

v) Microwave oven vi) Washer/dryer vii) Dishwasher

15.05 Allow for power supply and wiring to boilers, including programmer and room heatmiser thermostats.

15.06 Allow for power supply to external isolating switch to bathroom extract fans.

15.07 Allow for 1no. shaver socket to each bathroom.

15.08 All lighting to bathrooms above baths, shower and whb's to IP rated

15.09 Allow for wiring for terrestrial and cable television.

15.10 Allow for telephone wiring to hub point

15.11 100% of all lighting will incorporate a rated energy efficient luminaries.

16.00 SECURITY | PART Q

16.01 Reasonable provision must be made to resist unauthorised access to-

-- Any dwelling; and -- Any part of a building from which access can be gained to a flat

within the building

equipped with a high-speed-ready in-building physical infrastructure, up to

17.00 PHYSICAL INFRASTRUCTURE FOR HIGH SPEED ELECTRONIC COMMUNICATIONS NETWORKS | PART R

17.01 Building work must be carried so as to ensure that the building is

a network termination point for high-speed electronic communications networks

17.02 Where the work concerns a building containing more then one dwelling, the work must be carried out so as to ensure that the building is

equipped in addition with a common access point for high-speed electronic communications networks.

18.00 INFRASTRUCTURE FOR THE CHARGING OF ELECTRONIC VEHICLES | PART S

18.01 A new residenital building with associated parking must have access to electric vehicle charge points

18.02 The number of associated parking spaces which have access to electric

vehcile charge points much be

The total number of associated parking spaces, where there are fewer

associated parking spaces than there are dwellings contained in the residential building; to
The number of associated parking spaces that is equal to the total

number of dwellings contained in the residential building, where there are the same number of associated parking spaces as, or more associated parking spaces than, there are dwellings

18.03 Cable routes for electric vehicle charge points must be installed in any associated parking spaces which do not have an electric vehicle charge point

- A new residential building has more than 10 associated parking spaces;

 There are more associated parking spaces than there are dwellings contained in the residential building

19.00 MATERIALS AND WORKMANSHIP | PART 7

19.01 Building work shall be carried out:

With adequate and proper materials which:
 Are appropriate for the circumstances in which they are used

Are adequately mixed or prepared, and
 Are applied, used or fixed so as adequately to perform the

Are applied, used or fixed so as adequately to perform functions for which they are designed; and
 In workmanlike manner

20.00 DOORS AND GLAZING

20.01 All windows to be double or triple glazed sealed units made up from minimum 4 mm planflux float clear glass with a 28mm black spacer sandwiched by 4mm planitherm float clear with an argon filled cavity, to achieve a minimum u-value of 1.6 to specialist glaziers details

20.02 All windows to be fitted with integrated overhead trickle ventilators.

20.05 Toughened glass is to be fitted to all doors and side panels between finished floor level and 1500mm above ffl. all windows between finished floor level and 800mm above ffl must also be toughened in accordance with part n and to the local authority's approval.

20.06 All opening lights and doors are to be fitted with ironmongery with integrated locks to the architects approval.

20.07 All opening lights are to be fitted with friction hinges, openable to allow external cleaning from inside.

20.08 All new external doors are to achive a minimum u value of 1.6.

PLANNING

PROJECT TITLE:

40-42 MICHAEGATE, LINCOLN

DRAWING TITLE:

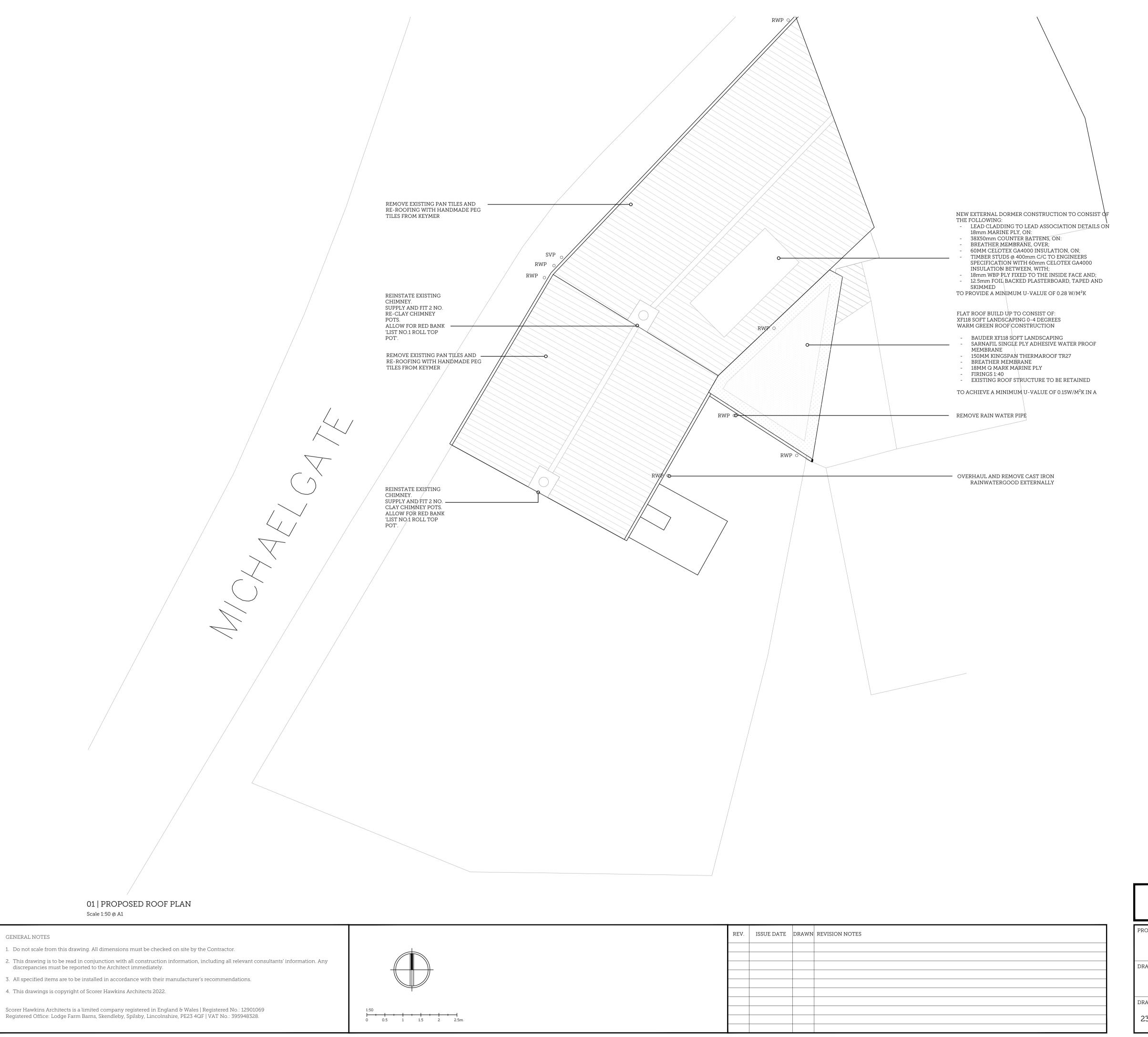
PROPOSED SECOND FLOOR PLAN.

DRAWING NO: REVISION: ISSUE DATE: SCALE:

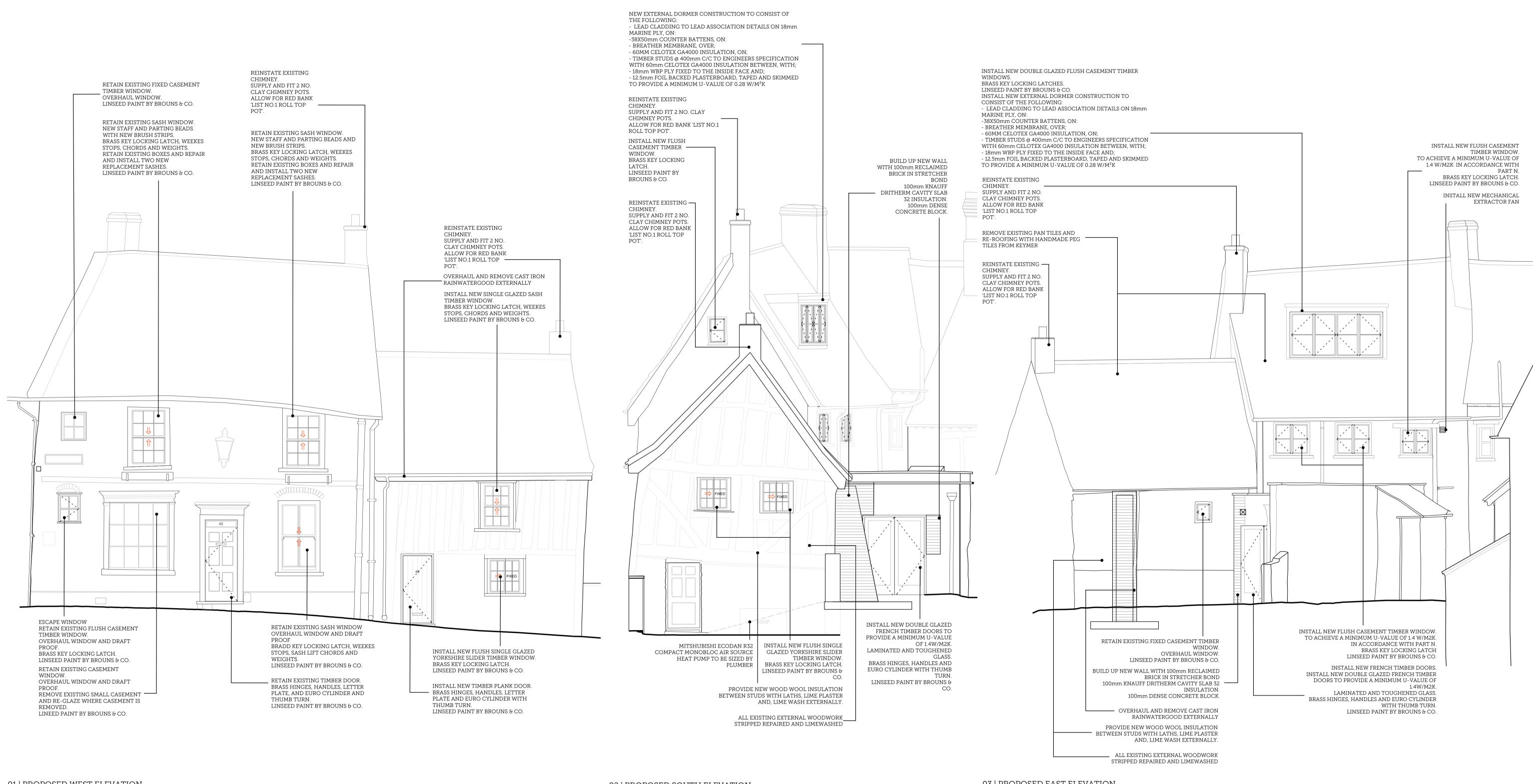
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HAWKINS ARCHITECTS

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PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN DRAWING TITLE: PROPOSED ROOF PLAN. DRAWING NO: REVISION: ISSUE DATE: 04/12/2023 1:50 SCORER I-AWKINS ARCI-IITECTS Lodge Farm Barns Skendleby, Spilsby Lincolnshire, PE23 4QF 01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk



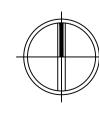
01 | PROPOSED WEST ELEVATION Scale 1:50 @ A1

02 | PROPOSED SOUTH ELEVATION Scale 1:50 @ A1

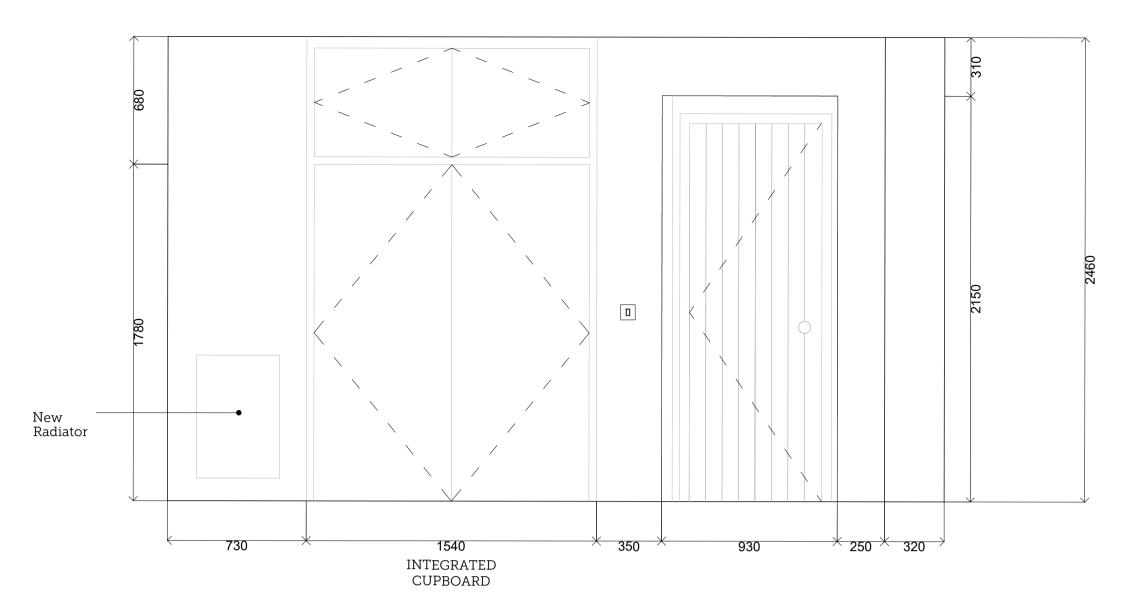
03 | PROPOSED EAST ELEVATION

Scale 1:50 @ A1

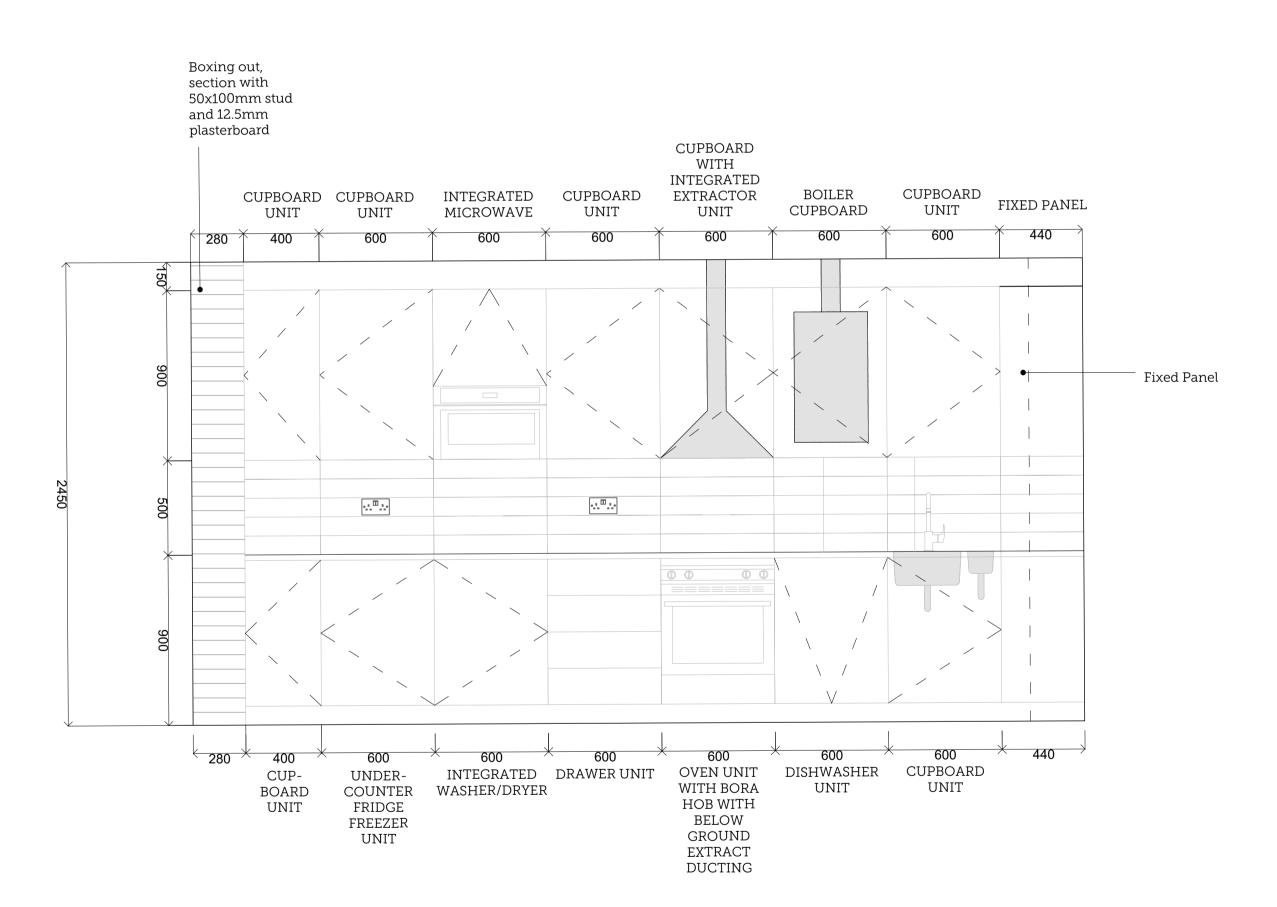
PLANNING PROJECT TITLE: 40-42 MICHAELGATE, LINCOLN DRAWING TITLE: PROPOSED ELEVATIONS Lodge Farm Barns Skendleby, Spilsby Lincolnshire, PE23 4QF DRAWING NO: REVISION: ISSUE DATE: SCALE: 01754 890089 projects@scorerhawkins.co.uk 2386-PP05 04/12/2023 www.scorerhawkins.co.uk



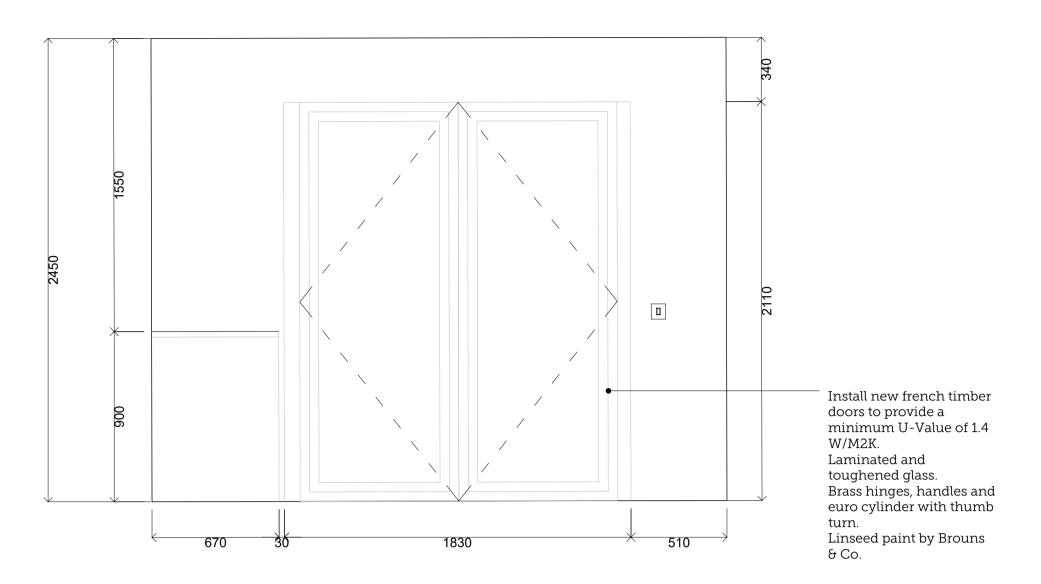
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02 | PROPOSED SECTION CC Scale 1:20 @ A1

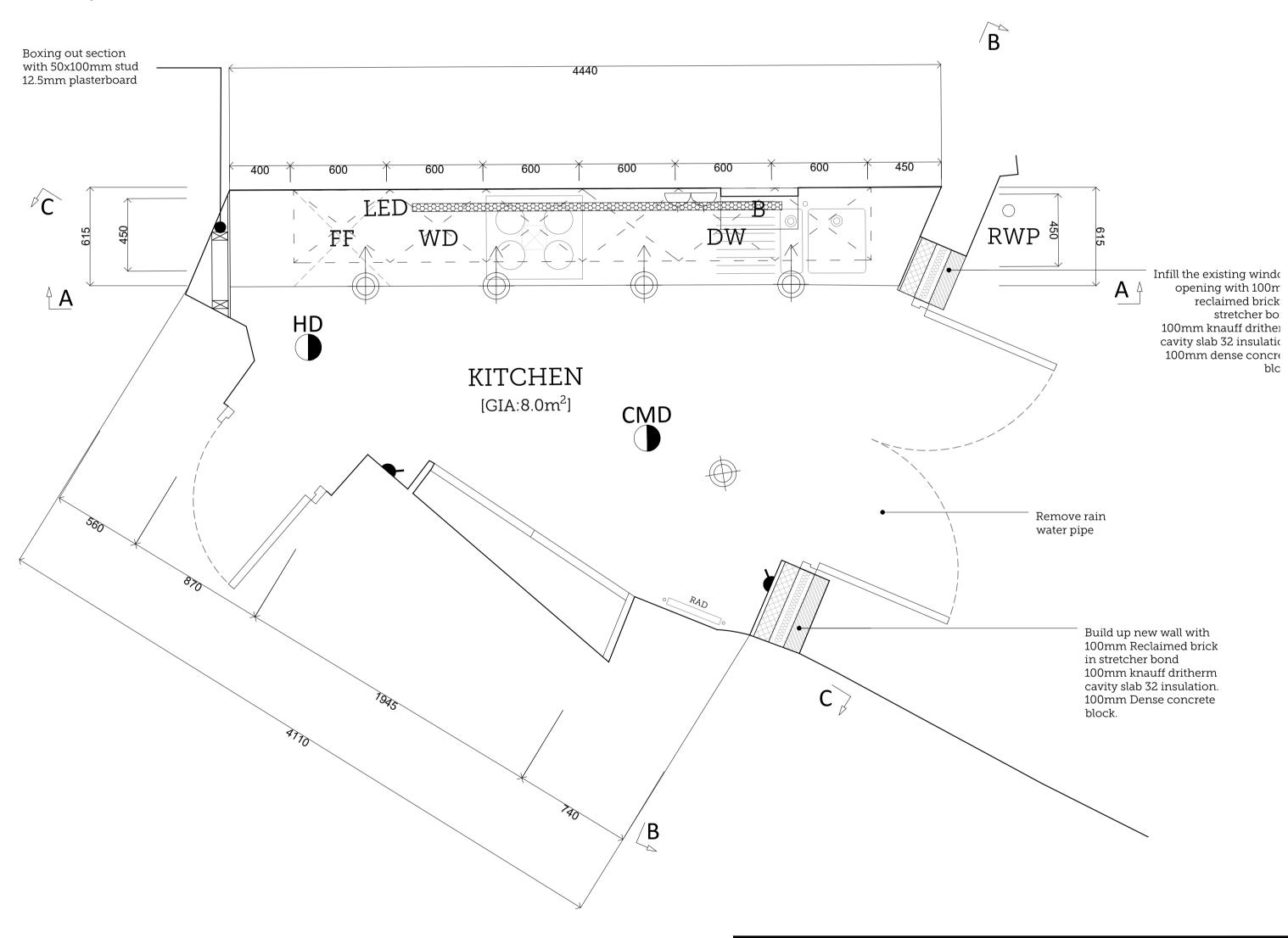


05 | PROPOSED SECTION AA Scale 1:20 @ A1



04 | PROPOSED SECTION BB

Scale 1:20 @ A1

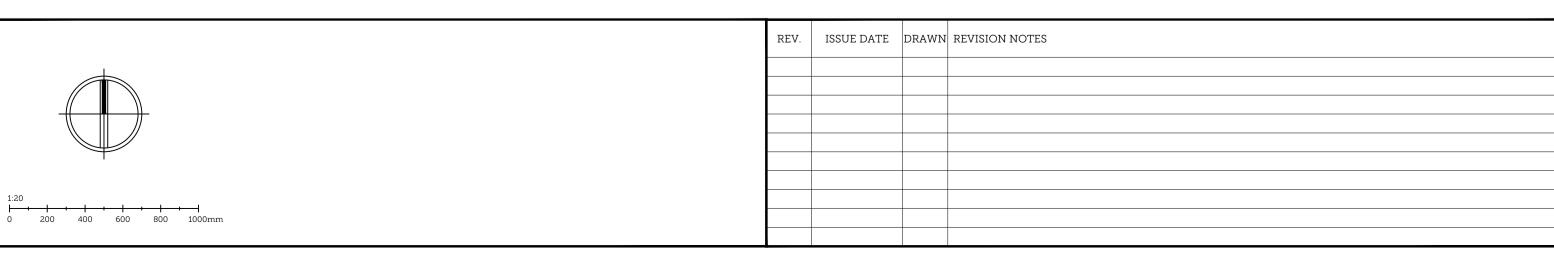


01 | PROPOSED GROUND FLOOR KITCHEN Scale 1:20 @ A1

GENERAL NOTES

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PLANNING

PROJECT TITLE:

40-42 MICHAEGATE, LINCOLN

DRAWING TITLE:

PROPOSED GROUND FLOOR

KITCHEN

DRAWING NO: REVISION: ISSUE DATE: SCALE:

2386-PP06

- 04/12/2023 1:20

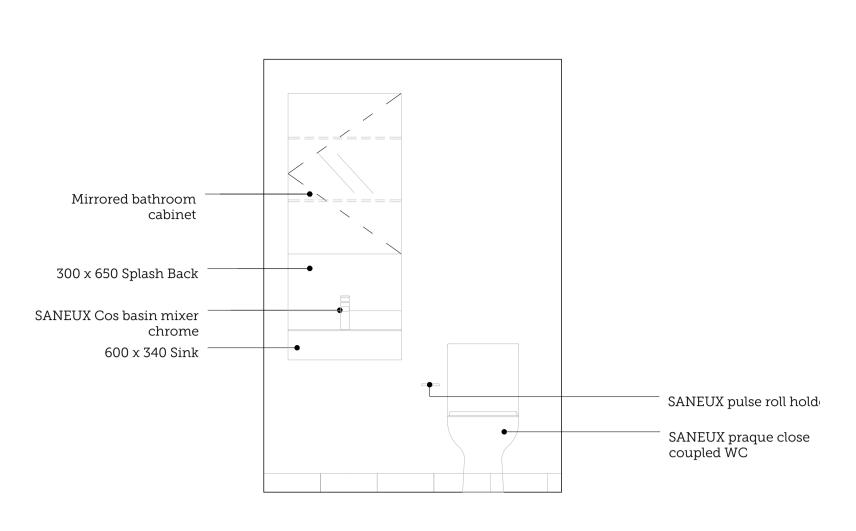
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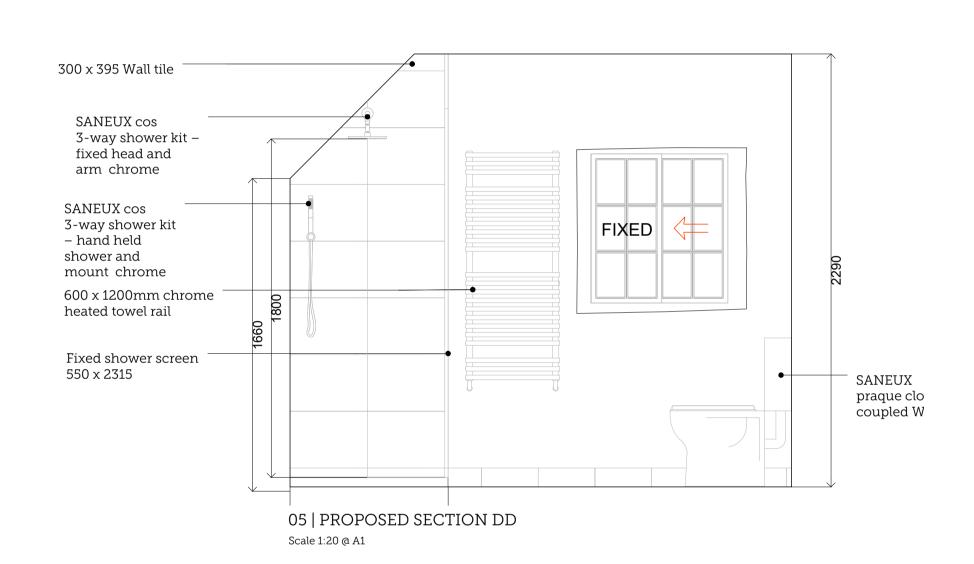
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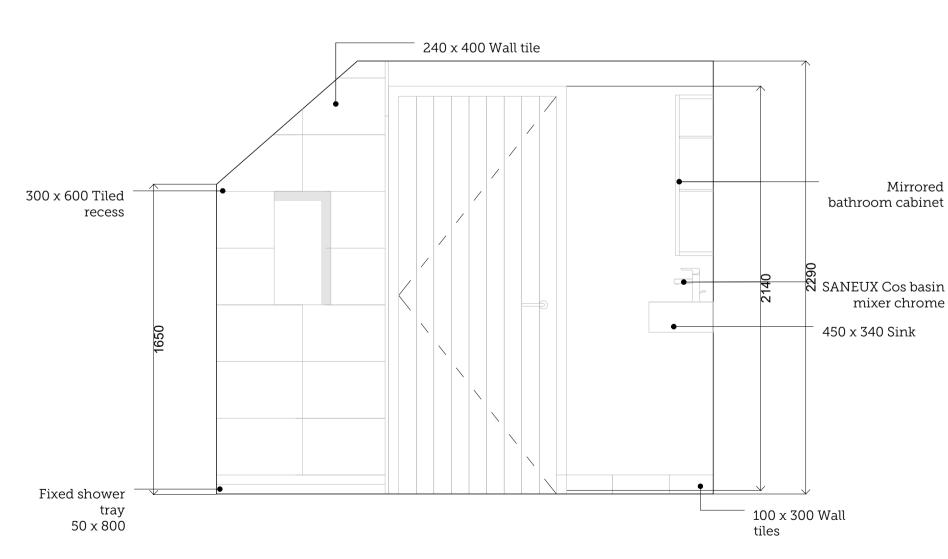
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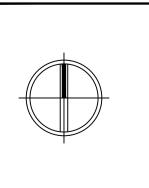


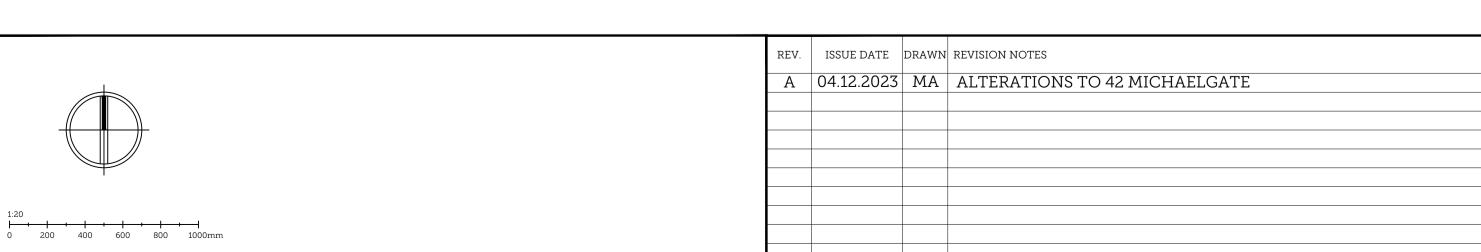
02 | PROPOSED SECTION AA Scale 1:20 @ A1

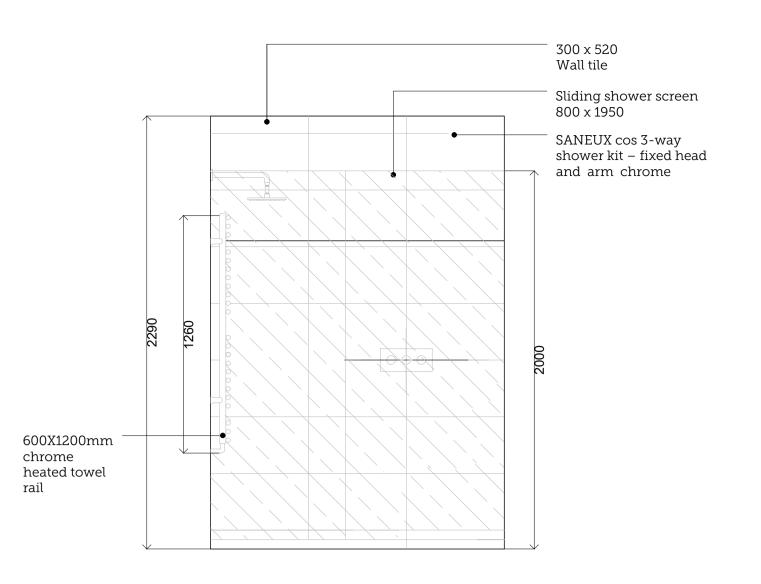




04 | PROPOSED SECTION CC Scale 1:20 @ A1







03 | PROPOSED SECTION BB Scale 1:20 @ A1

60 x 300 Tiled recess SHOWER ROOM [GIA:3.0m²]SANEUX Cos basin mixer chrome **△ C** Build up new wall with 50x100mm Stud $\sqrt{\mathbf{D}}$ 12.5mm Plasterboard 100mm Insulation SANEUX cos All bathrooms to be 3-way shower kit lined with 18mm wpb ply and cement board. fixed head and arm chrome all joints to be sealed and waterproofed prior to tiling В $_{\perp}A$ 600X1200mm SANEUX praque close chrome coupled WC heated SANEUX cos 3-way towel rail shower kit - fixed head and arm 01 | PROPOSED GROUND FLOOR SHOWER ROOM chrome

 $\sqrt{\mathbf{D}}$

Scale 1:20 @ A1

60 x 300 Tiled recess

SANEUX cos

arm chrome

600X1200mm

chrome

heated

towel rail

fixed head and

3-way shower kit -

1. All tiled walls lo bath and shower to be lined with 12mm Hardieback: er 500 cement based board or similar approved. Plasterboard to these walls omitted. All joints to be taped and filled in accordance with manufach. Jrer's recommendations

SHOWER

ROOM

[GIA:3.0m²]

01 | PROPOSED GROUND FLOOR SHOWER ROOM M&E

 $B \cup A$

2. All boxing-out ta conceal WC cistern to consist of 12mm Hardiebacker 500 cement based board or similar approved (Use 18mm wbp ply behind sink and we) on 50x50mm s/w

3. 'Ditra matting' by schluter systems (T:01530.813.396), or similar approved, to be used beneath all floor tiles laid over timber sub-structure.

4. FLOOR TILES TO TERMINATE CENTRE LINE OF DOOR. floor tiles to terminate against stainless steel angle, and be flush with floor finishes to adjacent room*.

5. All wall-hung WC's and cisterns to be supported on proprietary steel frame by Gerberit or similar approved, securely fixed to walls and floor.

6. All basins mounted directly on s/w noggins.

7. Cross-bracing to boxing out to concealed cistern.

8. 3 coats of matt sealer to all solid or veneered MDF.

9. All wall, partition and floor junctions to be pointed, vertically and horisonally, with waterproof mastic sealer prior to tiling.

10. All wall/partition junctions with shower trays and baths to be pointed with waterproof mastic sealer; baths to be filled with water prior to pointing.

SANEUX Cos basin

Build up new wall with

mixer chrome

12.5mm Plasterboard 100mm Insulation

All bathrooms to be

lined with 18mm wpb

ply and cement board. all joints to be sealed

and waterproofed prior

SANEUX praque close

SANEUX cos 3-way

shower kit – fixed head and arm

to tiling

chrome

coupled WC

50x100mm Stud

11. All ducting/boxing to bathrooms to be set out to suit tile dimensions; tile samples to be obtained for use on site during setting out.

12. Panels of sample floor and wall tiling to be prepared for architect's approval prior to commencement of bathroom joinery; sample panels to include floor/wall skirting junction; mosaic/tile vertical 90°internal and external junction.

13. Bathroom cabinets to be constructed to accommodate mirrored finish flush with tile finishes.

14. WC's and WHB's to be removed following first fix installation and tiling to be continuous behind; WC's and WHB's to be refixed following tiling with an appropriate packing piece to avoid cracking tiles.

15. All limestone tiles to be presealed with lithofin stainstop W (1 coat), when dry and after grouting, lithofin stainstop MN

16. Matching controls to towel warmer, including projecting sections of pipework. ie Chrome, Brass or steel

PLANNING

PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN

DRAWING TITLE: PROPOSED FIRST FLOOR SHOWER ROOM

DRAWING NO: REVISION: ISSUE DATE: SCALE: 2386-PP07 04/12/2023

Lodge Farm Barns Skendleby, Spilsby Lincolnshire, PE23 4QF

projects@scorerhawkins.co.uk

www.scorerhawkins.co.uk

01754 890089

GENERAL NOTES

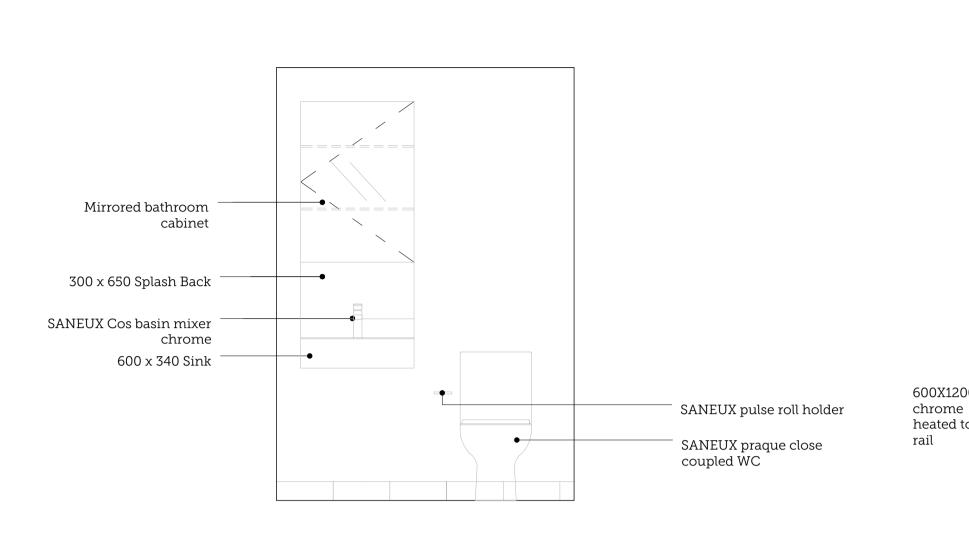
1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor.

2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately.

3. All specified items are to be installed in accordance with their manufacturer's recommendations.

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02 | PROPOSED SECTION AA

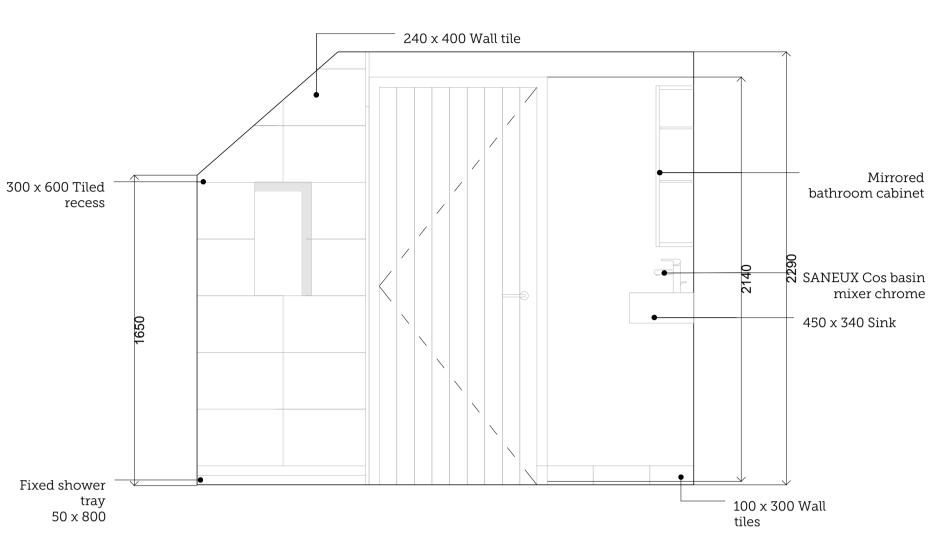
Scale 1:20 @ A1

300 x 520
Wall tile
Sliding shower screen 800 x 1950
SANEUX cos 3-way shower kit – fixed head and arm chrome

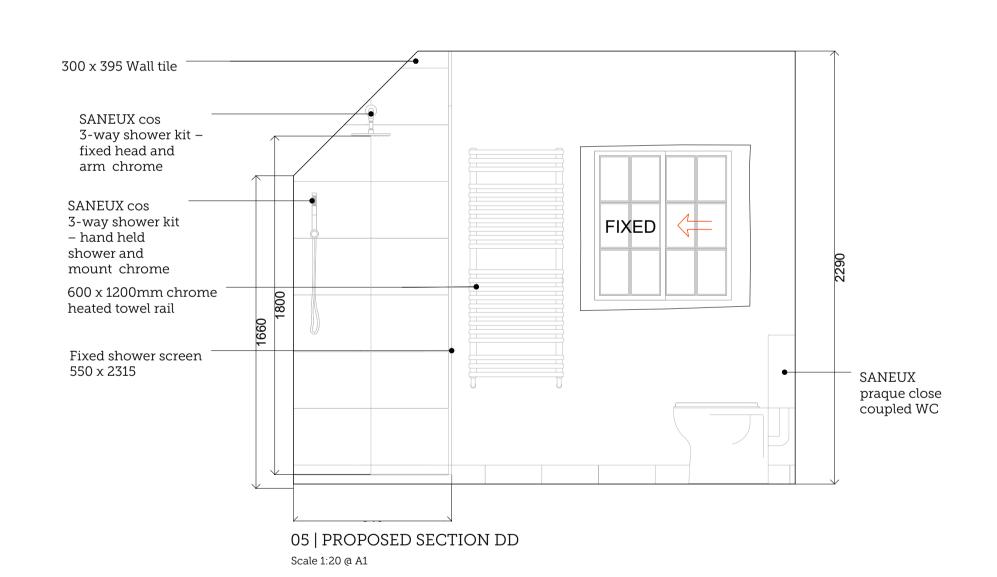
600X1200mm chrome heated towel rail

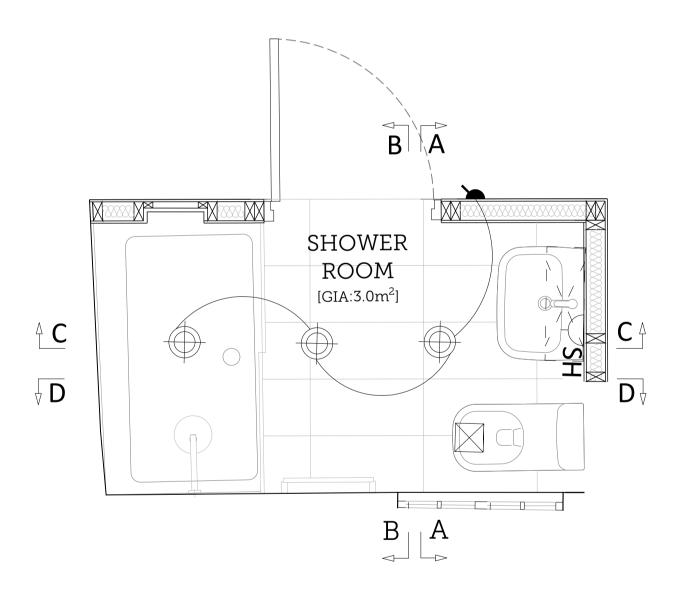
03 | PROPOSED SECTION BB

Scale 1:20 @ A1



04 | PROPOSED SECTION CC Scale 1:20 @ A1





01 | PROPOSED GROUND FLOOR SHOWER ROOM M&E Scale 1:20 @ A1

NOTES

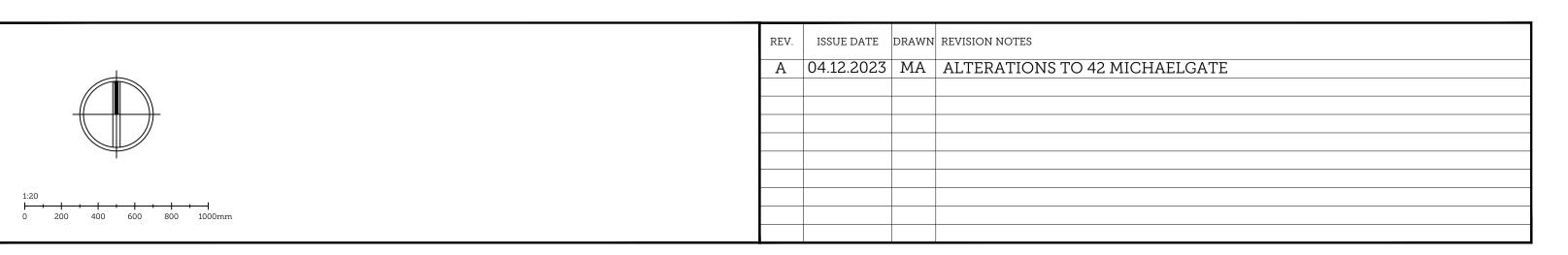
- 1. All tiled walls lo bath and shower to be lined with 12mm Hardieback:er 500 cement based board or similar approved. Plasterboard to these walls omitted. All joints to be taped and filled in accordance with manufach. Jrer's recommendations.
- 2. All boxing-out ta conceal WC cistern to consist of 12mm Hardiebacker 500 cement based board or similar approved (Use 18mm wbp ply behind sink and we) on 50x50mm s/w tanalised battens.
- 3. 'Ditra matting' by schluter systems (T:01530.813.396), or similar approved, to be used beneath all floor tiles laid over timber sub-structure.
- 4. FLOOR TILES TO TERMINATE CENTRE LINE OF DOOR. floor tiles to terminate against stainless steel angle, and be flush with floor finishes to adjacent room*.
- 5. All wall-hung WC's and cisterns to be supported on proprietary steel frame by Gerberit or similar approved, securely fixed to walls and floor.
- 6. All basins mounted directly on s/w noggins.
- 7. Cross-bracing to boxing out to concealed cistern.
- 8. 3 coats of matt sealer to all solid or veneered MDF.

- 9. All wall, partition and floor junctions to be pointed, vertically and horisontally, with waterproof mastic sealer
- 10. All wall/partition junctions with shower trays and baths to be pointed with waterproof mastic sealer; baths to be filled with water prior to pointing.
- 11. All ducting/boxing to bathrooms to be set out to suit tile dimensions; tile samples to be obtained for use on site during setting out.
- 12. Panels of sample floor and wall tiling to be prepared for architect's approval prior to commencement of bathroom joinery; sample panels to include floor/wall skirting junction; mosaic/tile vertical 90°internal and external junction.
- 13. Bathroom cabinets to be constructed to accommodate mirrored finish flush with tile finishes.
- 14. WC's and WHB's to be removed following first fix installation and tiling to be continuous behind; WC's and WHB's to be refixed following tiling with an appropriate packing piece to avoid cracking tiles.
- 15. All limestone tiles to be presealed with lithofin stainstop W (1 coat), when dry and after grouting, lithofin stainstop MN (3 coats).
- 16. Matching controls to towel warmer, including projecting sections of pipework. ie Chrome, Brass or steel

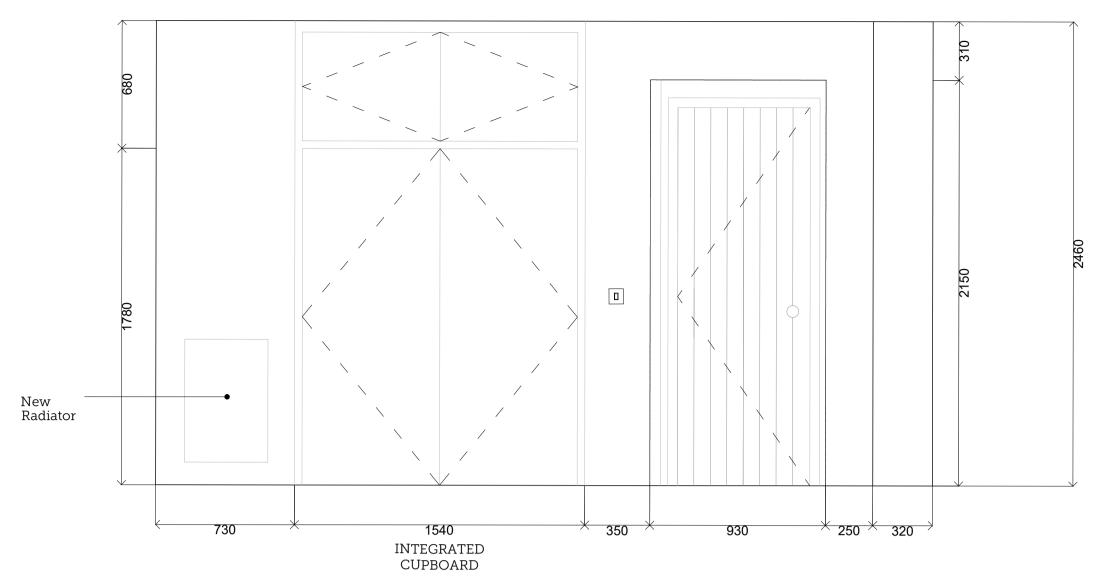
GENERAL NOTES

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- 2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately.
- ${\it 3. }\ \ {\it All specified items are to be installed in accordance with their manufacturer's recommendations.}$
- 4. This drawings is copyright of Scorer Hawkins Architects 2022.

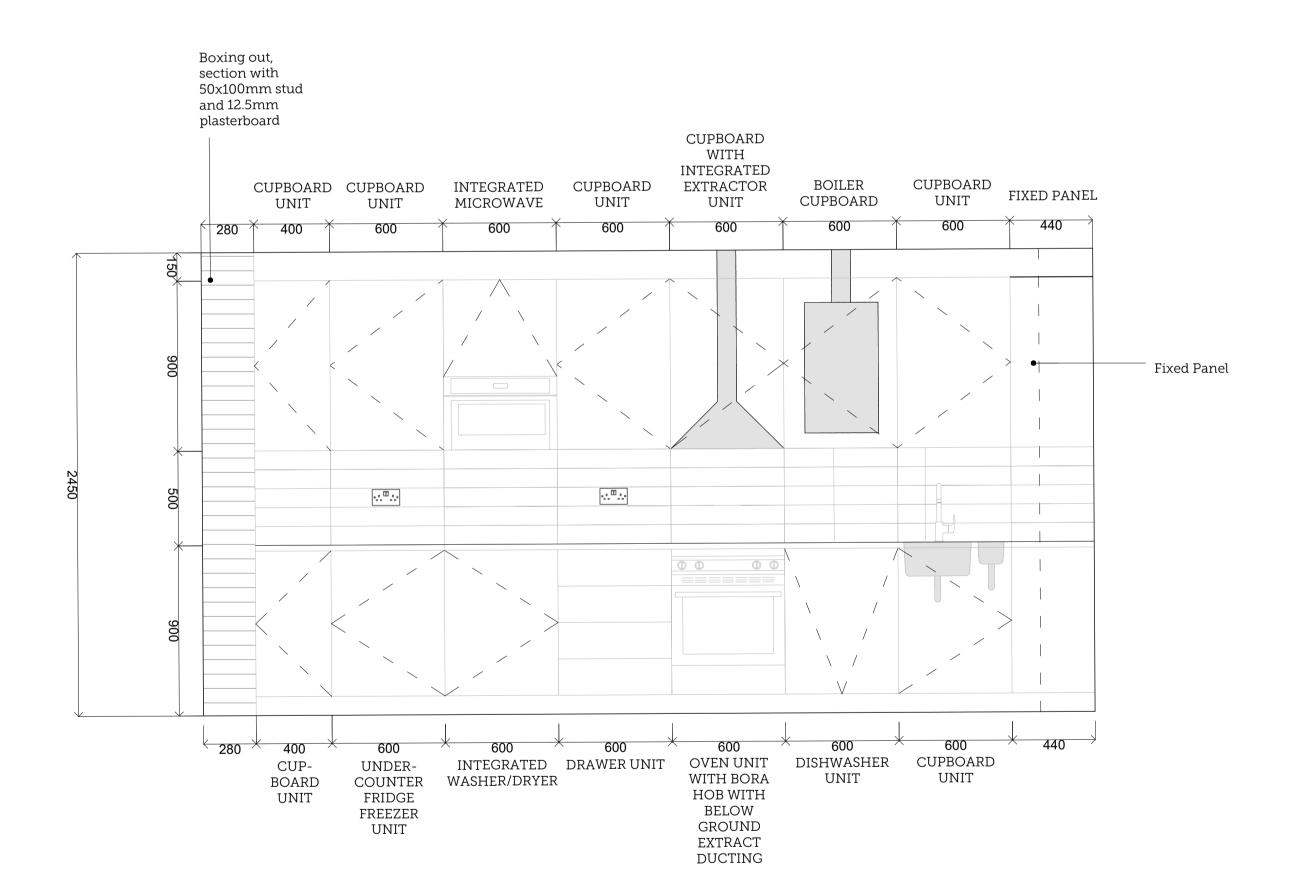
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PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN DRAWING TITLE: PROPOSED FIRST FLOOR SHOWER ROOM M&E DRAWING NO: REVISION: ISSUE DATE: 2386-PP08 A 04/12/2023 1:20 SCORER I-AWKINS ARCI-IITECTS Lodge Farm Barns Skendleby, Spilsby Lincolnshire, PE23 4QF 01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk

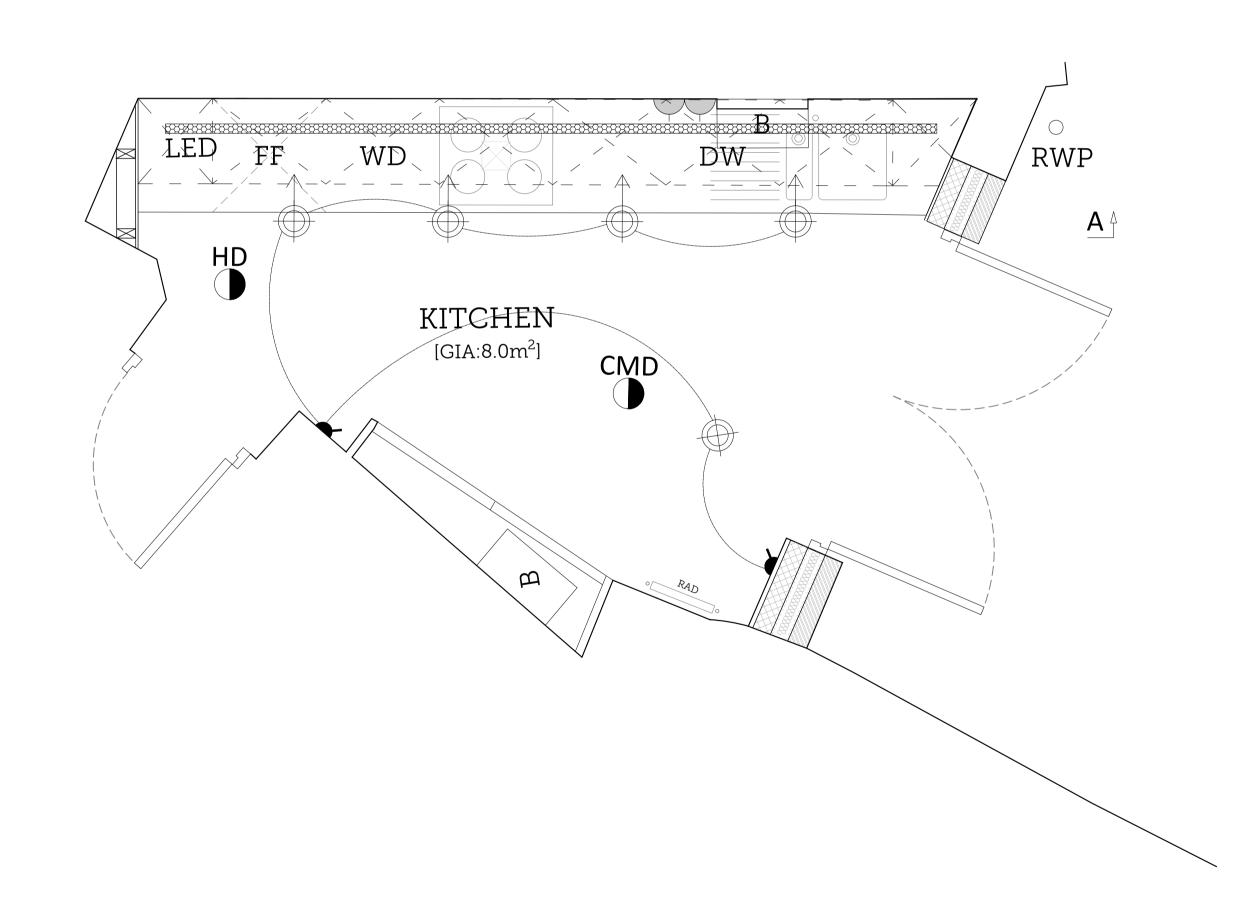


02 | PROPOSED SECTION CC Scale 1:20 @ A1



05 | PROPOSED SECTION AA Scale 1:20 @ A1 Install new french timber doors to provide a minimum U-Value of 1.4 W/M2K. Laminated and toughened glass. Brass hinges, handles and euro cylinder with thumb turn. Linseed paint by Brouns 6 Co.

04 | PROPOSED SECTION BB Scale 1:20 @ A1

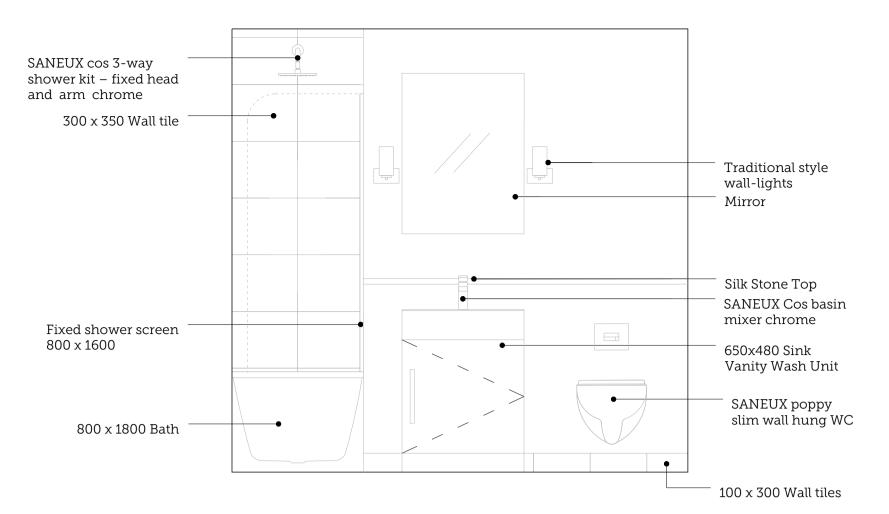


01 | PROPOSED GROUND FLOOR KITCHEN M&E Scale 1:20 @ A1

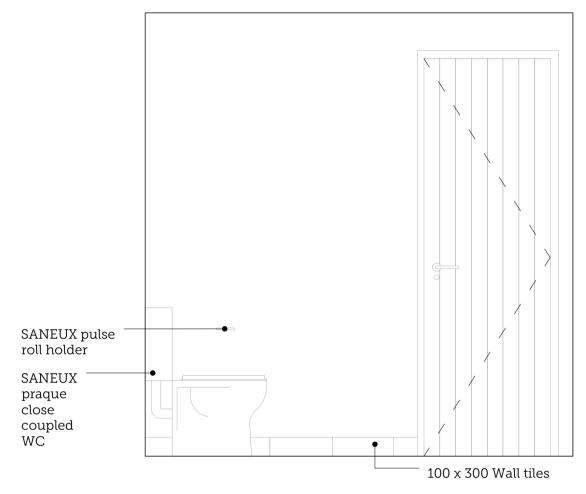
Do not scale from this drawing. All dimensions must be checked on site by the Contractor. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately. All specified items are to be installed in accordance with their manufacturer's recommendations. This drawings is copyright of Scorer Hawkins Architects 2022. Scorer Hawkins Architects is a limited company registered in England & Wales | Registered No.: 12901069 Registered Office: Lodge Farm Barns, Skendleby, Spilsby, Lincolnshire, PE23 4QF | VAT No.: 395948328.

	REV.	ISSUE DATE	DRAWN	REVISION NOTES
200 400 600 800 1000mm				

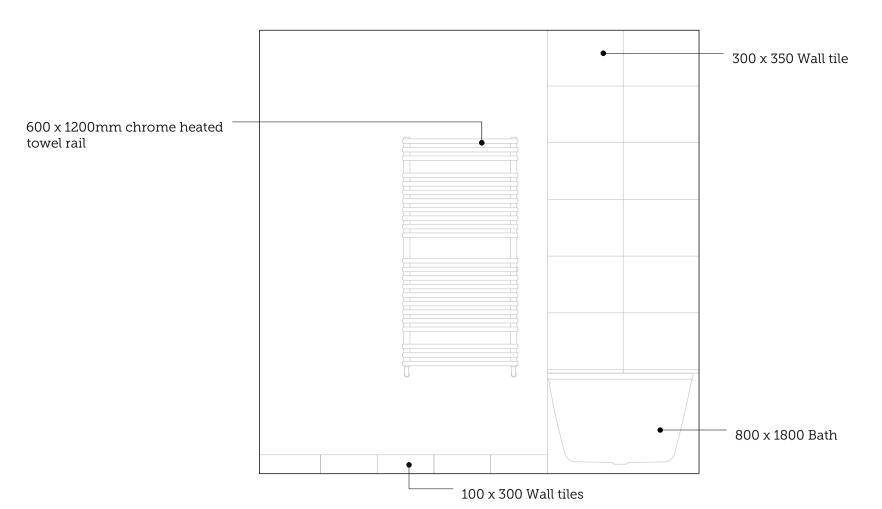
PLANNING					
PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN				SCORER HAWKINS	
	PROPOSED KITCHEN N	ARCHITECTS Lodge Farm Barns Skendleby, Spilsby			
DRAWING NO: 2386-PP09	REVISION:	ISSUE DATE: 04/12/2023	SCALE:	Lincolnshire, PE23 4QF 01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk	



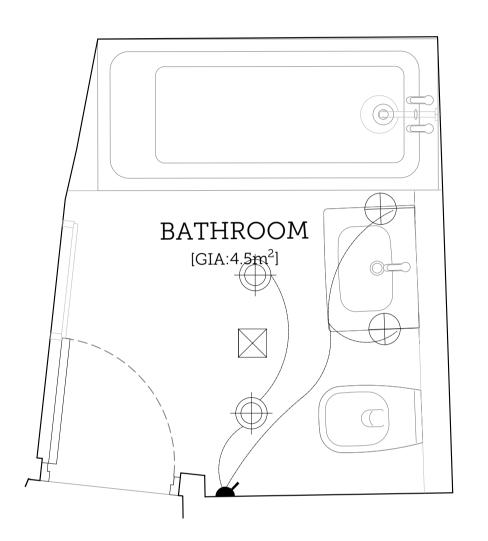
02 | PROPOSED SECTION AA Scale 1:20 @ A1



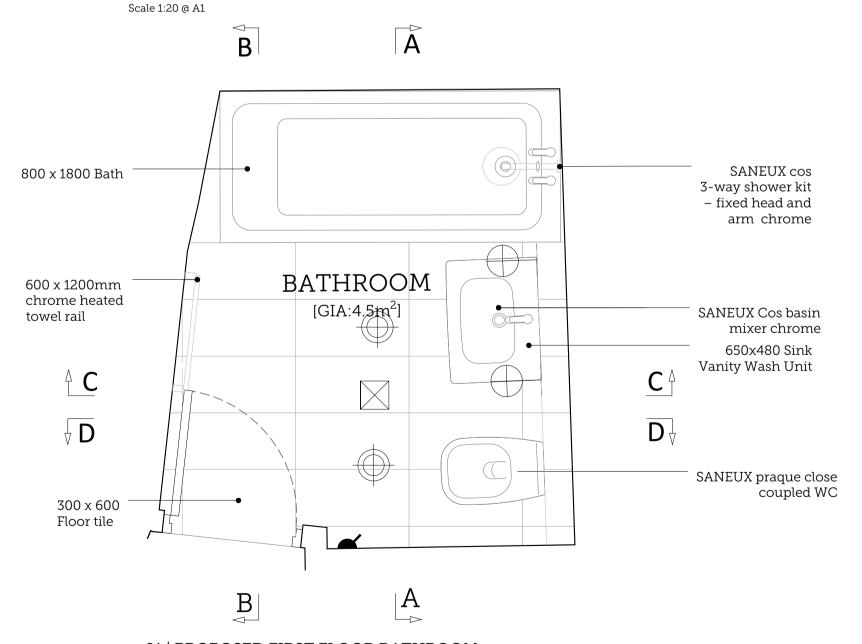
05 | PROPOSED SECTION DD Scale 1:20 @ A1



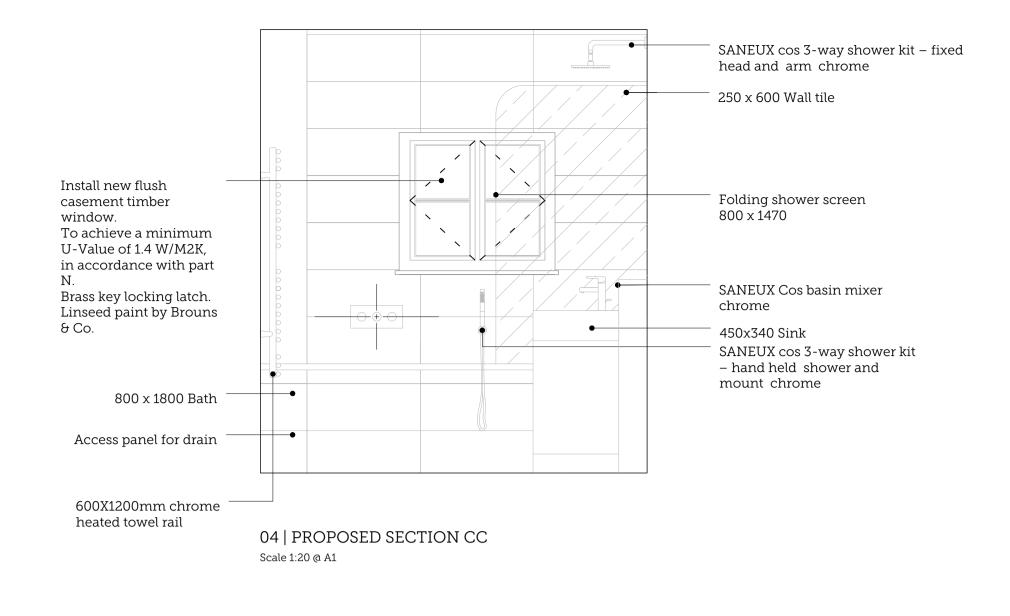
03 | PROPOSED SECTION BB Scale 1:20 @ A1



01 | PROPOSED FIRST FLOOR BATHROOM M&E



01 | PROPOSED FIRST FLOOR BATHROOM Scale 1:20 @ A1

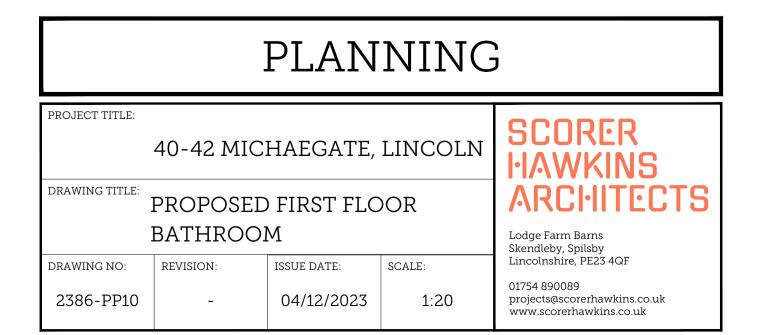


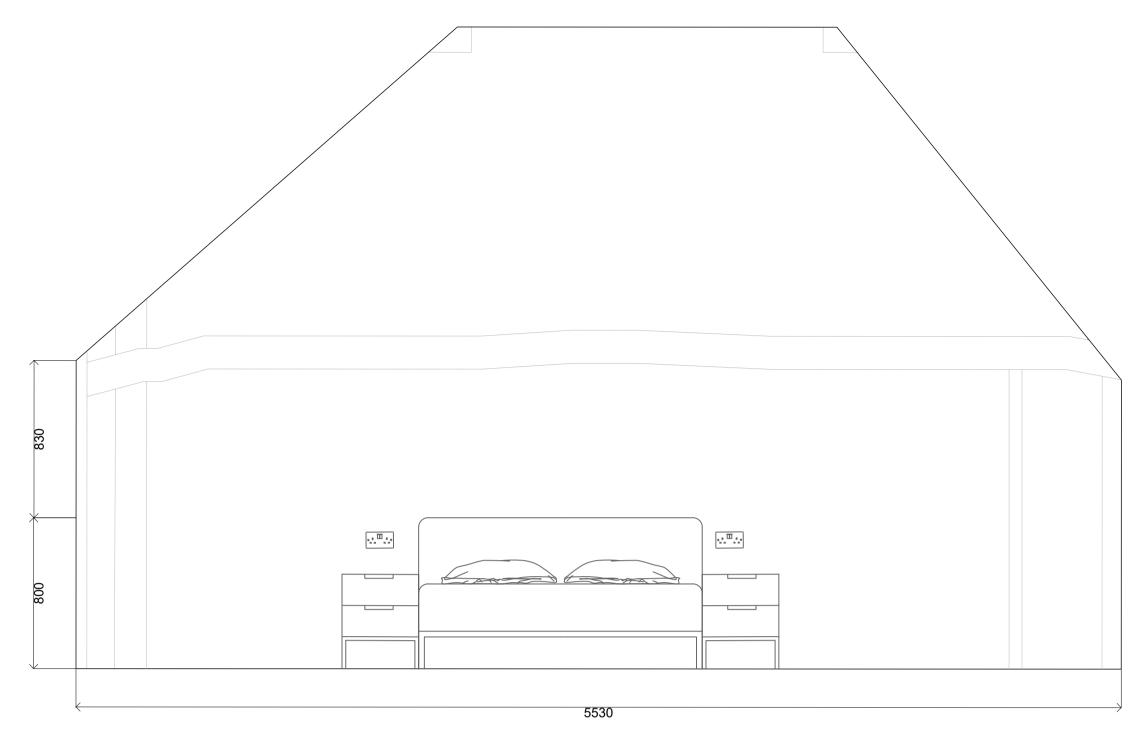
- 1. All tiled walls lo bath and shower to be lined with 12mm Hardieback:er 500 cement based board or similar approved. Plasterboard to these walls omitted. All joints to be taped and filled in accordance with manufach. Jrer's recommendations.
- 2. All boxing-out ta conceal WC cistern to consist of 12mm Hardiebacker 500 cement based board or similar approved (Use 18mm wbp ply behind sink and we) on 50x50mm s/w tanalised battens.
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- 16. Matching controls to towel warmer, including projecting sections of pipework. ie Chrome, Brass or steel

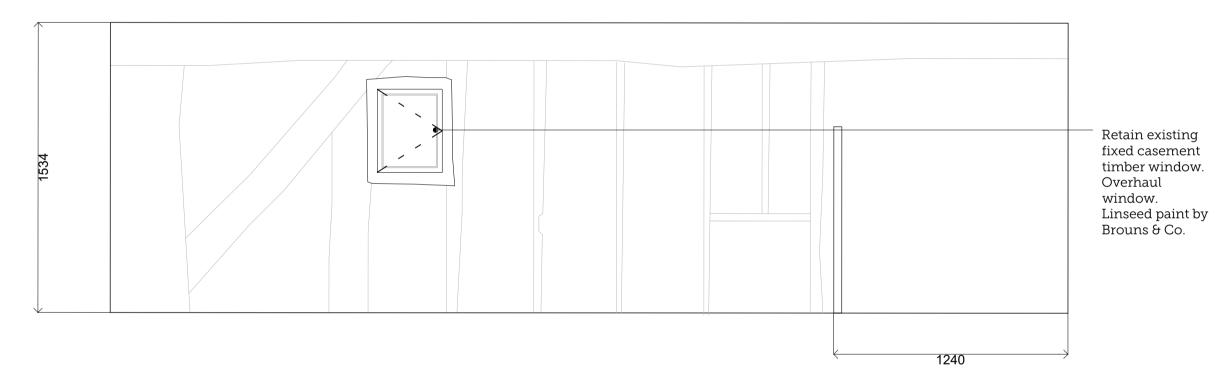
REV. ISSUE DATE DRAWN REVISION NOTES GENERAL NOTES 1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor. 2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately. 3. All specified items are to be installed in accordance with their manufacturer's recommendations. 4. This drawings is copyright of Scorer Hawkins Architects 2022. Scorer Hawkins Architects is a limited company registered in England & Wales | Registered No.: 12901069 Registered Office: Lodge Farm Barns, Skendleby, Spilsby, Lincolnshire, PE23 4QF | VAT No.: 395948328.

200 400 600 800 1000mm



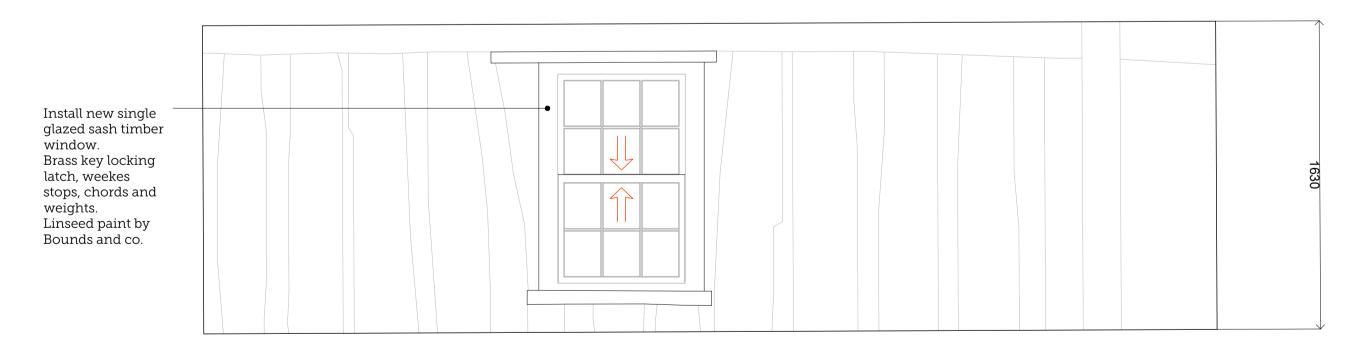


02 | PROPOSED SECTION AA FIRST FLOOR KITCHEN Scale 1:20 @ A1



03 | PROPOSED SECTION BB FIRST FLOOR KITCHEN

Scale 1:20 @ A1



A Install new flush casement timber window. Brass key locking Linseed paint by bounds and co. Install new single glazed sash timber Brass key locking latch, weekes stops, chords and Linseed paint by Bounds and co. SHOWER ROOM $[GIA:3.0m^2]$ $\sqrt{\mathbf{D}}$ Install new flush single glazed Yorkshire slider timber window. Brass key locking latch. Linseed paint by Brouns & Install new flush single glazed Yorkshire slider timber window.

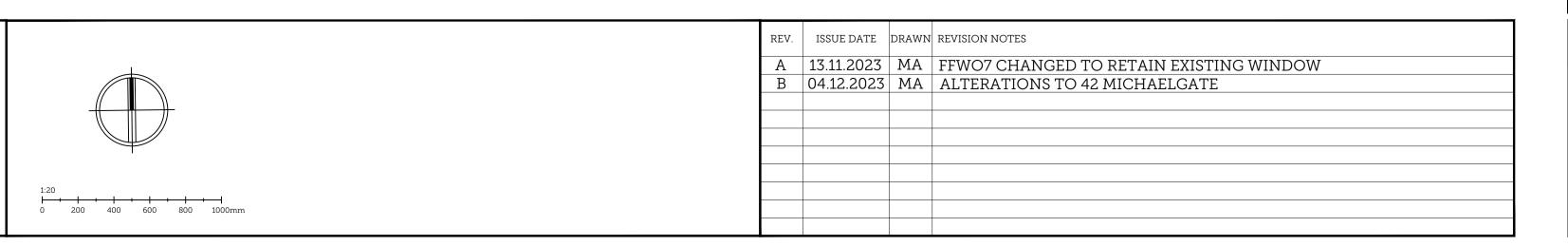
> 01 | PROPOSED FIRST FLOOR KITCHEN Scale 1:20 @ A1

04 | PROPOSED SECTION CC FIRST FLOOR KITCHEN Scale 1:20 @ A1

GENERAL NOTES

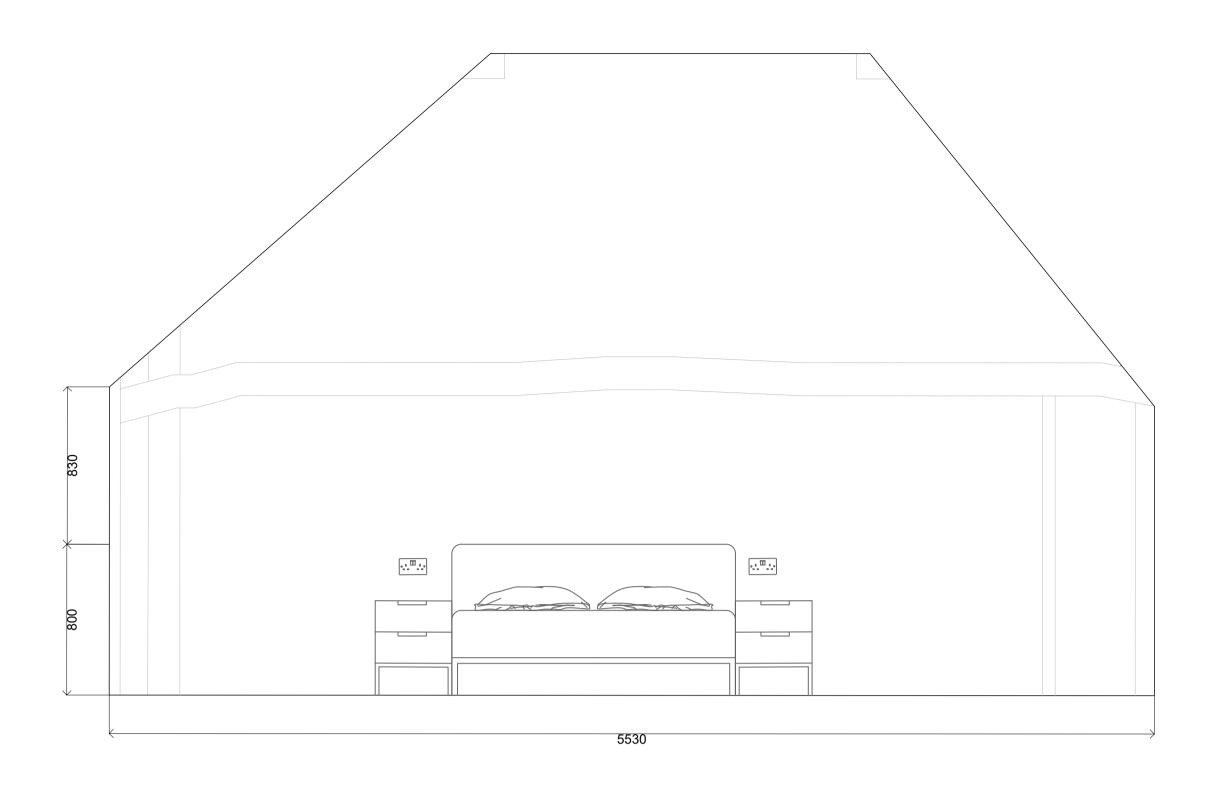
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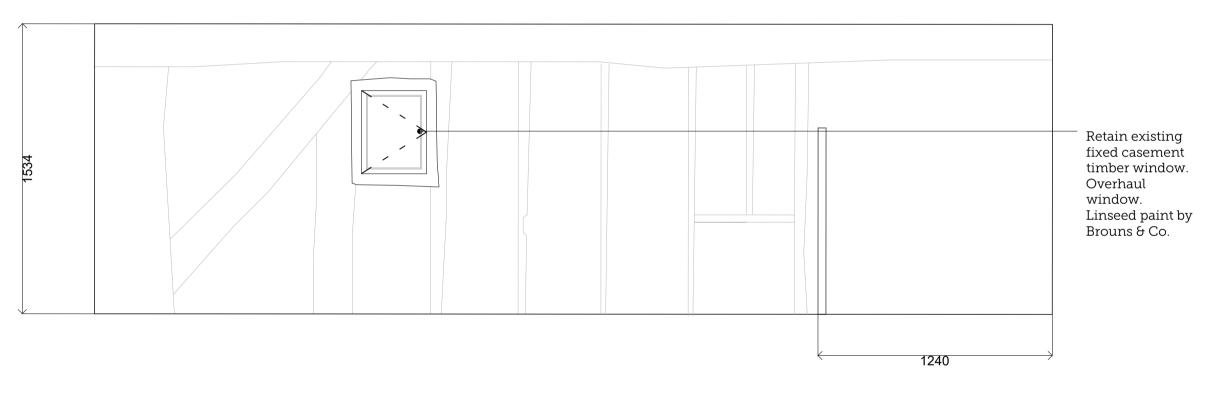


PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN DRAWING TITLE: PROPOSED FIRST FLOOR KITCHEN DRAWING NO: REVISION: ISSUE DATE: SCALE: 01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk www.scorerhawkins.co.uk

Brass key locking latch. Linseed paint by Brouns &

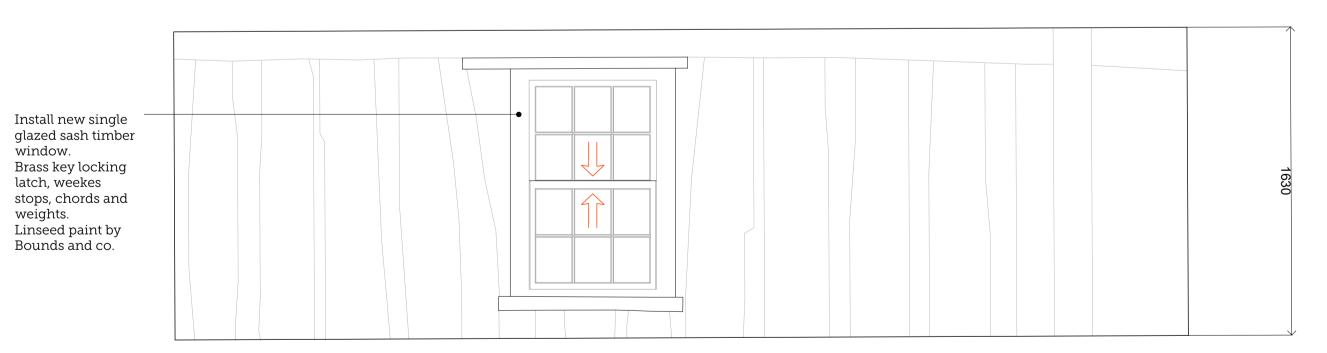


02 | PROPOSED SECTION AA Scale 1:20 @ A1



03 | PROPOSED SECTION BB

Scale 1:20 @ A1

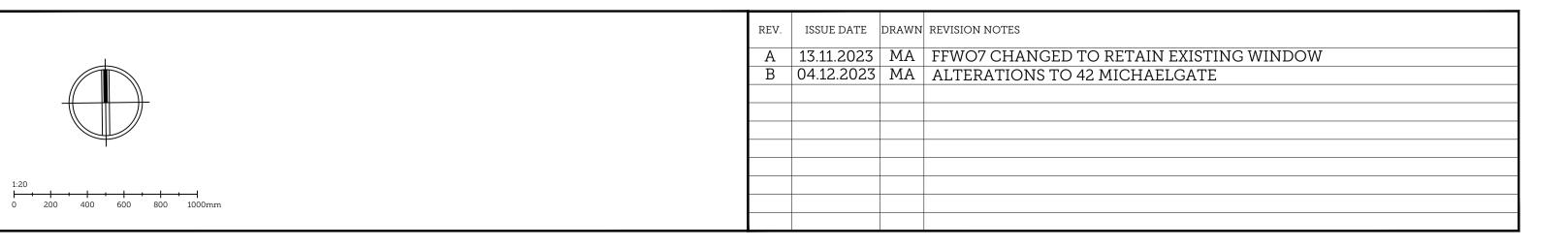


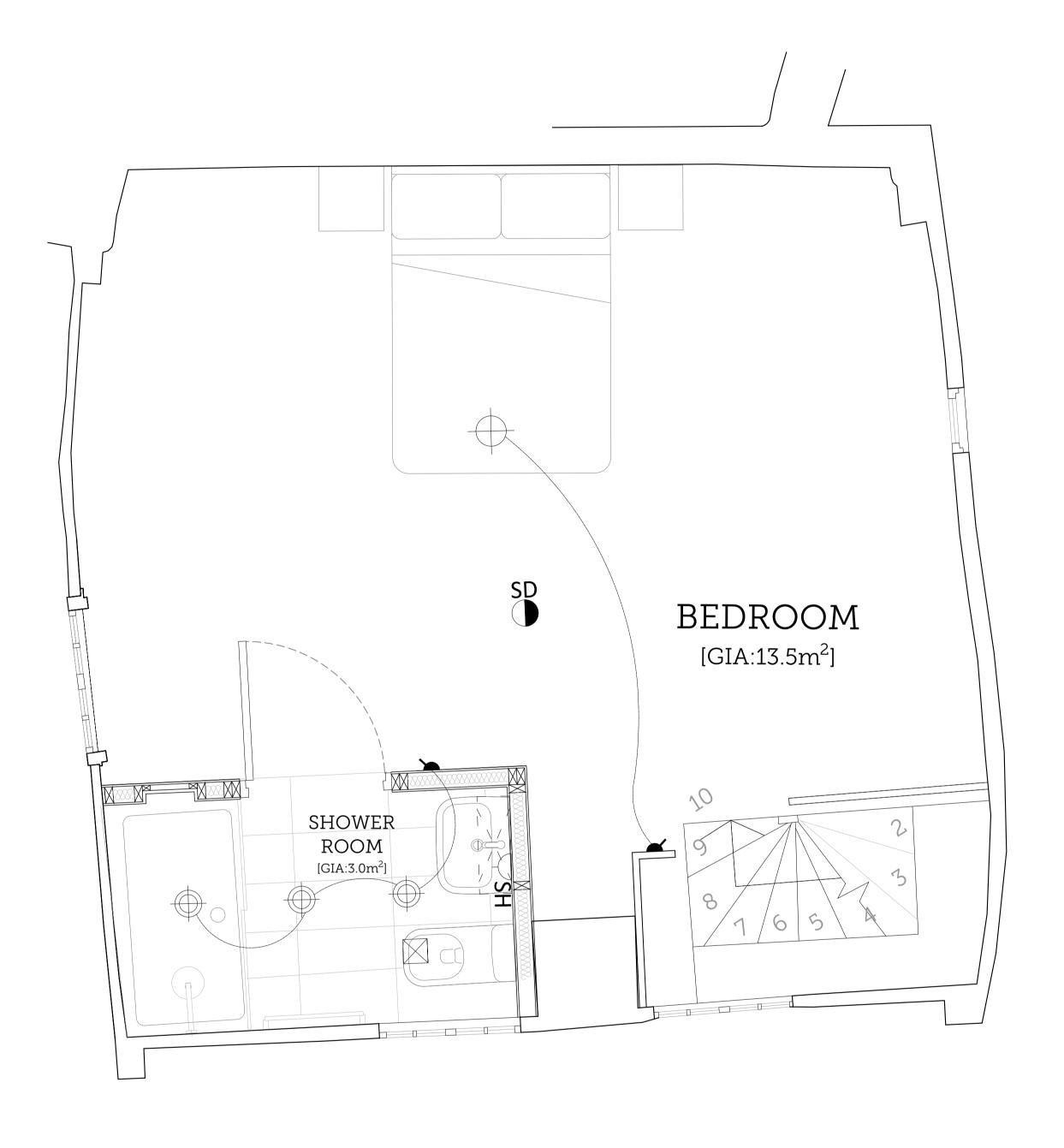
04 | PROPOSED SECTION CC Scale 1:20 @ A1

GENERAL NOTES

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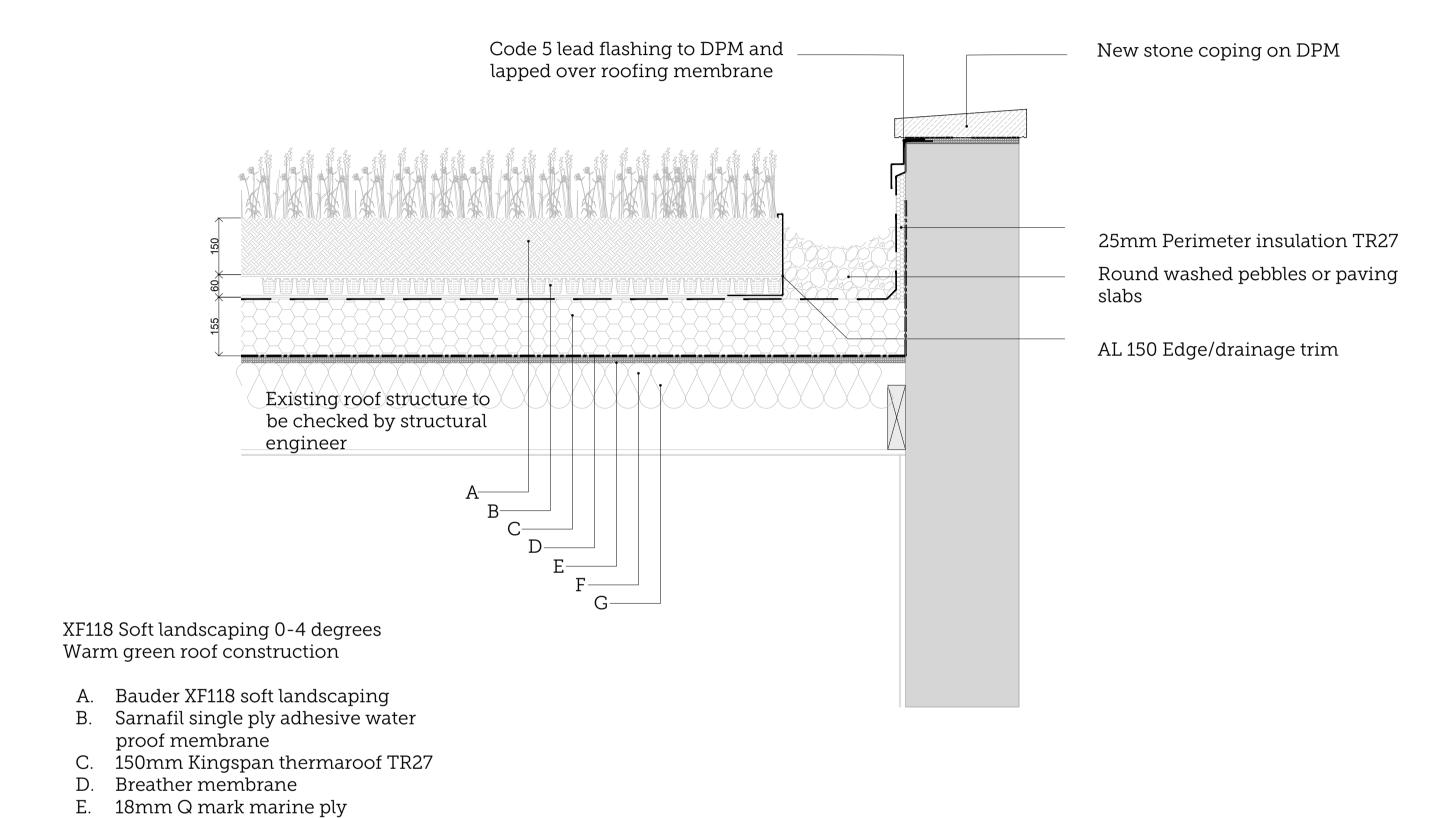




01 | PROPOSED FIRST FLOOR KITCHEN M&E

Scale 1:20 @ A1

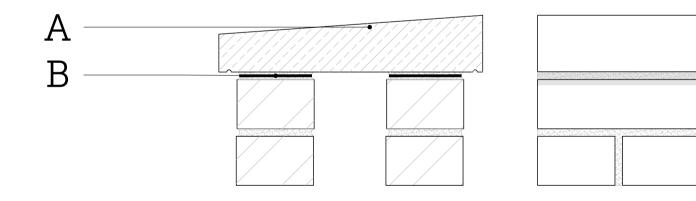
PLANNING							
PROJECT TITLE:	40-42 MIC	SCORER HAWKINS					
	PROPOSED KITCHEN N	ARCHITECTS Lodge Farm Barns Skendleby, Spilsby					
DRAWING NO:	REVISION:	ISSUE DATE:	SCALE:	Lincolnshire, PE23 4QF			
2386-PP12	В	04/12/2023	1:20	01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk			



XF118 Soft landscaping 04- degrees

- A. Bauder XF118 UK Native species wildflower blanketB. Biodiverse substrate 150mm min
- Bauder filter fleece
- D. DES40 Drainage board
- E. Bauder protection mat

02 | PROPOSED GREEN ROOF DETAIL Scale 1:5 @ A1



A. Stone

B. DPC

03 | PROPOSED GREEN ROOF DETAIL Scale 1:5 @ A1

GENERAL NOTES

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F. firings 1:40

retained

 $0.15W/m^2K$ in A

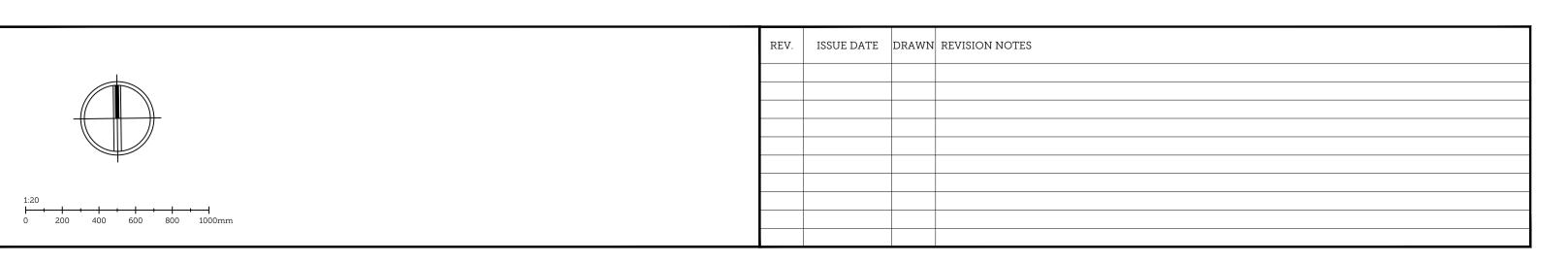
G. Existing roof structure to be

To achieve a minimum u-value of

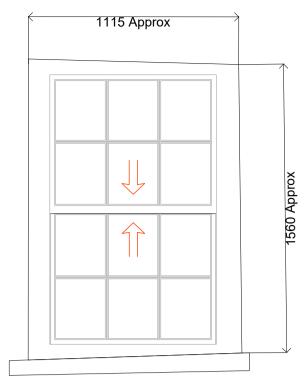
01 | PROPOSED GREEN ROOF DETAIL

- 3. All specified items are to be installed in accordance with their manufacturer's recommendations.
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PLANNING					
PROJECT TITLE:	40-42 MIC	HAEGATE,	LINCOLN	SCORER HAWKINS	
	PROPOSED DETAIL	ARCHITECTS Lodge Farm Barns Skendleby, Spilsby			
DRAWING NO: 2386-PP13	REVISION:	ISSUE DATE: 04/12/2023	SCALE: 1:5/ 1:10	Lincolnshire, PE23 4QF 01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk	



FFW02

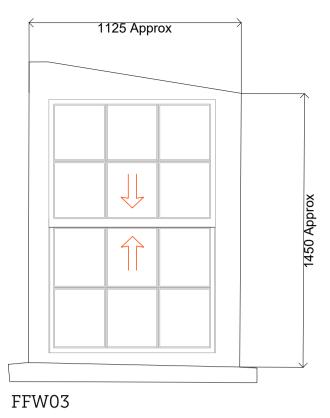
Ironmongery: Brass key locking latch, Weekes stops, chords and weights

Type: Retain existing sash window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works:

New staff and parting beads with new brush strips. Retain existing boxes and repair and install two new replacement sashes.



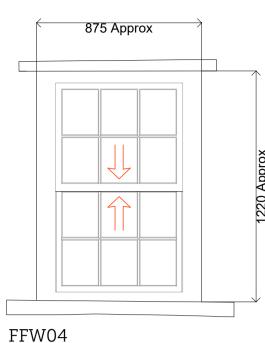
Ironmongery: Brass key locking latch, Weekes stops, chords and weights

Type: Retain existing sash window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: New staff and parting beads with new brush strips. Retain existing boxes and repair and install two new replacement sashes.

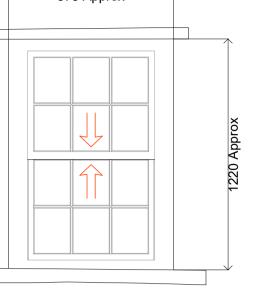
1110 Approx



Ironmongery: Brass key locking latch,

Type: Install new single glazed sash timber

Paint out first after the cutting stage. Subsequent paint after the assembly stage.

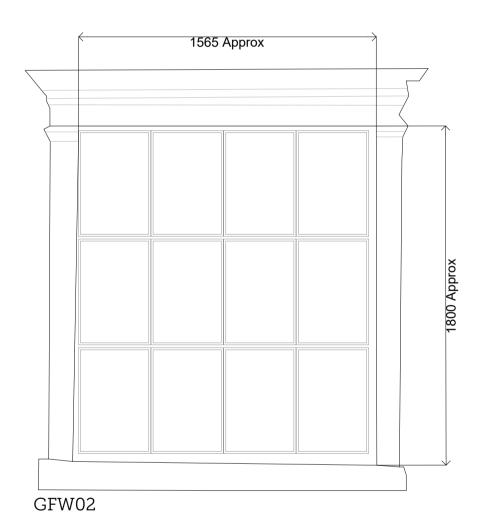


Weekes stops, chords and weights

window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co.



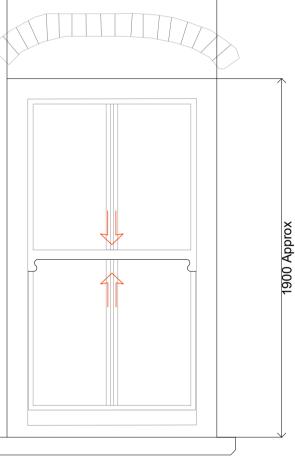
Ironmongery: N/A

Type: Retain existing casement window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window and draft proof. Remove existing small casement and re-glaze where casement is removed

Scale 1:20 @ A1



GFW03

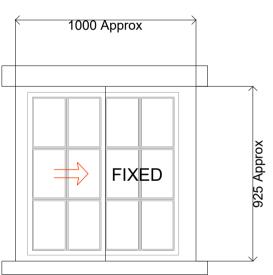
Ironmongery: Brass key locking latch, Weekes stops, sash lift chords and weights

Type: Retain existing sash window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window and draft proof

200 400 600 800 1000mm



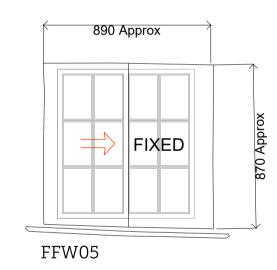
GFW04

Ironmongery: Brass key locking latch

Type: Install new flush single glazed Yorkshire slider timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

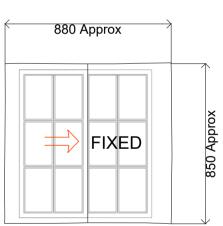


Ironmongery: Brass key locking latch

Type: Install new flush single glazed Yorkshire slider timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.



FFW06

All new glass to be handmade - Architect to

Shop drawings required for all new windows

approve sample.

provided by manufacturers.

Ironmongery: Brass key locking latch

Type: Install new flush single glazed Yorkshire slider timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

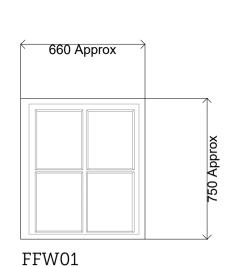
01 | WINDOW SCHEDULE 01

REV. ISSUE DATE DRAWN REVISION NOTES GENERAL NOTES 1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor. 2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately. 3. All specified items are to be installed in accordance with their manufacturer's recommendations.

PLANNING PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN DRAWING TITLE: WINDOW SCHEDULE 01 Lodge Farm Barns Skendleby, Spilsby Lincolnshire, PE23 4QF DRAWING NO: REVISION: ISSUE DATE: SCALE: 01754 890089 projects@scorerhawkins.co.uk 2386-PP14 04/12/2023

www.scorerhawkins.co.uk

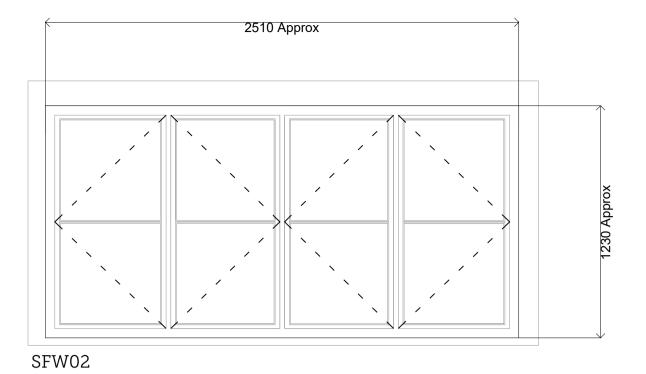
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orer Hawkins Architects is a limited company registered in England & Wales Registered No.: 1290 egistered Office: Lodge Farm Barns, Skendleby, Spilsby, Lincolnshire, PE23 4QF VAT No.: 3959483	



Type: Retain existing fixed casement timber window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window

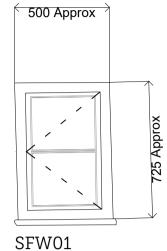


Ironmongery: Brass key locking latches

Type: Install new double glazed flush casement timber windows

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

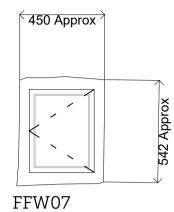


Ironmongery: Brass key locking latch

Type: Install new flush casement timber window

Manufacturer: Mumford and Wood

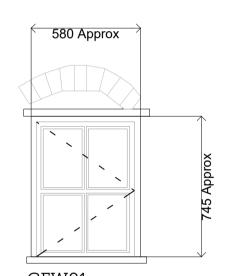
Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.



Ironmongery: Brass key locking latch

Type: Retain existing casement timber window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

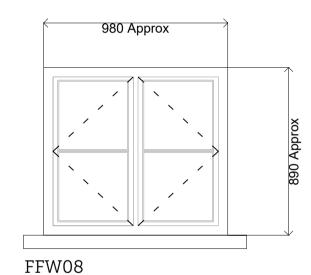


Ironmongery: Brass key locking latch

Type: Retain existing flush casement timber window

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Overhaul window and draft proof.



Ironmongery: Brass key locking latch

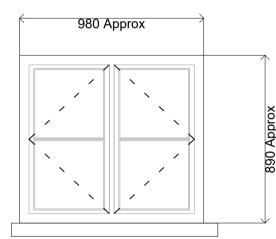
Type: Install new flush casement timber window

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: To achieve a minimum u value of 1.4 W/M2K. In accordance with part N, Fensa Certificate to be provided upon completion.

200 400 600 800 1000mm



FFW09

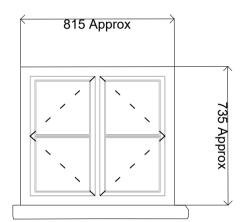
Ironmongery: Brass key locking latch

Type: Install new flush casement timber

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: To achieve a minimum u value of 1.4 W/M2K. In accordance with part N, Fensa Certificate to be provided upon completion.



FFW10

Ironmongery: Brass key locking latch

Type: Install new flush casement timber

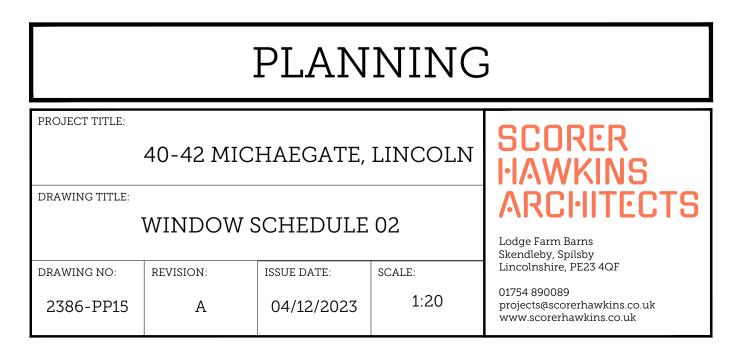
Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

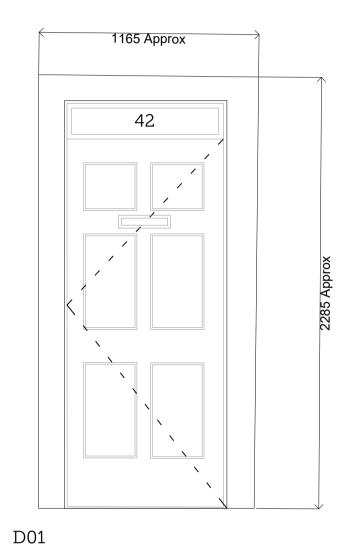
Description of works: To achieve a minimum u value of 1.4 W/M2K. In accordance with part N, Fensa Certificate to be provided upon completion.

01 | WINDOW SCHEDULE 02 Scale 1:20 @ A3

REV. ISSUE DATE DRAWN REVISION NOTES GENERAL NOTES A 13.11.2023 MA FFWO7 CHANGED TO RETAIN EXISTING WINDOW 1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor. 2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Architect immediately. 3. All specified items are to be installed in accordance with their manufacturer's recommendations. 4. This drawings is copyright of Scorer Hawkins Architects 2022. Scorer Hawkins Architects is a limited company registered in England & Wales | Registered No.: 12901069 Registered Office: Lodge Farm Barns, Skendleby, Spilsby, Lincolnshire, PE23 4QF | VAT No.: 395948328.



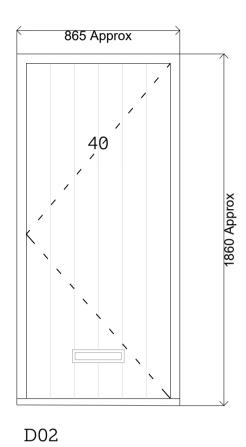
N.B All keys for no. 40 keyed alike All keys for no. 40 keyed alike Master key to open both 40 and 42



Ironmongery: Brass hinges, handles, letter plate, and euro cyclinder and thumb turn.

Type: Retain existing timber door

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage. New painted number on the door leaf.

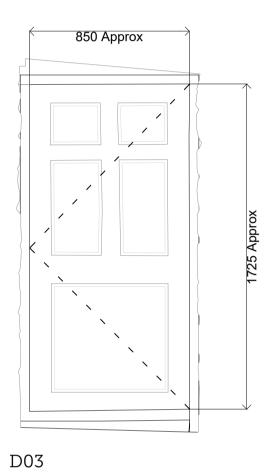


Ironmongery: Brass hinges, handles, letter plate and euro cylinder with thumb turn.

Type: Install new timber plank door

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage. New painted number on the door leaf.

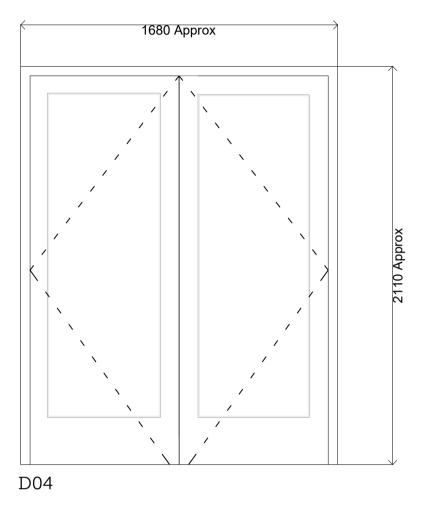


Ironmongery: Brass hinges, handles and euro cylinder with thumb turn.

Type: Retain existing timber door

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage.
Subsequent paint after the assembly stage.

Description of works:
Existing frame overhauled and draft proofed.
Existing glazing removed and new
toughened and laminated clear flat single
glaze glass fitted.



Ironmongery: Brass hinges, handles and euro cylinder with thumb turn.

Type: Install new French timber doors

Manufacturer: Mumford and Wood

Painted finish: Linseed paint by Brouns & Co. Paint out first after the cutting stage. Subsequent paint after the assembly stage.

Description of works: Install new double glazed French timber doors to provide a minimum u-value of 1.4w/m2/k. Laminated and toughened glass.

01 | DOOR SCHEDULE Scale 1:20 @ A3

GENERAL NOTES 1. Do not scale from this drawing. All dimensions must be checked on site by the Contractor. 2. This drawing is to be read in conjunction with all construction information, including all relevant consultants' information. Any discrepancies must be reported to the Arctitect immediately. 3. All specified items are to be installed in accordance with their manufacturer's recommendations. 4. This drawings is copyright of Scorer Hawkins Architects 2022. Scorer Hawkins Architects is a limited company registered in England 6 Wales | Registered No: 12901069 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 | 120 |

PROJECT TITLE: 40-42 MICHAEGATE, LINCOLN DRAWING TITLE: DOOR SCHEDULE DRAWING NO: REVISION: ISSUE DATE: SCALE: 2386-PP16 - 04/12/2023 1:20 PROJECT TITLE: SCORER HAWKINS ARCI-IITECTS Lodge Farm Barns Skendleby, Spilsby Lincolnshire, PE23 4QF 01754 890089 projects@scorerhawkins.co.uk www.scorerhawkins.co.uk www.scorerhawkins.co.uk