

# Heritage Statement for Alterations to Offwell House



## CONTENTS

<b>1.0 Executive Summary</b>	Page 3
<b>2.0 Introduction</b>	Page 4
<b>3.0 Methodology</b>	Page 8
<b>4.0 Description of the Heritage Asset</b>	Page 9
<b>5.0 Historical Baseline</b>	Page 10
<b>6.0 Statement of Significance</b>	Page 19
<b>7.0 Proposal</b>	Page 20
<b>8.0 Heritage Impact Assessment</b>	Page 20
<b>9.0 Conclusion</b>	Page 21

### Appendix 1 - Specification



It should be noted that the report has been prepared under the express instructions and solely for the use of Mr & Mrs Banks, and any associated parties they elect to share this information with. Measurements and distances referred to in the report should be taken as approximations only and should not be used for detailed design purposes.

All the work carried out in this report is based upon the professional knowledge and understanding of GJR Conservation Architects on current (October 2023) and relevant United Kingdom standards and codes, technology and legislation. Changes in these areas may occur in the future and cause changes to the conclusions, advice, recommendations or design given. GJR Conservation Architects do not accept responsibility for advising the clients or associated parties of the facts or implications of any such changes in the future.

This report has been prepared utilising factual information obtained from third party sources. GJR Conservation Architects take no responsibility for the accuracy of such information. It should also be noted that this report represents an early stage of a phased approach to assessing mitigation strategy, should this be required. It does not propose mitigation of impacts in itself.

No intrusive investigation of the historic fabric was undertaken by GJR Conservation Architects to produce this report.

## 1.0 EXECUTIVE SUMMARY

The proposal seeks to add a small boot room to the Grade II listed property, construct a new garage on the existing rear driveway and landscape the gardens.

The building historically had a lean-to adjacent to the proposed boot room which was removed when the glass garden room was added (Ref 10/0975/LBC). The proposal seeks to reinstate this lean-to utilising the material pallet found in the Grade II listed building. This ensures the historical development of the heritage asset is legible.

The new garage utilises the existing garden architecture to minimise impact on the setting of the heritage asset. Materials have been thoughtfully considered to form a subservient structure to the main range and its location within the service courtyard reduces any harm to the setting of Offwell House.

The landscape scheme seeks to reduce the extensive hard paving in the garden. Routes are designed to link the historic Vinery to the main range with a formal design which relates to the formal language of the Regency house. The property fundamentally changed its orientation in terms of what is perceived as the front of house under planning approval 10/0975/LBC in 2010. The landscape scheme seeks to enhance this major alteration with a more environmental / sustainable planting scheme.

This report concludes that the proposed scheme results in a level of less than substantial harm to the heritage asset.



Figure 1: Former lean to adjacent to be proposed location of boot room



Figure 2: Proposed landscape drawing

## 2.0 INTRODUCTION

This Heritage Statement has been prepared for Mr & Mrs Banks to support the listed building application. The application seeks to reinstate a small lean to boot room at the rear of the property, construct a new garage in the service courtyard and design landscaping to the west to form formal gardens more in keeping with the Regency style of this Heritage Asset.

### 2.1 THE PURPOSE OF THE REPORT

The report has been written to aid the Local Authority in determining the listed building application. The report complies with the requirements set out in the NPPF Section 16 (particularly paragraph 189).<sup>1</sup>

### 2.2 UNDERPINNING LEGISLATION

Ancient Monuments and Archaeological Act 1979. Planning and Listed Buildings and Conservation Areas Act 1990 paras 66 and 72.

### 2.3 AUTHOR

The observation, research and report have been facilitated by GJR Conservation Architects who are fully qualified and experienced in architectural conservation with over 30 years experience. For more information, please visit [www.gjrarchitects.co.uk](http://www.gjrarchitects.co.uk). The conservation aspect of the scheme has been led by Sarah John RIBA Conservation Architect, MA (Distinction) Architectural Conservation.

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## 2.5 STATUTORY DESIGNATIONS

### *Listing Details*

*Grade: II*

*List Entry Number: 1104088*

*Date first listed: 08-Mar-1988*

### *Details*

3/111 Offwell House including stables - adjoining to north GV II House, former rectory. Built in 1828 according to Hoskins, 1830 according to Pevsner, for the Reverend E. Copleston, Bishop of Llandaff and Dean of St Pauls. Plastered stone rubble, maybe with some brick; stone rubble stacks with probably late C19 cream-coloured brick chimney shafts; slate roof. Plan: basically an L-plan building. The principal rooms are in the south-facing block. It is double depth. There are 2 front rooms, the left (west) one broken forward a little. The main entrance is on the left side with the entrance hall and main stair behind the left front room. A double depth service wing projects at right angles to rear of centre of the front block. There is a corridor between the 2 rear blocks, and the eastern one with 4 rooms is longer than the western one with 3 rooms. Most of the rooms are heated by a series of axial stacks. 2 storeys. Exterior: 1:2-window south front. The left-hand 1-window section breaks forward and the corners here have stucco panelled pilasters. The ground floor window is a bay window with 3 front 8-pane sashes and a moulded entablature. Above is a 12-pane sash. To right are 12-pane sashes. 2-window front of 12-pane sashes and ground floor French windows in the right end of the front block. A tented roof veranda on timber trellis posts is round the right section of the front and right end. The left (west) end of the front has a 2-window front of 12-pane sashes and the main doorway is to left. The stuccoed porch has a plain outer arch, panelled pilasters and moulded entablature. The doorway contains part-glazed double doors. The main roof is hipped both ends with deep plain eaves. The service wing is a little lower and both sides include regular but not symmetrical arrangements of 12-pane sashes. Interior: includes a good deal of original joinery and other detail including the large main stair; an open well stair with shaped newel posts with pendants, open string and turned balusters. At the rear, the north end, is a service courtyard enclosed by a tall plastered wall and including various service buildings. On the north side is the stable and coach house which has a large central elliptical arch and its roof (hipped each end) is surmounted by a small dovecote with wrought iron weather vane. The courtyard also includes a small game larder insulated by a double roof. This was built the residence of Bishop Copleston who was responsible for much building work in the parish in the early C19. Sources: N. Pevsner. The Buildings of England, South Devon, (1952) p. 168 W. G. Hoskins, Devon (1952) p. 446.

<sup>1</sup> P55 National Planning Policy Framework Feb 2019

<sup>2</sup> [historicengland.org.uk/listing](http://historicengland.org.uk/listing)

## 2.4 LOCATION

Offwell parish lies on the hills to the east of the market town of Honiton. The parish consists of about 2,250 acres in an Area of Outstanding Natural Beauty (ANOB) in East Devon. The village itself is located just below the top of the hill, facing south in a valley of woods and pasture. Offwell House is located on the southern side of the village and sits almost at the centre of its current land with sweeping views to the south and west over a steep wooded valley.

## 2.5 THE SITE

Offwell House is approached from the east via the original service driveway which runs from the village, Ramsden Lane, adjacent to Lower Lodge. To the east and south lie landscaped gardens with open informal landscape beyond (Pictures 3 and 4). A walled garden, tennis court, swimming pool and vinery lie to the west with woodlands beyond (Pictures 10 and 11). The original stables and service courtyard are located to the north of the main range (Picture 6).

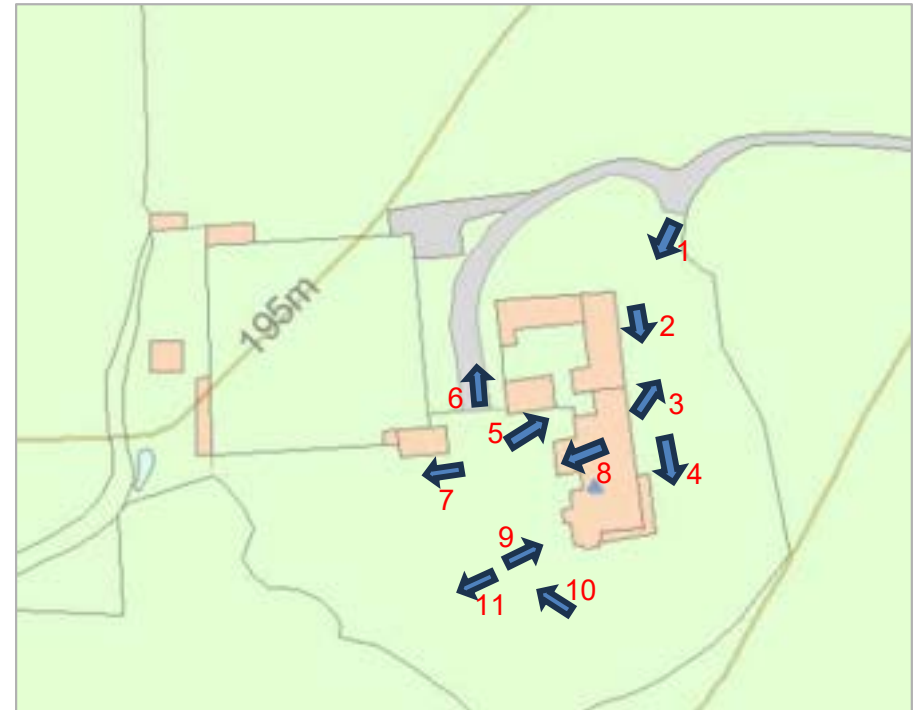


Figure 3: Annotated Site Plan – corresponding pictures on next two pages



Picture 1: Looking west towards main house with service range on the right



Picture 2: Main range showing new entrance in Planning approval Ref: 10/0975/LBC



Picture 3: Looking east toward village



Picture 4: Informal landscaping to the south



Picture 5: Proposed location for new boot room



Picture 6: Site of proposed garage in service courtyard



Picture 7: Vinery



Picture 8: View from Garden room towards Vinery



Picture 9: View of original entrance



Picture 10 and 11: Garden area to be re-landscaped

### 3.0 METHODOLOGY

#### 3.1 STRUCTURE OF THE APPRAISAL AND ASSESSMENT

The methodology is based on guidance from ICOMOS, Historic England and Worthing / Bond <sup>1</sup>. Four visits to the site were carried out from September to November 2023 where site photographs and sketches were undertaken.

Section 4 of this report describes the heritage asset and defines the heritage baseline. Then Section 5 describes the heritage significance of the asset that will be affected by the development. The next section in the assessment considers the impact of the proposed development on the heritage significance of the heritage asset and whether it is beneficial or harmful and any mitigation the designers should use.

Guidelines produced by Historic England have been consulted including:

- *Statements of Heritage Significance: Analysing Significance in Heritage Assets (Oct 2019).*
- *Conservation Principles, Policies and Guidance (2008).*
- *Managing Significance in Decision Taking in the Historic Environment Good Practice Advice in Planning: 2 (2015).*
- *The Setting of Heritage Assets, Historic Environment Good Practice Advice in Planning: 3 (2017).*

This assessment includes relevant information contained in various statutory requirements, national, regional and local planning policies and professional good practice guidance, including:

- Ancient Monuments and Archaeological Areas Act, 1979.
- Planning (Listed Buildings and Conservation Areas) Act, 1990.
- The National Planning Policy Framework, 2019.

The Devon Historic Environmental Record is a primary source of information. In addition, this information was supported by examination of data from a wide range of other sources, principally:

- Heritage Gateway for information from the Historic England National Monuments Record or Greater HER;
- Pastscape and other research resources, including Access to Archives (A2A);
- The Historic England website professional pages, particularly the National Heritage List for England.
- Devon Record Office
- Devon Transactions – DRO

#### 3.2 HOW TO ASSESS SETTING

A staged approach to proportionate decision-taking should be followed <sup>2</sup>

- Identify the Heritage Assess affected
- Assess the contribution of setting to the significance of the asset.
- Assess the impact of change on the significance of the asset.
- Minimise and justify harm to the asset.

<sup>1</sup> Worthing & Bond – Managing Built Heritage

<sup>2</sup> HE The Setting of Heritage Assets



## 4.0 DESCRIPTION OF THE HERITAGE ASSET

### 4.1 Offwell House

Offwell House is a Grade II heritage asset set in 15 acres of land. The property is in Regency style plastered stone rubble with slate roof following an L-shaped plan. The main range to the south is two room deep whilst the coach house and stables to the north are one room deep. The orientation if the house was reversed in 2010 with the main entrance now on the east with glass garden room and landscaped gardens to the west.

### 4.2 Planning History

**Construction of glass kitchen extension and porch, installation of flues in outbuilding, installation of solar panels on shed roof and construction of swimming pool**

Offwell House Offwell Honiton EX14 9SA

Ref. No: 10/O974/FUL | Validated: Wed 19 May 2010 | Status: Approved

**Construction of glass kitchen extension and porch, installation of flues in outbuilding, installation of solar panels on shed roof and internal and external alterations.**

Offwell House Offwell Honiton EX14 9SA

Ref. No: 10/O975/LBC | Validated: Wed 26 May 2010 | Status: Approved

**Internal alterations to first floor.**

Offwell House Offwell Devon EX14 9SA

Ref. No: 09/2312/LBC | Validated: Wed 18 Nov 2009 | Status: Approved

**Conversion Of Coach House Stables Into Three Holiday Lets**

Offwell House Offwell Honiton Devon

Ref. No: 98/P2038 | Validated: Thu 10 Dec 1998 | Status: Approved

#### Alterations

**Offwell House Offwell Honiton Devon**

Ref. No: 92/PO375 | Validated: Mon 02 Mar 1992 | Status: Approved

**Conversion Of First Floor To Stables To Residential Use.**

Offwell House Stables Adjacent Offwell Honiton Devon

Ref. No: 83/PI392 | Validated: Mon 05 Sep 1983 | Status: Approved

**One Dwelling.**

Walled Garden At Offwell House Offwell Honiton Devon

Ref. No: 81/PO265 | Validated: Tue 10 Feb 1981 | Status: Refused

**Change Of Use To Nursing Home.**

Offwell House Offwell Honiton Devon

Ref. No: 81/PO205 | Validated: Mon 02 Feb 1981 | Status: Approved

**Change Of Use To Guest House.**

Offwell House Honiton Devon

Ref. No: 81/PO204 | Validated: Mon 02 Feb 1981 | Status: Refused

**PRIVATE COUNTRY HOTEL**

Offwell House Offwell Devon EX14 9SA

Ref. No: 78/CO140 | Validated: Thu 26 Jan 1978 | Status: Withdrawn

## 5.0 HISTORICAL BASELINE

### 5.1 History of Offwell House

According to White's Directory of 1850 under the section pertaining to the parish of Offwell, "West Colwell Estate was purchased about 30 years ago, by the late Rt Rev Edward Copleston DD (see Fig 4) who was enthroned Bishop of Llandaff in 1828 and had a seat here called Offwell House".<sup>1</sup>

This fact is reiterated by the 1822 draft release held by the Devon Record office for West Colwell Estate where "Tucker, Flood etc released the estate to Copleston"<sup>2</sup>. When Dr Copleston bought West Colwell Estate he was Provost Of Oriel College, Oxford. The estate consisted of 130 acres (1861). It was once the home of William Collins but previously held by the Southcote family.<sup>3</sup>

It is unclear from the research to date whether there was a building on site when Edward Copleston bought the land, but there are differing thoughts on the matter. Hoskins and Pevsner both disagree on the construction dates for the house, with the former stating 1828 and the latter 1830 whilst Garey (p 17) states that the building work commenced in 1837.<sup>4</sup>

However, in 1839 records show that the Rev Lord Bishop of Llandaff received a quotation and specification from Mr William Lee of Honiton for "erecting a house as per plan .... With alterations to the drawing room and dining room along with the construction of the portico"<sup>5</sup> (see Fig 5). It was to be Edward's country bachelor retreat.



Figure 4: Rt Rev Edward Copleston DD, Bishop of Llandaff

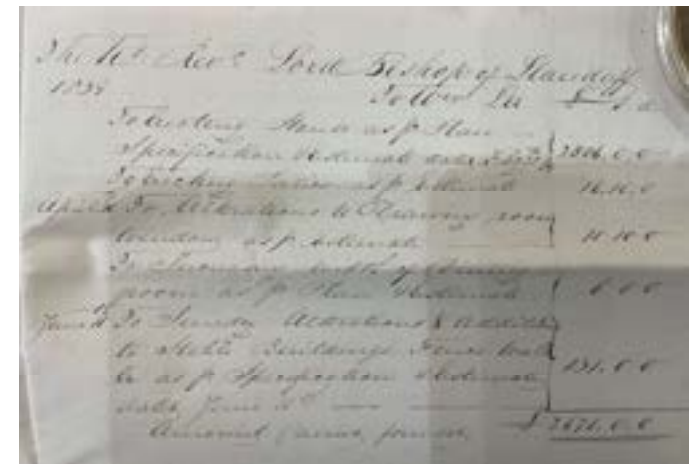


Figure 5: Quotation from 1839 for alterations to Offwell House

<sup>1</sup> P385 Whites Directory 1850

<sup>2</sup> 337B/0/1/263 DRO

<sup>3</sup> Magna Brittanica, Vol 6 Devonshire Transactions P370-381 1822 T Cadwell & W Davies

<sup>4</sup> P80, History of Offwell

<sup>5</sup> Also alterations to the stable buildings 337B/0/8/73 DRO

The ground floor rooms were to be 11ft high with the bedrooms over at 9ft 6” whilst offices would be 9ft high and rooms above 8ft (see Appendix 1 – Spec). Plans also held by the Devon Record Office show that in 1895 Edward George Warren, Architect, was commissioned to alter the house for Rev J H Copleston (see Figs 16-18 on page 15).

In 2010 Offwell House received planning approval to extensively alter the Heritage Asset. This changed the orientation of the house. Offwell House was originally designed to face the west, but due to changes in land ownership, the main carriageway (western driveway) and land linking the house with Higher Lodge, had been sold off over the years. This meant that in 2010 the village and service driveway from the east was the only access to the property. The application in 2010 provided a new principal entrance in the eastern façade and provided “what is a very formal house, the full gravitas it deserves”.<sup>1</sup>

As a result of this major re-orientation, Mr & Mrs Banks wish to formalise the former driveway into formal gardens, linking main historic garden features with the house.



Figure 6: Original plans from 2007

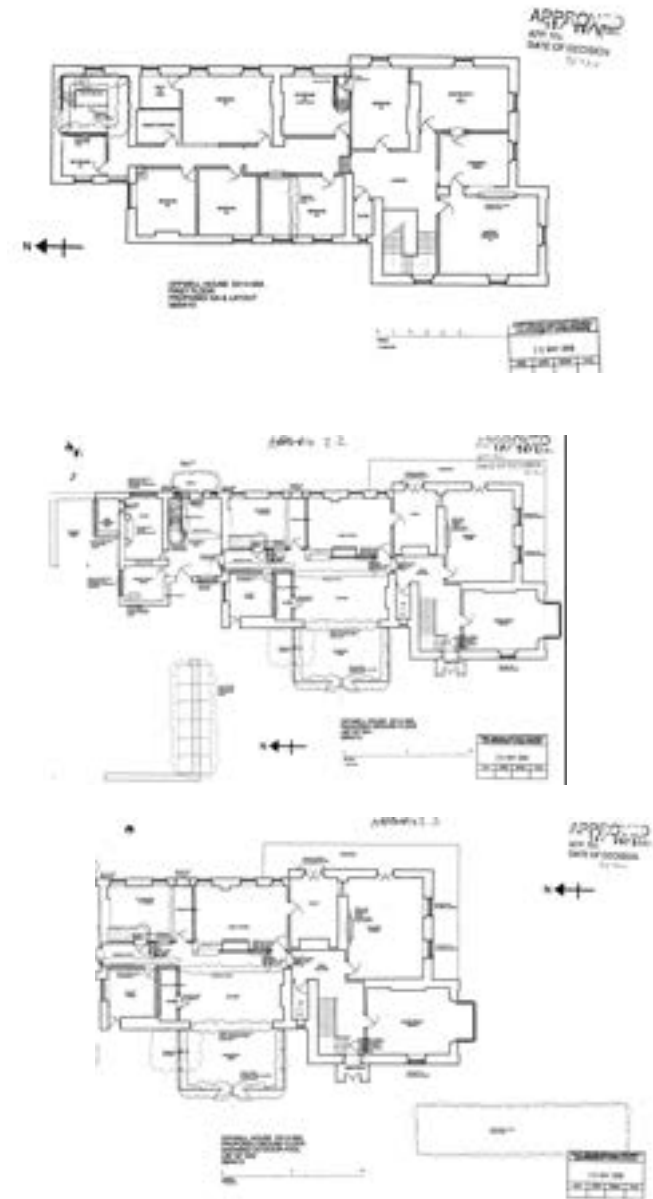


Figure 7: Original plans from 2010 LBC Application Ref: 10/0975/LBC

<sup>1</sup> 10/0975/LBC Proposed alterations to Offwell House DAS

## 5.2 The Coplestons

The Coplestons were an ancient and formidable clerical dynasty whose members included several bishops.<sup>1</sup> They were amongst the wealthier gentry families in Devon who had accumulated some of their wealth from the tin mining industry. In Offwell, the Coplestons dominated the history and reinvigorated life into the parish during their incumbency from 1773 to 1954.

The first Copleston rector of Offwell was John Bradford Copleston (1749-1831) who probably did not live in the village initially, but he was very proactive in the repair of the of the Church during his incumbency 1773-1800.

John Bradford built or rebuilt “the Rectory” adjacent to the church in about 1780.<sup>2</sup> He resigned as Rector in 1800 to allow his eldest son Edward who had just been ordained, to take his place.

Edward was born in Offwell on 2<sup>nd</sup> February 1776. He was a churchman, moral philosopher and academic, but was Rector of the parish for only 4 years from 1800 to 1804 as he pursued his successful career in Oxford. However, Edward was responsible for a number of private building works in Offwell including Offwell House<sup>3</sup> and the tower.

<sup>1</sup> “Copleston of Offwell” by Major W H Wilkin, Transactions of Devon Assoc Vol 113 (1931) P 241-254

<sup>2</sup> P71, The Copleston Era

<sup>3</sup> P80, It was said Edward purchased Little Penways, Great Penways, Round Penways and Long Penways to form its gardens and ground and Lyssons wrote in Magna Britannica 1822, that Rev Dr Copleston bought West Colwell (130 acres in 1861)

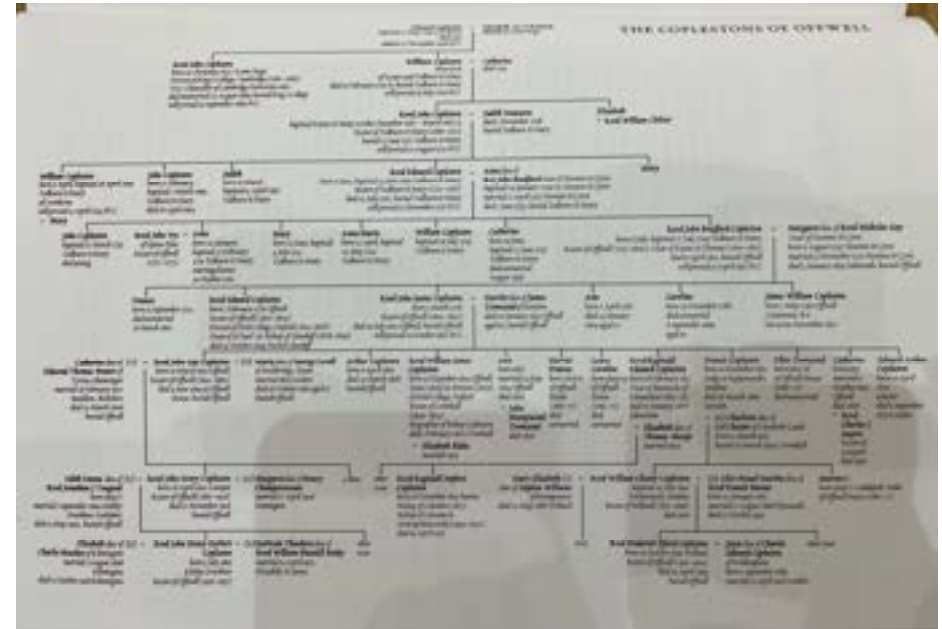


Figure 8: Copleston Family Tree



Figure 9: John Bradford Copleston's Rectory House, built c 1780



Figure 10: Bishop Copleston's Tower

## 5.2 The Coplestons (continued)

Edward died in 1849<sup>4</sup> and his younger brother, John Gaius Copleston became the Rector for 37 years (1804-1841). Fig 13 shows the extent of the Copleston land in 1839<sup>5</sup>.

John Gay Copleston (1802-1894) became Rector for 39 years (1841-1880) and stepped down for his son John Henry Copleston (Rector 1880-1918).

The Coplestons however, do not appear to have lived at Offwell House since the late 19<sup>th</sup> century. Instead they appear to have rented it out as well as the land.

1874 Major Binny Speid

1884 Rev Elton

1895 Isabella James

1901 John Pawley Bate

1909-1932 Sandbach Harrison <sup>6</sup>

Church Rate 1839				
Occupier	Owner	Property	Name	Rate
Revd J G Copleston	Bishop Copleston	Lands	Broomwood plot & Mountpleasant	£21
Ditto	Revd Copleston	House & lands		
Do	Do	Melley Lay Orchard	Pleasure grounds & glebe	£48 & £20
		Rectory House & 2 gardens part of Tithe		
Bishop Copleston	Bishop Copleston	Scrubbarbs Plantation	Pleasure Grounds Orchard	£18
John Clarke [sic]	Bishop Copleston	House & Lands	Smalcomb	£42
James Cox	Bishop Copleston	Land	Whitedown	£3
James Diamond	J G Copleston <sup>173</sup>	Overland	Whitedown	£2
Charles Flood	Bishop Copleston	House & Garden	Offwell Street	£2
Do	Do	Land	Golyalade	£2
Frederic Gould	Revd J G Copleston	Overland	Glebe	£18 (2nd)
Do	Bishop Copleston	Do	Northcombe	£24
John Seagar	Bishop Copleston	House and Land	Slopool	£19 10s
Do	Revd J G Copleston	Barn and Lands	Raddons	£4
Mathew Sanders	Bishop Copleston	Barn and Lands	Colwell Village	£48
Joseph Ware	Bishop Copleston	House and Lands	West Colwell	£17
Samuel Wright	Bishop Copleston	House and Lands	Five Bells	

Figure 11: Church Rates 1839

<sup>4</sup> P92, A year before his death he was in a legal dispute with Sir Edward Marwood-Elton over Edwards ornamental ponds

<sup>5</sup> Church Rates 1839

<sup>6</sup> Records of Leeses DRO 337B/3/1/2:

### 5.3 Historical Baseline – Map Analysis



Figure 12: Tithe Map 1843 shows Offwell House in pink with outhouses to the north

 A detailed table titled 'Apportionment' showing land divisions. The table has multiple columns with various entries, including names of landowners and descriptions of plots. The text is small and difficult to read, but it appears to be a legal or administrative record of land parcels.

Figure 13: Apportionment

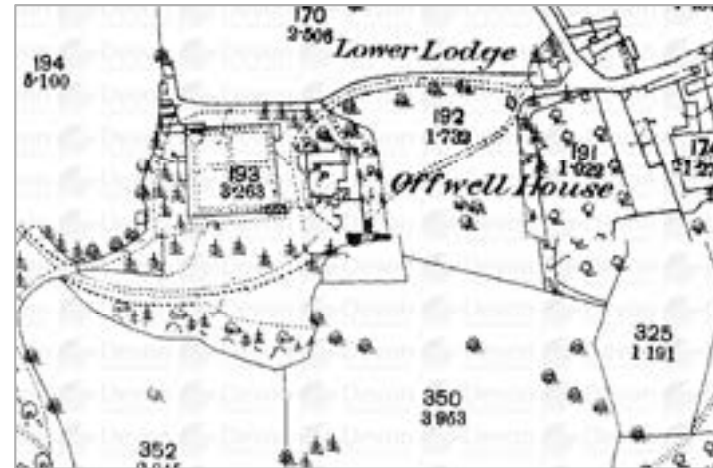


Figure 14: First Edition OS Map 1889  
Outhouses appear to be linked and the entrance is shown at the rear of the current house. Vinery shown.

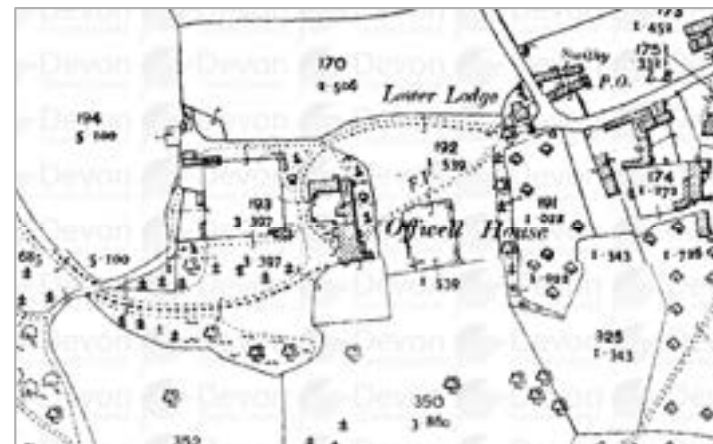
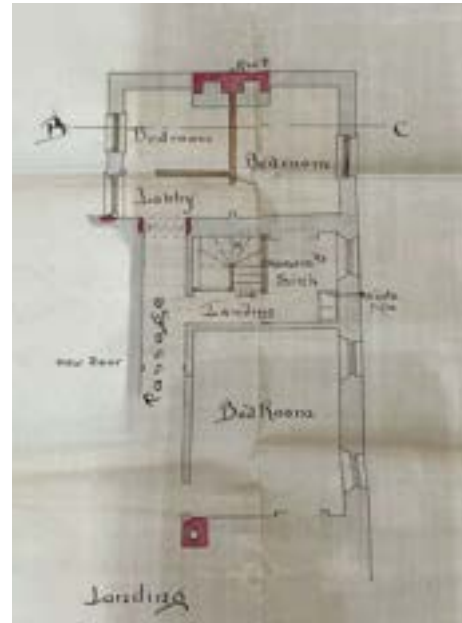


Figure 15: Second Edition OS Map 1905  
Drives defined from Higher and Lower Lodge with Offwell Woods to the West. Small buildings shown around walled garden.

### 5.3 Historical Baseline – Map Analysis



Figures 16-18: 1895 Part Plans and Sections of proposed alterations to Offwell House by Edward George Warren Architects, Exeter

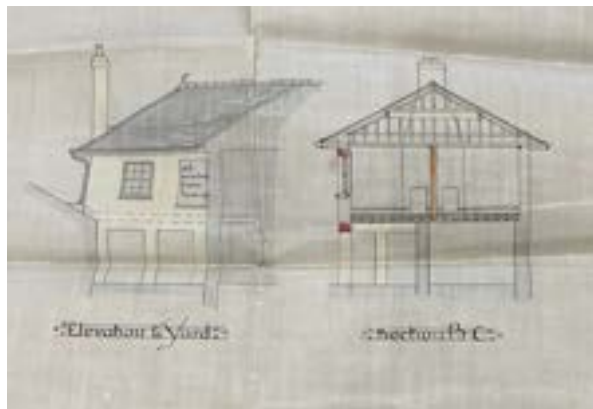


Figure 19: 1901 Estate Map (green). Part of Lease between John Henry Copleston and Isabella James.

### 5.3 Historical Baseline – Map Analysis



Figure 20: 1908 Estate Map (102-3-9) (red Map) Lease of 74 acres to John Pawley Bateman.



Figure 21: 1963 Map



### 5.3 Historical Baseline – Map Analysis



Figure 22: 2006 Aerial shows the original orientation of Offwell House



Figure 23: 2010 Aerial shows planning approval 10/0975/LBC being implemented. Note: the kitchen garden has been cleared ready for conservation.



Figure 24: 2015 Aerial View

## 5.4 Historical Photographs



Figure 25: Offwell House c1900 shows the original driveway at the west of the property. Note the original entrance portico which still exists.



Figure 26: Offwell House c1955



Figure 27: Offwell House c1960



Figure 28: Offwell House c1989  
Pam & Mike Costain were the owners and recorded Offwell House "had not been messed about with". They made very few changes apart from the addition of 20<sup>th</sup> century central heating

## 6.0 STATEMENT of SIGNIFICANCE


The cultural significance will be assessed and determined by an analysis of both the physical and the documentary evidence (including community values) gathered about the site. The analysis will then be used to interpret and articulate the meaning and significance from the evidence.

The Burra Charter (Australia ICOMOS 1999) categorises values under the following headings: Aesthetic, Historic, Scientific and Social. In 2007 English Heritage also defined a “family” of values under the following headings: Evidential, Historical, Aesthetic and Communal. The English Heritage document reinforces the point that these are “not intended as a definitive checklist of heritage values, but to prompt comprehensive thought about the values of a place”.<sup>1</sup>

In addition, the significance has also been assessed based on Historic England’s publication ‘Statements of Heritage Significance: Analysing Significance in Heritage Assets (2019)’ and the NPPF.

Comparative significance is best expressed by using a hierarchy of ascending or descending levels of value. Therefore based on Kerr (2004) each category has been reviewed based on: Exceptional, considerable, some, limited, unknown, no and negative significance.<sup>2</sup>

In the table opposite the significance of Offwell House has been assessed as a full understanding of the significance of the asset is required in order to evaluate the proposed impact of the proposed changes.

	Significance	Level
Architectural and artistic interest	Offwell House is in the Regency style and retains many original features.	HIGH
Historic interest	Offwell House holds high historic value with the village and the most influential family “The Coplestons” who shaped the village considerably in their long “reign” as incumbent.	HIGH
Archaeological interest	There is no evidence to expect any archaeological remains with the works proposed, but some may lie to the west under the lawn area. 	SOME
Communal interest	Offwell House is an important building within the parish of Offwell.	HIGH

Therefore Offwell House exemplifies its Grade II level of listing.

<sup>1</sup> English Heritage 2007

<sup>2</sup> Worthing and Bond – P62

## 7.0 PROPOSAL

The application seeks to reinstate a small lean to boot room at the rear of the property, construct a new garage adjacent to the service courtyard and design landscaping to the west to form formal gardens more in keeping with the Regency style Heritage Asset.

As a result of the major re-orientation in 2010, Mr & Mrs Banks wish to formalise the original driveway into formal gardens, linking main historic garden features with the house.

## 8.0 HERITAGE IMPACT ASSESSMENT – PARA 190 NPPF

### 8.1 IMPACT ON THE SIGNIFICANCE

As Section 3.2 states, a staged assessment should be followed.<sup>1</sup> This report follows that process.

The proposed scheme does not detrimentally affect the historic fabric of Offwell House, The heritage asset has been altered throughout its history with the major change in orientation carried out in 2010.

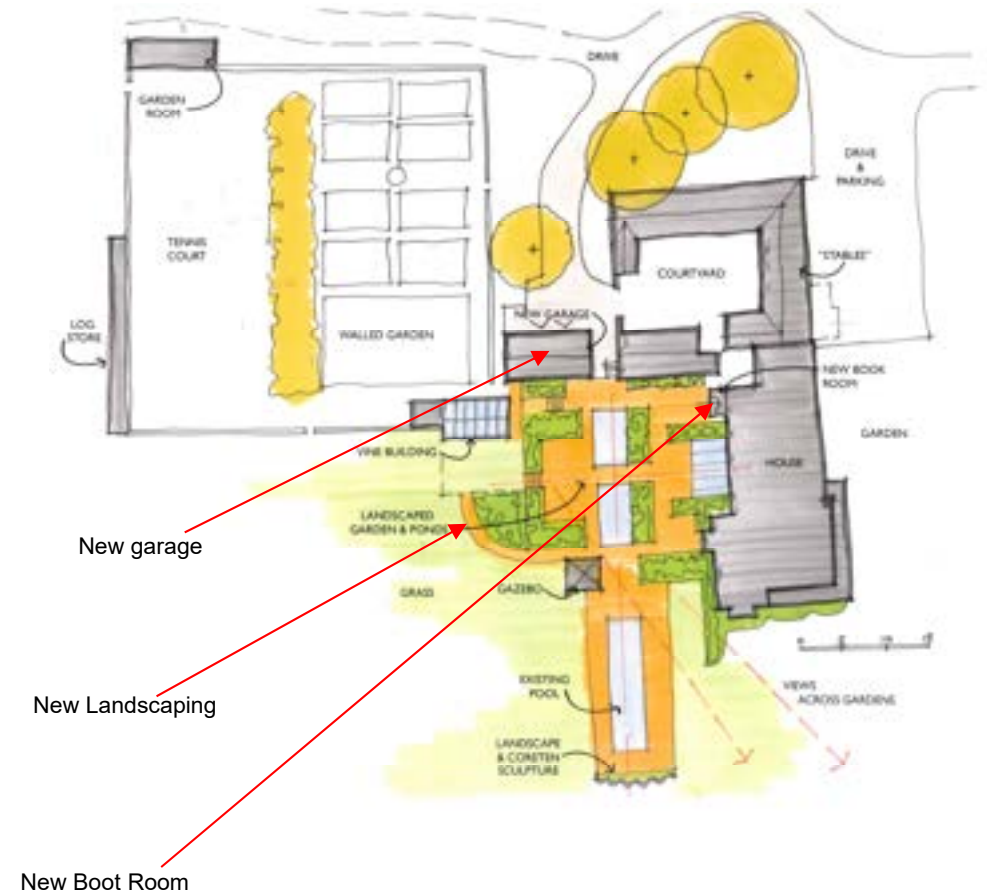


Figure 27: Site plan – See location of new boot room, landscaping and garage

<sup>1</sup> P3 Historic England – Statements of Heritage Significance

## 9.0 CONCLUSION

The proposal seeks to add a small boot room to the Grade II listed property, construct a new garage on the existing rear driveway and landscape the gardens.

The building historically had a lean-to adjacent to the proposed boot room which was removed when the glass garden room was added (Ref 10/0975/LBC). The proposal seeks to reinstate this lean-to utilising materials from the pallet found in the Grade II listed building.

The new garage utilises the existing garden architecture to minimise impact on the setting of the heritage asset. Materials have been thoughtfully considered to form a subservient structure to the main range and its location within the service courtyard reduced any harm of Offwell House.

The landscape scheme seeks to reduce the extensive hard paving in the garden. Routes are designed to link the Vine house to the main house and a formal landscape design approach used which relates to the formal architecture of the Regency style house. The property fundamentally changed its orientation in terms of what is perceived as the front of house under planning approval 10/0975/LBC in 2010. The landscape scheme seeks to enhance this major alteration with a more environmental / sustainable planting scheme.

This report concludes that the scheme results in a level of less than substantial harm to the heritage asset.

APPENDIX 1

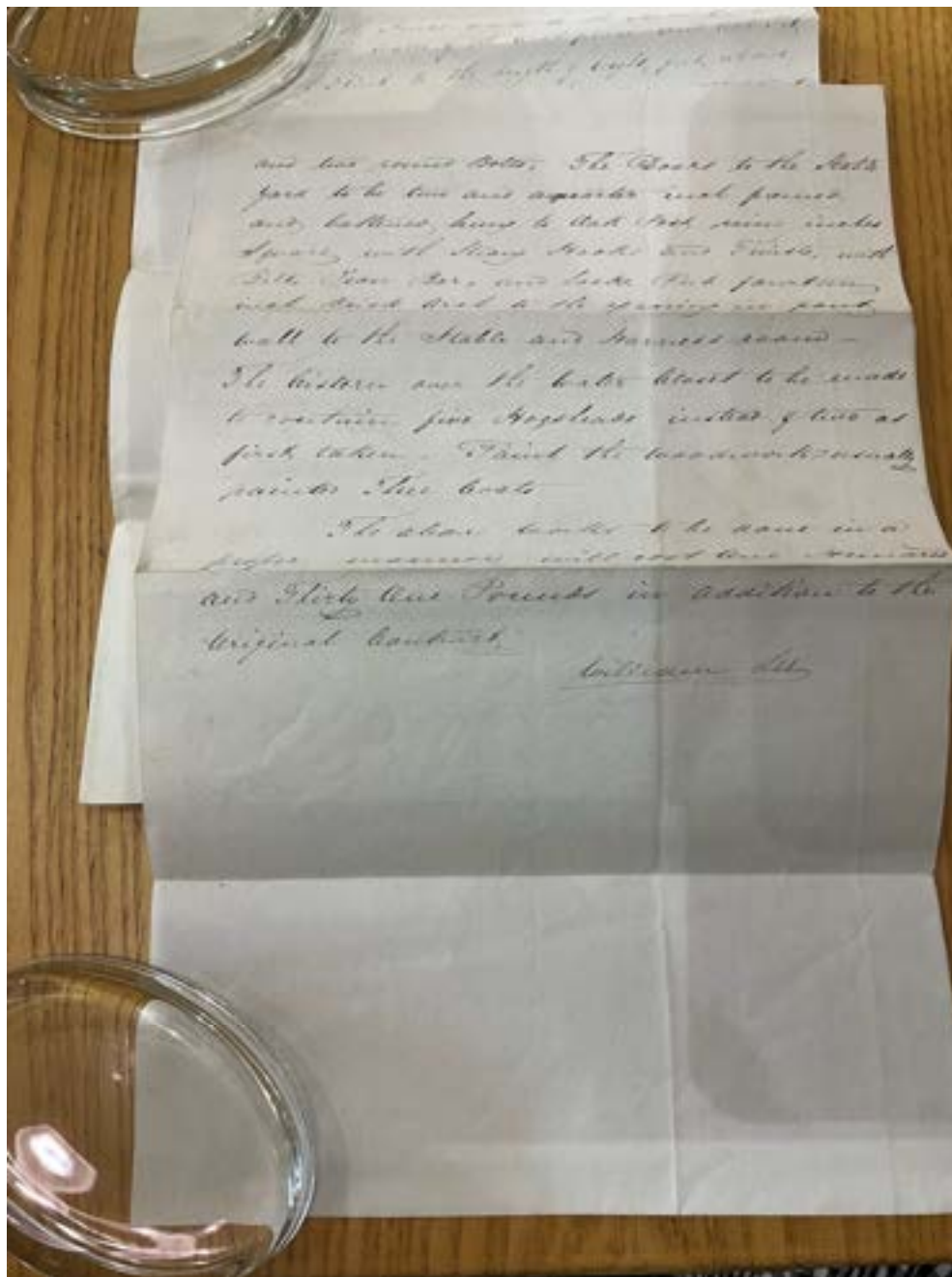
Specification

The Rt Rev<sup>d</sup> Lord Bishop of Landaff  
1839  
To the Rev<sup>d</sup> Sir J. J. A

To erecting House as p. Plan Specification & Estimate dated Feb <sup>r</sup> 27 <sup>th</sup> 39	2506.0.0
To erecting Portico as p. Estimate	16.10.0
April To Alterations to Drawing room Windows as p. Estimate	11 10 0
To increasing width of Drawing room as p. Plan & Estimate	6 0 0
June To several Alterations & additions to Stable Buildings. Some work as p. Specification & Estimate dated June 11 <sup>th</sup>	131.0.0
Amount carried forward	<u>2671.0.0</u>

Specifications & Estimates for sundry addi-  
 tions to the Stables for the Lord Bishop  
 of Mandary available with a view for that  
 purpose dated June 11th 1735

To wit the lower walls to the stable bars and  
 the walls of the coal place and oak bed with  
 flint to the height of eight feet above the stable  
 yards, above the lower wall stone  
 laid on edge, round the walls inside,  
 and out also the coping, but bricks  
 on edge & lead to the floor above and open  
 space in front of the harness room, the  
 inner countray to be pitched, the floor  
 and first step to of the Stables to be continued  
 over the space in front of the harness room  
 but a coal staircase to go to the left, the  
 walls and Partitions in front of the har-  
 niss room to be boarded with inch red  
 deal boarding five feet high and to be plas-  
 tered from floor to the ceiling, the floor  
 lower walls to be rendered, and to have lath  
 and Plaster ceiling, Mosaic deal roof  
 covered with Slate with lead, an ridge  
 a lead window, and glass to be put to  
 the floor lower to two and a quarter inch  
 patterned Board to be put to the countrey  
 with four by four oak floor panel  
 hung with Butt Hinges and to have a  
 five inch fine plate lock, Thresh hold



and has some other. The Doors to the stable  
part to be two and separate each panel  
and, likewise have to that part some rivets  
square, with strong hooks and pins, and  
with some bars, and locks (but painting  
with black lead to the opening in panel,  
wall to the stable and harness room -  
The window over the stable should be made  
to contain five sashes instead of two as  
first taken. Paint the woodwork neatly  
paints the walls  
The above work to be done in a  
proper manner will cost three pounds  
and three shillings pence in addition to the  
original contract.  
William Pitt

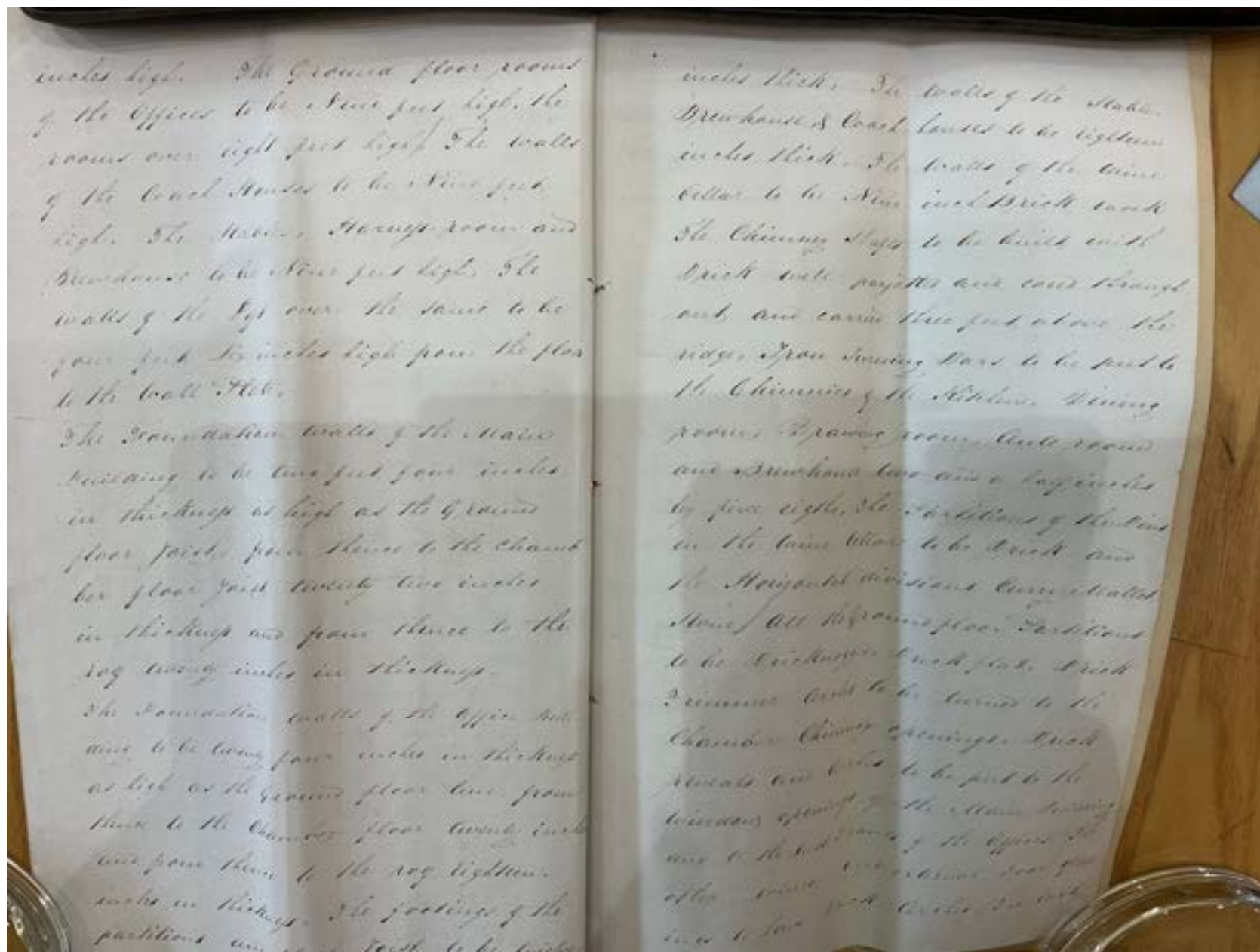


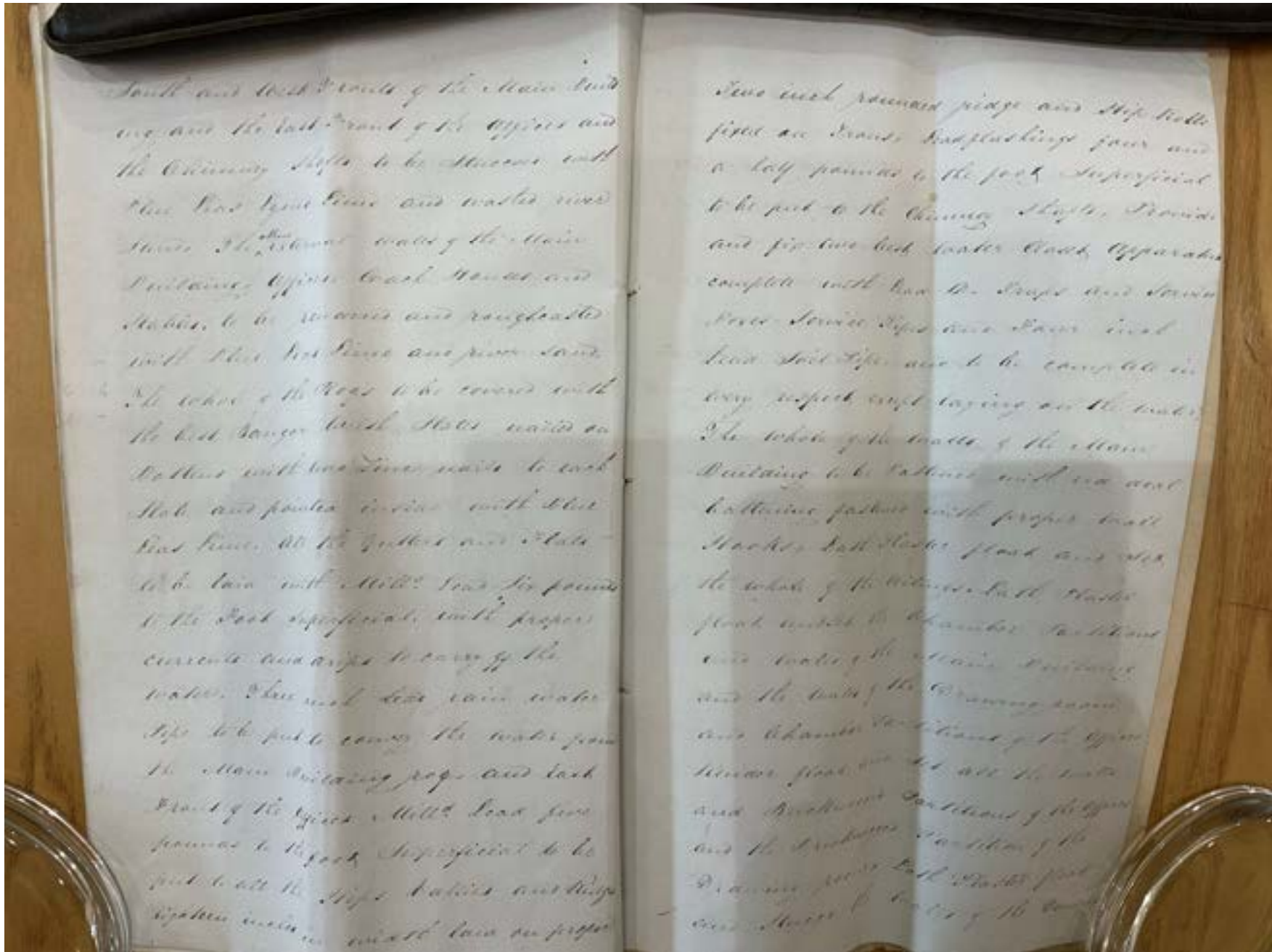
Specification and estimate for masonry  
House and Office for the Right Honourable  
Lord Bishop of Exeter, agreeable with  
a Plan for that purpose by Wm. Str.  
dated February 25th 1739.

The Contractor to provide all Materials  
Labour, Cartage, Hoopings, and Tools  
every description whatsoever.

To build out the several Foundations  
as low as may be necessary -  
to obtain a six bottom and remove  
the Soil to level the Ground round the  
House. Build the several walls with  
Mink Stone and good Blue Lias Lime  
and Sand Mortar properly compounded.  
The Contract to be allowed to six Feet  
at North South East and West  
in a field near the Mount Pleasant  
Newcastle Gate.

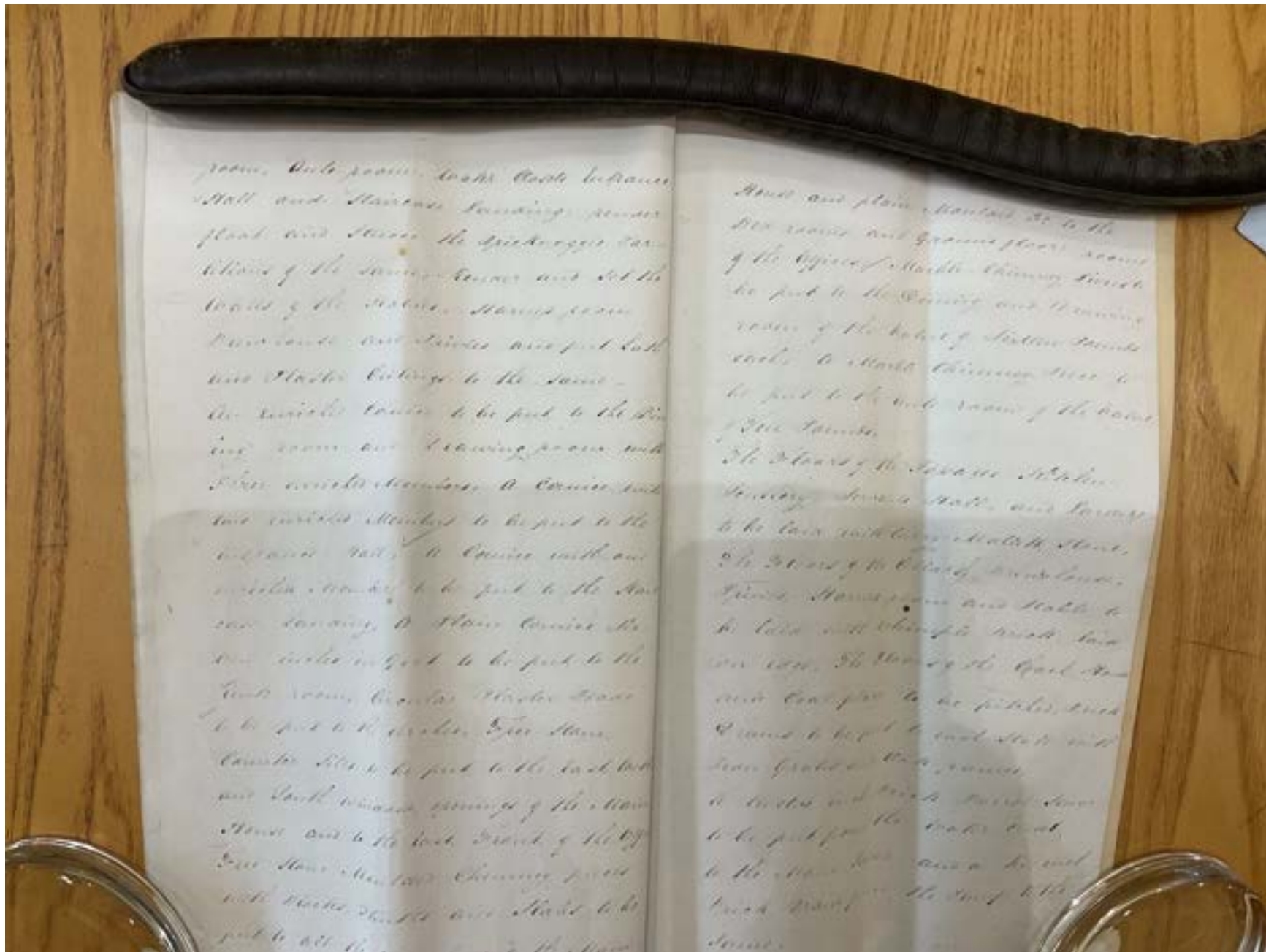
The Ground Floor rooms of the main  
Building to be seven feet high. The  
Bed rooms etc. to be nine feet six





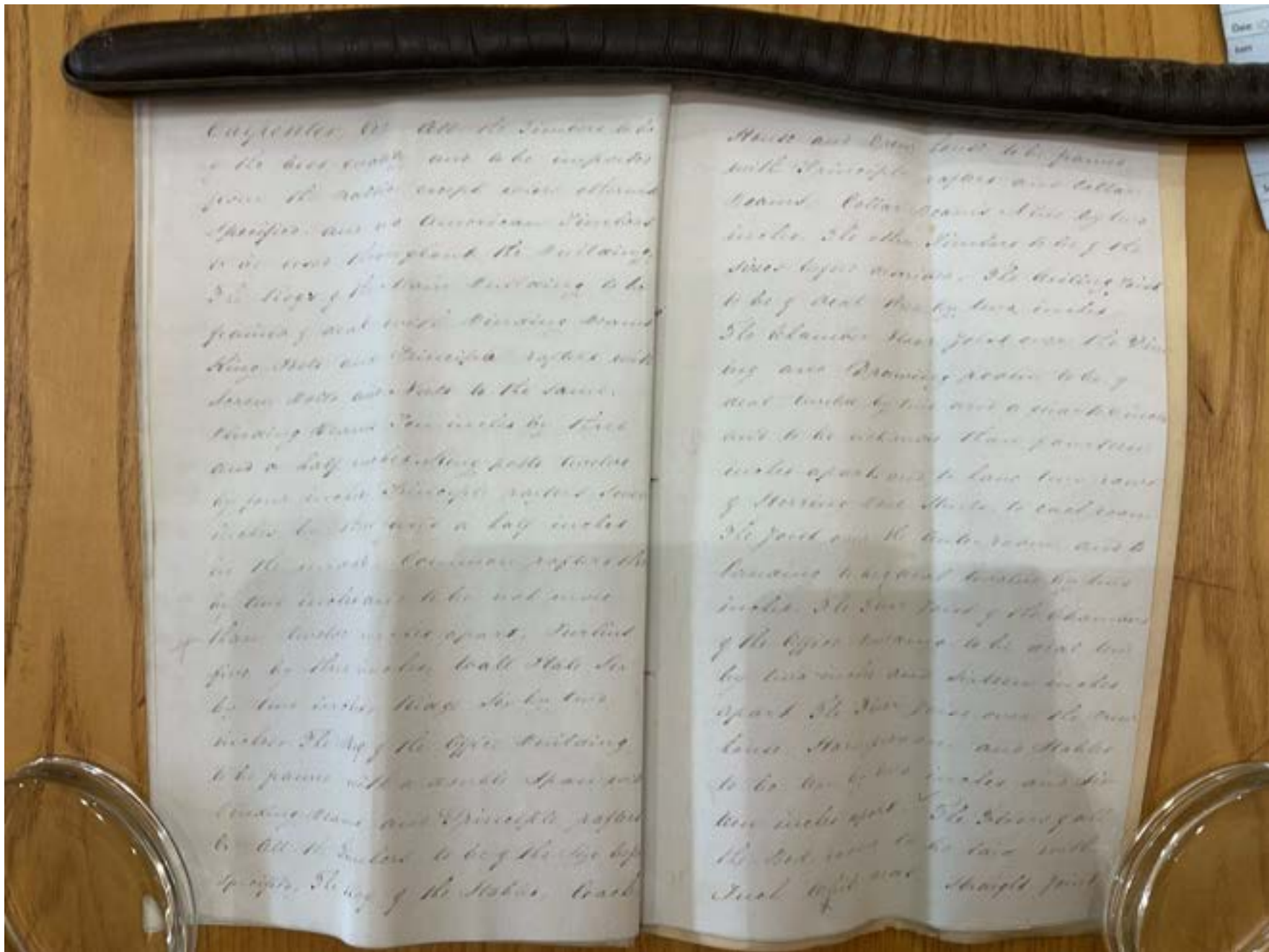
South and West fronts of the main building  
 and the East front of the Offices and  
 the Chimney shafts to be stuccoed with  
 blue lead lime putty and washed over  
 with the <sup>best</sup> <sup>white</sup> wash water of the main  
 building. Offices to be washed and  
 stuccoed to be repaired and roughcast  
 with blue lead lime and pure sand.  
 The whole of the roof to be covered with  
 the best Sauge Welsh Slates nailed on  
 battens with one timber nail to each  
 slab and pointed inwards with blue  
 lead lime. At the gutters and slates  
 to be laid with Mill's lead six pounds  
 to the foot superficial with proper  
 currents and strips to carry off the  
 water. There must be a rain water  
 pipe to be put to carry the water from  
 the main building roof and East  
 front of the Offices. Mill's lead four  
 pounds to the foot superficial to be  
 put to all the pipe habits and things  
 together inwards with lead on proper

Five inch round pipe and Hip rolls  
 fixed on frames and flushings four and  
 a half pounds to the foot superficial  
 to be put to the chimney shafts. Provide  
 and fix two best water Clock Apparatus  
 complete with two Dr. traps and down  
 pipes. Service pipes and down pipes  
 lead soil pipes and to be complete in  
 every respect except laying on the water.  
 The whole of the walls of the main  
 building to be battened with one vent  
 battening fastened with proper wall  
 hooks. Batt hooks fixed and set  
 the whole of the fittings. Batt hooks  
 fixed inside the chamber partitions  
 and walls of the main building  
 and the walls of the Drawing room  
 and chamber partitions of the office  
 window fixed in all the walls  
 and Archway partitions of the  
 and the Dr. traps partitions of the  
 Drawing room. Batt hooks fixed  
 and set in all the walls of the



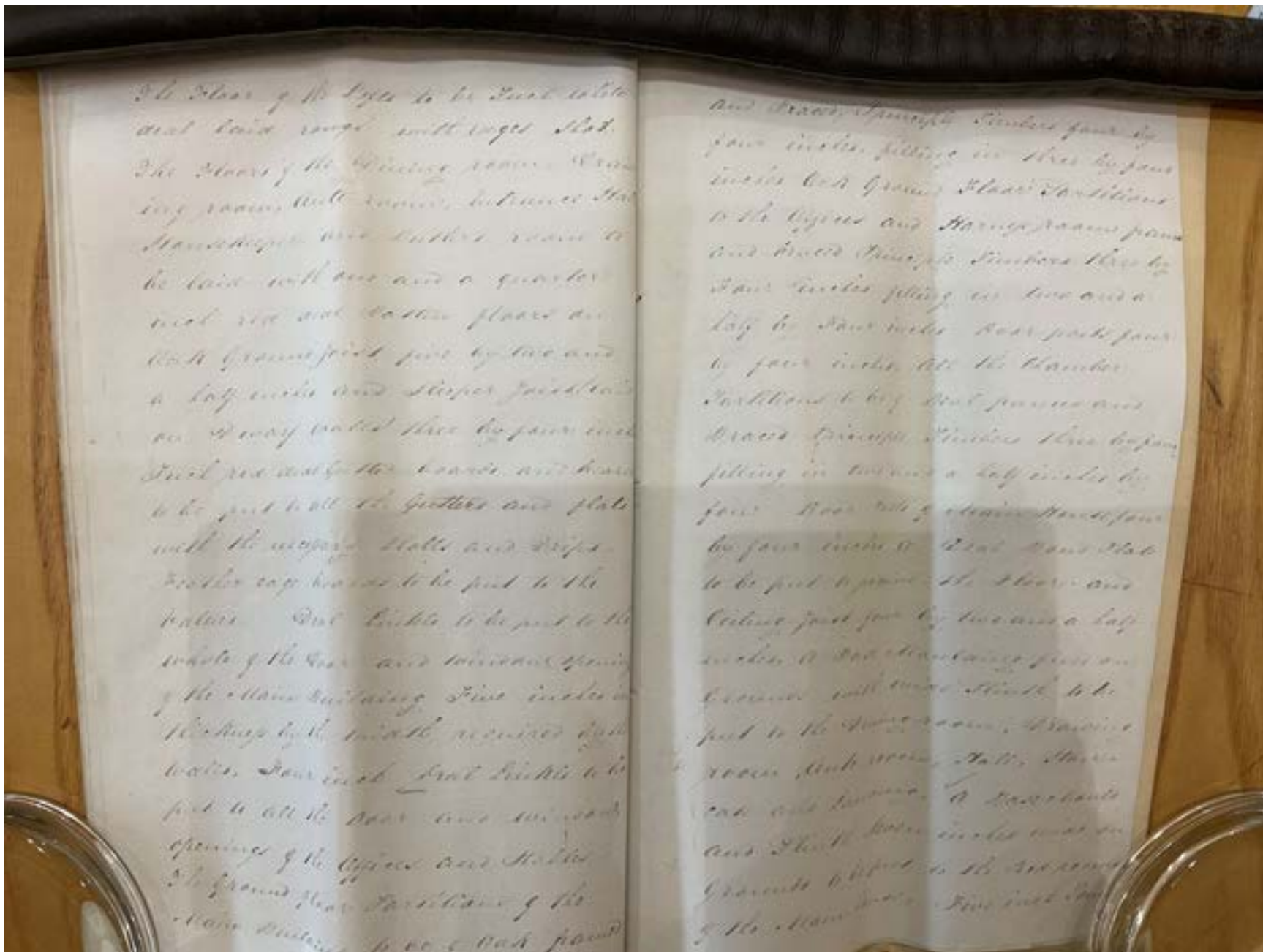
room, into room, look both between  
 Hall and staircase landing, under  
 plank and stairs the Specked egg  
 shells of the same colour and set the  
 boards of the stairs, stairs join  
 down side and stairs are put both  
 into Halls belongs to the same -  
 the window frame to be put to the  
 ing room and drawing room with  
 five window panes, a cornice and  
 two window sashes to be put to the  
 window wall, a cornice with an  
 window sashes to be put to the  
 room landing, a floor cornice the  
 two window sashes to be put to the  
 front room, window sashes to  
 be put to the window, five stone  
 cornice sashes to be put to the back  
 and back window openings of the  
 stairs and to the back of the  
 five stone window sashes  
 with window sashes and stairs to be  
 put to all the

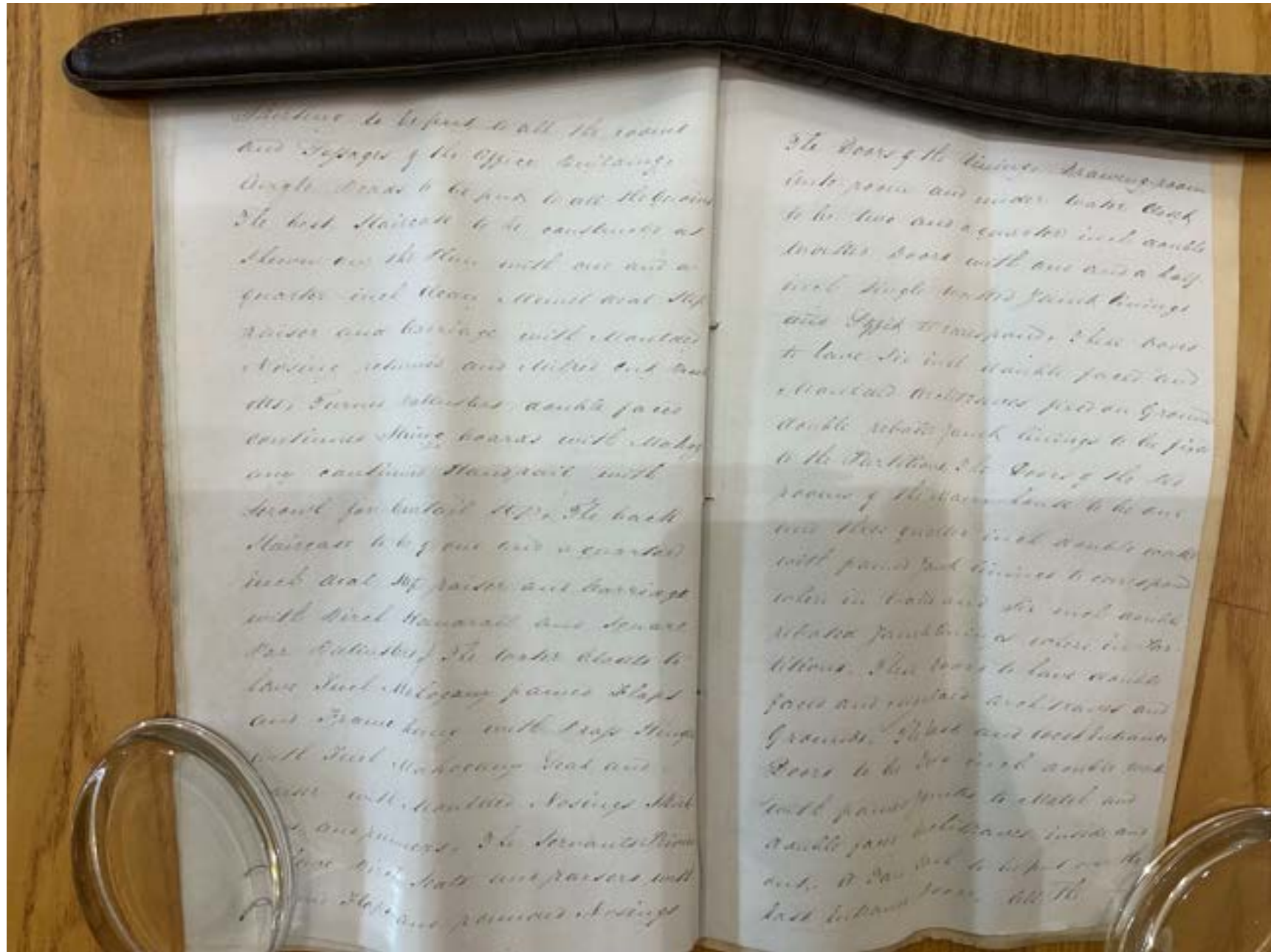
about one plain mantel to be  
 the room and ground floor, cornice  
 of the office of Martha chimney  
 to be put to the chimney and drawing  
 room of the house of Martha  
 sashes to Martha chimney to be  
 to be put to the end room of the house  
 of the stairs.  
 The stairs of the house of Martha  
 landing, stone wall, and landing  
 to be laid with large marble stone,  
 the stairs of the house of Martha  
 stone stairs room and stairs to  
 be laid with large marble stone  
 in case, the stairs of the house  
 and land floor to be pitched, stone  
 frame to be put to the end stairs with  
 stone granite, stone cornice  
 a cornice and stone sashes to  
 to be put to the window wall,  
 to the stairs, stone sashes to be  
 stone wall, the stairs of the  
 house.



Cigarettes. All the Simons and  
 of the best quality and to be imported  
 from the north except where otherwise  
 specified. and no American Simons  
 is to be used throughout the building.  
 The size of the main building to be  
 framed and roofed Simons brand  
 King Posts and Braces rafters with  
 seven feet intervals to the same.  
 Landing beams ten inches by three  
 and a half inches. Floor joists twelve  
 by four inches. Principal rafters seven  
 inches by ten inches and a half inches  
 in the middle. Common rafters the  
 in two instances to be not more  
 than twelve inches apart. Siding  
 five by three inches. Wall studs six  
 by four inches. Sills six by four  
 inches. The top of the gable building  
 to be framed with a double space and  
 landing beams and principal rafters  
 to all the rafters to be of the best  
 quality. The size of the studs, cross

studs and braces to be framed  
 with principal rafters and landing  
 beams. Collar beams nine by two  
 inches. The other timbers to be of the  
 same size as above. The siding to be  
 of best quality ten inches  
 The boards that go over the win-  
 dow and doorways to be of  
 best quality ten and a half inches  
 and to be set in the same joints  
 twelve inches apart and to have two rows  
 of stopping each side to each room.  
 The joist over the bath room and to  
 be made to support landing beams  
 inches. The size of the beams  
 of the gable to be ten by  
 ten inches and sixteen inches  
 apart. The size of the main  
 beam, stringer, and sills  
 to be ten by ten inches and ten  
 inches apart. The stringer  
 to be ten by ten inches with  
 dual joist over straight joist





The house to be put to all the rooms  
 and passages of the Office belonging  
 Double doors to be put to all the rooms  
 The best staircase to be constructed as  
 shown on the Plan with one and a  
 quarter inch floor, round oval top  
 riser and landing with balustrade  
 of stone columns and steps cut and  
 all the Furnishings double pairs  
 continuous string boards with skirting  
 and continuous handrail with  
 mould for balustrade top. The back  
 staircase to be of one and a quarter  
 inch oval top riser and landing  
 with oval handrail and square  
 top balustrade. The lower blocks to  
 have such skirting, panels, steps  
 and frame work with steps skirting  
 with oval handrail and  
 one pair of stairs. The servants passage  
 to be of one and a quarter inch  
 floor and panels skirting

The doors of the drawing room  
 and passage and under water clock  
 to be two and a quarter inch double  
 wooden doors with one and a half  
 inch high moulded panel linings  
 and fitted to correspond. The doors  
 to have six inch double panels and  
 moulded balustrades for an ground  
 double skirting panel linings to be put  
 to the Partition. The doors of the  
 rooms of the Water clock to be one  
 and three quarters inch double wood  
 with panel and linings to correspond  
 when in beds and six inch double  
 skirting panel linings as shown in the  
 drawings. The doors to have double  
 panels and skirting oval panels and  
 ground. The best and most suitable  
 doors to be of one and a quarter inch  
 double panels to be fitted and  
 double panels skirting inside and  
 outside. It is to be put on the  
 back staircase. All the

