# Heritage Statement for Alterations to Offwell House



# **GJR Conservation Architects**

October 2023

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Appendix 1 - Specification



It should be noted that the report has been prepared under the express instructions and solely for the use of Mr & Mrs Banks, and any associated parties they elect to share this information with. Measurements and distances referred to in the report should be taken as approximations only and should not be used for detailed design purposes.

All the work carried out in this report is based upon the professional knowledge and understanding of GJR Conservation Architects on current (October 2023) and relevant United Kingdom standards and codes, technology and legislation. Changes in these areas may occur in the future and cause changes to the conclusions, advice, recommendations or design given. GJR Conservation Architects do not accept responsibility for advising the clients or associated parties of the facts or implications of any such changes in the future.

This report has been prepared utilising factual information obtained from third party sources. GJR Conservation Architects take no responsibility for the accuracy of such information. It should also be noted that this report represents an early stage of a phased approach to assessing mitigation strategy, should this be required. It does not propose mitigation of impacts in itself.

No intrusive investigation of the historic fabric was undertaken by GJR Conservation Architects to produce this report.

# 1.0 EXECUTIVE SUMMARY

The proposal seeks to add a small boot room to the Grade II listed property, construct a new garage on the existing rear driveway and landscape the gardens.

The building historically had a lean-to adjacent to the proposed boot room which was removed when the glass garden room was added (Ref 10/0975/LBC). The proposal seeks to reinstate this lean-to utilising the material pallet found in the Grade II listed building. This ensures the historical development of the heritage asset is legible.

The new garage utilises the existing garden architecture to minimise impact on the setting of the heritage asset. Materials have been thoughtfully considered to form a subservient structure to the main range and its location within the service courtyard reduces any harm to the setting of Offwell House.

The landscape scheme seeks to reduce the extensive hard paving in the garden. Routes are designed to link the historic Vinery to the main range with a formal design which relates to the formal language of the Regency house. The property fundamentally changed its orientation in terms of what is perceived as the front of house under planning approval 10/0975/LBC in 2010. The landscape scheme seeks to enhance this major alteration with a more environmental / sustainable planting scheme.

This report concludes that the proposed scheme results in a level of less than substantial harm to the heritage asset.



Figure 1: Former lean to adjacent to be proposed location of boot room

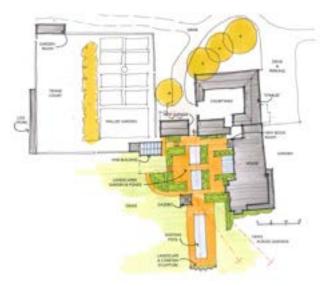


Figure 2: Proposed landscape drawing

# 2.0 INTRODUCTION

This Heritage Statement has been prepared for Mr & Mrs Banks to support the listed building application. The application seeks to reinstate a small lean to boot room at the rear of the property, construct a new garage in the service courtyard and design landscaping to the west to form formal gardens more in keeping with the Regency style of this Heritage Asset.

### 2.1 THE PURPOSE OF THE REPORT

The report has been written to aid the Local Authority in determining the listed building application. The report complies with the requirements set out in the NPPF Section 16 (particularly paragraph 189).<sup>1</sup>

### 2.2 UNDERPINNING LEGISLATION

Ancient Monuments and Archaeological Act 1979. Planning and Listed Buildings and Conservation Areas Act 1990 paras 66 and 72.

### 2.3 AUTHOR

The observation, research and report have been facilitated by GJR Conservation Architects who are fully qualified and experienced in architectural conservation with over 30 years experience. For more information, please visit www.gjrarchitects.co.uk. The conservation aspect of the scheme has been led by Sarah John RIBA Conservation Architect, MA (Distinction) Architectural Conservation.

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### 2.5 STATUTORY DESIGNATIONS

Listing Details

Grade: II List Entry Number: 1104088 Date first listed: 08-Mar-1988

#### Details

3/111 Offwell House including stables - adjoining to north GV II House, former rectory. Built in 1828 according to Hoskins, 1830 according to Pevsner, for the Reverend E. Coppleston, Bishop of Llandaff and Dean of St Pauls. Plastered stone rubble, maybe with some brick; stone rubble stacks with probably late C19 cream-coloured brick chimney shafts; slate roof. Plan: basically an L-plan building. The principal rooms are in the south-facing block. It is double depth. There are 2 front rooms, the left (west) one broken forward a little. The main entrance is on the left side with the entrance hall and main stair behind the left front room. A double depth service wing projects at right angles to rear of centre of the front block. There is a corridor between the 2 rear blocks, and the eastern one with 4 rooms is longer than the western one with 3 rooms. Most of the rooms Are heated by a series of axial stacks. 2 storeys. Exterior: 1:2-window south front. The left-hand 1-window section breaks forward and the corners here have stucco panelled pilasters. The ground floor window is a bay window with 3 front 8-pane sashes and a moulded entablature. Above is a 12-pane sash. To right are 12-pane sashes. 2-window front of 12-pane sashes and ground floor French windows in the right end of the front block. A tented roof veranda on timber trellis posts is round the right section of the front and right end. The left (west) end of the front has a 2window front of 12-pane sashes and the main doorway is to left. The stuccoed porch has a plain outer arch, panelled pilasters and moulded entablature. The doorway contains partglazed double doors. The main roof is hipped both ends with deep plain eaves. The service wing is a little lower and both sides include regular but not symmetrical arrangements of 12pane sashes. Interior: includes a good deal of original joinery and other detail including the large main stair; an open well stair with shaped newel posts with pendants, open string and turned balusters. At the rear, the north end, is a service courtvard enclosed by a tall plastered wall and including various service buildings. On the north side is the stable and coach house which has a large central elliptical arch and its roof (hipped each end) is surmounted by a small dovecote with wrought iron weather vane. The courtyard also includes a small game larder insulated by a double roof. This was built the residence of Bishop Copleston who was responsible for much building work in the parish in the early C19. Sources: N. Pevsner. The Buildings of England, South Devon, (1952) p. 168 W. G. Hoskins, Devon (1952) p. 446.

<sup>1</sup> P55 National Planning Policy Framework Feb 2019 <sup>2</sup> historicengland.org.uk.listing

## 2.4 LOCATION

Offwell parish lies on the hills to the east of the market town of Honiton. The parish consists of about 2.250 acres in an Area of Outstanding Natural Beauty (ANOB) in East Devon. The village itself is located just below the top of the hill, facing south in a valley of woods and pasture. Offwell House is located on the southern side of the village and sits almost at the centre of its current land with sweeping views to the south and west over a steep wooded valley.

### 2.5 THE SITE

Offwell House is approached from the east via the original service driveway which runs from the village, Ramsden Lane, adjacent to Lower Lodge. To the east and south lie landscaped gardens with open informal landscape beyond (Pictures 3 and 4). A walled garden, tennis court, swimming pool and vinery lie to the west with woodlands beyond (Pictures 10 and 11). The original stables and service courtyard are located to the north of the main range (Picture 6).

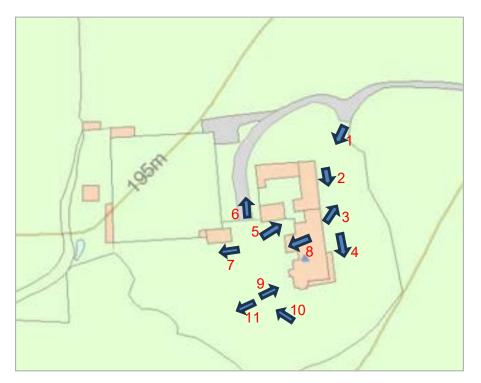


Figure 3: Annotated Site Plan – corresponding pictures on next two pages



Picture 1: Looking west towards main house with service range on the right



Picture 2: Main range showing new entrance in Planning approval Ref: 10/0975/LBC



Picture 3: Looking east toward village



Picture 4: Informal landscaping to the south



Picture 5: Proposed location for new boot room



Picture 6: Site of proposed garage in service courtyard

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Picture 7: Vinery



Picture 8: View from Garden room towards Vinery



Picture 9: View of original entrance





Picture 10 and 11: Garden area to be re-landscaped

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# 3.0 METHODOLOGY

# 3.1 STRUCTURE OF THE APPRAISAL AND ASSESSMENT

The methodology is based on guidance from ICOMOS, Historic England and Worthing / Bond <sup>1</sup>. Four visits to the site were carried out from September to November 2023 where site photographs and sketches were undertaken.

Section 4 of this report describes the heritage asset and defines the heritage baseline. Then Section 5 describes the heritage significance of the asset that will be affected by the development. The next section in the assessment considers the impact of the proposed development on the heritage significance of the heritage asset and whether it is beneficial or harmful and any mitigation the designers should use.

Guidelines produced by Historic England have been consulted including:

- Statements of Heritage Significance: Analysing Significance in Heritage Assets (Oct 2019).
- Conservation Principles, Policies and Guidance (2008).
- Managing Significance in Decision Taking in the Historic Environment Good Practice Advice in Planning: 2 (2015).
- The Setting of Heritage Assets, Historic Environment Good Practice Advice in Planning: 3 (2017).

This assessment includes relevant information contained in various statutory requirements, national, regional and local planning policies and professional good practice guidance, including:

- Ancient Monuments and Archaeological Areas Act, 1979.
- Planning (Listed Buildings and Conservation Areas) Act, 1990.
- The National Planning Policy Framework, 2019.

The Devon Historic Environmental Record is a primary source of information. In addition, this information was supported by examination of data from a wide range of other sources, principally:

- Heritage Gateway for information from the Historic England National Monuments Record or Greater HER;
- Pastscape and other research resources, including Access to Archives (A2A);
- The Historic England website professional pages, particularly the National Heritage List for England.
- Devon Record Office
- Devon Transactions DRO

# 3.2 HOW TO ASSESS SETTING

A staged approach to proportionate decision-taking should be followed  $^{\rm 2}$ 

- Identify the Heritage Assess affected
- Assess the contribution of setting to the significance of the asset.
- Assess the impact of change on the significance of the asset.
- Minimise and justify harm to the asset.

# 4.0 DESCRIPTION OF THE HERITAGE ASSET

### 4.1 Offwell House

Offwell House is a Grade II heritage asset set in 15 acres of land. The property is in Regency style plastered stone rubble with slate roof following an L-shaped plan. The main range to the south is two room deep whilst the coach house and stables to the north are one room deep. The orientation if the house was reversed in 2010 with the main entrance now on the east with glass garden room and landscaped gardens to the west.

### 4.2 Planning History

Construction of glass kitchen extension and porch, installation of flues in outbuilding, installation of solar panels on shed roof and construction of swimming pool

Offwell House Offwell Honiton EX14 9SA Ref. No: 10/0974/FUL 1 Validated: Wed 19 May 2010 1 Status; Approved

#### Construction of glass kitchen extension and porch, installation of flues in outbuilding, installation of solar panels on shed roof and internal and external alterations.

Offwell House Offwell Honiton EX14 9SA Ref. No: 10/0975/LBC | Validated: Wed 26 May 2010 | Status: Approved

#### Internal alterations to first floor.

Offwell House Offwell Devon EX14 9SA Ref. No: 09/2312/LBC | Varidated: Wed 18 Nov 2009 | Status: Approved

Conversion Of Coach House Stables Into Three Holiday Lets

Offwell House Offwell Honiton Devon Ref. No: 98/P2038 J Validated: Thu 10 Dec 1998 | Status: Approved

#### Alterations

Offwell House Offwell Honiton Devon Ref. No: 92/P0375 | Validated: Mon 02 Mar 1992 | Status: Approved

#### **Conversion Of First Floor To Stables To Residential Use.**

Offwell House Stables Adjacent Offwell Honiton Devon Ref. No: 83/P1392 | Validated: Mon 05 Sep 1983 | Status: Approved

#### One Dwelling.

Walled Garden At Offwell House Offwell Honiton Devon Ref. No: 81/P0265 | Validated: Tue 10 Feb 1981 | Status: Refused

#### Change Of Use To Nursing Home.

Offwell House Offwell Honiton Devon Ref. No: 81/P0205 | Validated: Mon 02 Feb 1981 | Status: Approved

#### Change Of Use To Guest House.

Offwell House Honiton Devon Ref. No. 81/PO204 | Validated: Mon 02 Feb 1981 | Status: Refused

#### PRIVATE COUNTRY HOTEL

Offwell House Offwell Devon EX14 9SA Ref. No: 78/CO140 I Validated: Thu 26 Jan 1978 | Status: Withdrawn

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# 5.0 HISTORICAL BASELINE

### 5.1 History of Offwell House

According to White's Directory of 1850 under the section pertaining to the parish of Offwell, "West Colwell Estate was purchased about 30 years ago, by the late Rt Rev Edward Copleston DD (see Fig 4) who was enthroned Bishop of Llandaff in 1828 and had a seat here called Offwell House".<sup>1</sup>

This fact is reiterated by the 1822 draft release held by the Devon Record office for West Colwell Estate where "Tucker, Flood etc released the estate to Copleston"<sup>2</sup>. When Dr Copleston bought West Colwell Estate he was Provost Of Oriel College, Oxford. The estate consisted of 130 acres (1861). It was once the home of William Collins but previously held by the Southcote family.<sup>3</sup>

It is unclear from the research to date whether there was a building on site when Edward Copleston bought the land, but there are differing thoughts on the matter. Hoskins and Pevsner both disagree on the construction dates for the house, with the former stating 1828 and the latter 1830 whilst Garey (p 17) states that the building work commenced in 1837.<sup>4</sup>

However, in 1839 records show that the Rev Lord Bishop of Llandaff received a quotation and specification from Mr William Lee of Honiton for "erecting a house as per plan .... With alterations to the drawing room and dining room along with the construction of the portico" <sup>5</sup> (see Fig 5). It was to be Edward's country bachelor retreat.

<sup>1</sup> P385 Whites Directory 1850
<sup>2</sup> 337B/0/1/263 DRO
<sup>3</sup> Magna Brittanica, Vol 6 Devonshire Transactions P370-381 1822 T Cadwell & W Davies
<sup>4</sup> P80, History of Offwell
<sup>5</sup> Also alterations to the stable buildings 337B/0/8/73 DRO



Figure 4: Rt Rev Edward Copleston DD, Bishop of Llandaff

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Figure 5: Quotation from 1939 for alterations to Offwell House

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The ground floor rooms were to be 11ft high with the bedrooms over at 9ft 6" whilst offices would be 9ft high and rooms above 8ft (see Appendix 1 – Spec). Plans also held by the Devon Record Office show that in 1895 Edward George Warren, Architect, was commissioned to alter the house for Rev J H Copleston (see Figs 16-18 on page 15).

In 2010 Offwell House received planning approval to extensibly alter the Heritage Asset. This changed the orientation of the house. Offwell House was originally designed to face the west, but due to changes in land ownership, the main carriageway (western driveway) and land linking the house with Higher Lodge, had been sold off over the years. This meant that in 2010 the village and service driveway from the east was the only access to the property. The application in 2010 provided a new principal entrance in the eastern façade and provided "what is a very formal house, the full gravitas it derserves".<sup>1</sup>

As a result of this major re-orientation, Mr & Mrs Banks wish to formalise the former driveway into formal gardens, linking main historic garden features with the house.





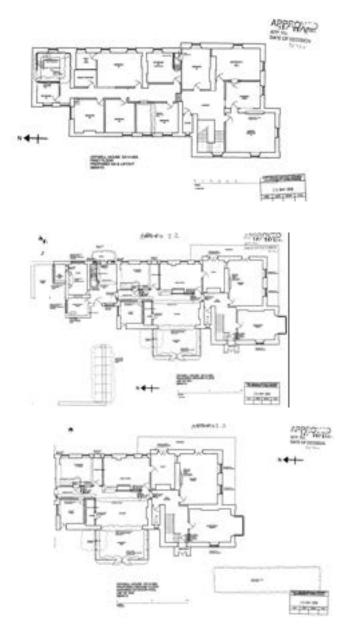


Figure 7: Original plans from 2010 LBC Application Ref: 10/0975/LBC

<sup>1</sup> 10/0975/LBC Proposed alterations to Offwell House DAS

### 5.2 The Coplestons

The Coplestons were an ancient and formidable clerical dynasty whose members included several bishops.<sup>1</sup> They were amongst the wealthier gentry families in Devon who had accumulated some of their wealth from the tin mining industry. In Offwell, the Coplestons dominated the history and reinvigorated life into the parish during their incumbency from 1773 to 1954.

The first Copleston rector of Offwell was John Bradford Copleston (1749-1831) who probably did not live in the village initially, but he was very proactive in the repair of the of the Church during his incumbency 1773-1800.

John Bradford built or rebuilt "the Rectory" adjacent to the church in about 1780.<sup>2</sup> He resigned as Rector in 1800 to allow his eldest son Edward who had just been ordained, to take his place.

Edward was born in Offwell on 2<sup>nd</sup> February 1776. He was a churchman, moral philosopher and academic, but was Rector of the parish for only 4 years from 1800 to 1804 as he pursued his successful career in Oxford. However, Edward was responsible for a number of private building works in Offwell including Offwell House <sup>3</sup> and the tower.

<sup>1</sup> "Copleston of Offwell" by Major W H Wilkin, Transactions of Devon Assoc Vol 113 (1931) P 241-254

<sup>3</sup> P80, It was said Edward purchased Little Penways, Great Penways, Round Penways and Long Penways to form its gardens and ground and Lyssons wrote in Magna Britannica 1822, that Rev Dr Copleston bought West Colwell (130 acres in 1861)

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Figure 8: Copleston Family Tree





Figure 9: John Bradford Copleston's Rectory House, built c 1780

Figure 10: Bishop Copleston's Tower

<sup>&</sup>lt;sup>2</sup> P71, The Copleston Era

### 5.2 The Coplestons (continued)

Edward died in 1849<sup>4</sup> and his younger brother, John Gaius Copleston became the Rector for 37 years (1804-1841). Fig 13 shows the extent of the Copleston land in 1839<sup>5</sup>.

John Gay Copleston (1802-1894) became Rector for 39 years (1841-1880) and stepped down for his son John Henry Copleston (Rector 1880-1918).

The Coplestons however, do not appear to have lived at Offwell House since the late 19<sup>th</sup> century. Instead they appear to have rented it out as well as the land.

1874 Major Binny Speid
1884 Rev Elton
1895 Isabella James
1901 John Pawley Bate
1909-1932 Sandbach Harrison <sup>6</sup>

Church Rate 1839 Occupier Revel J G Copleston Ditto Do	Owner Bishop Copleston Revd Copleston Do	Property Lands House & lands Melley Lay Orchard Rectory House & 2 gardens part of Tithe	Name Broomwood plot &c Mountpleasant Pleasure grounds & glebe	Rove 521 646 a 5210
Bishop Copleston	Bishop Copleston	Scrubbards Plantation	Pleasure Grounds Orchard	636
Charles Flood Do Frederic Gould Do John Seagar Do Mathew Sanders Joseph Ware	Bishop Copleston Bishop Copleston J G Copleston <sup>123</sup> Bishop Copleston Do Revd J G Copleston Bishop Copleston Revd J G Copleston Bishop Copleston Bishop Copleston Bishop Copleston Bishop Copleston	House & Lands Land Overland House & Garden Land Overland Do House and Land Barn and Lands Barn and Lands House and Lands House and Lands	Smalicomb Whitedown Offwell Street Golyslade Glebe Northecombe Slopool Raddons Colwell Village West Colwell Five Bells	

Figure 11: Church Rates 1839

<sup>4</sup> P92, A year before his death he was in a legal dispute with Sir Edward

Marwood-Elton over Edwards ornamental ponds

<sup>5</sup> Church Rates 1839

<sup>6</sup> Records of Leeses DRO 337B/3/1/2:

### 5.3 Historical Baseline – Map Analysis



Figure 12: Tithe Map 1843 shows Offwell House in pink with outhouses to the north

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Figure 13: Apportionment

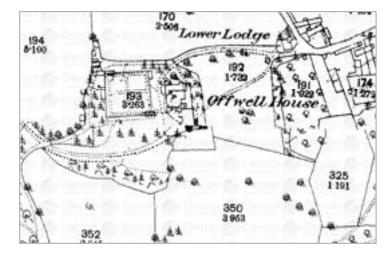


Figure 14: First Edition OS Map 1889 Outhouses appear to be linked and the entrance is shown at the rear of the current house. Vinery shown.

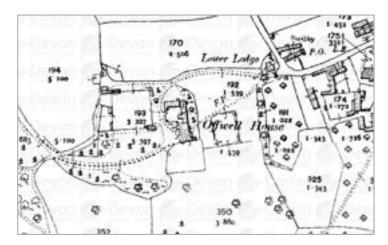
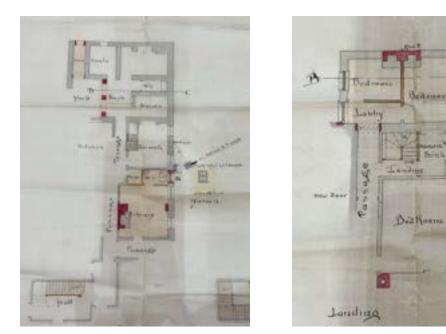


Figure 15: Second Edition OS Map 1905 Drives defined from Higher and Lower Lodge with Offwell Woods to the West. Small buildings shown around walled garden.

#### 5.3 Historical Baseline – Map Analysis



Figures 16-18: 1895 Part Plans and Sections of proposed alterations to Offwell House by Edward George Warren Architects, Exeter

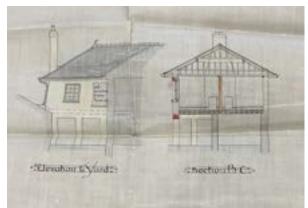




Figure 19: 1901 Estate Map (green). Part of Leese between John Henry Copleston and Isabella James.

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# 5.3 Historical Baseline – Map Analysis

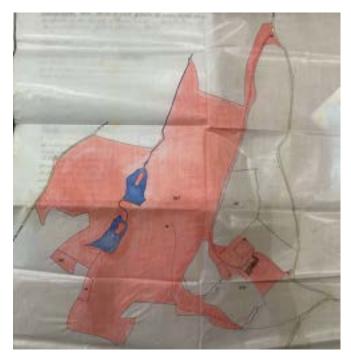


Figure 20: 1908 Estate Map (102-3-9) (red Map) Leese of 74 acres to John Pawley Bateman.



Figure 21: 1963 Map

## 5.3 Historical Baseline – Map Analysis



Figure 22: 2006 Aerial shows the original orientation of Offwell House



Figure 23: 2010 Aerial shows planning approval 10/0975/LBC being implemented. Note: the kitchen garden has been cleared ready for conservation.



Figure 24: 2015 Aerial View

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### 5.4 Historical Photographs



Figure 25: Offwell House c1900 shows the original driveway at the west of the property. Note the original entrance portico which still exists.



Figure 26: Offwell House c1955



Figure 27: Offwell House c1960



Figure 28: Offwell House c1989 Pam & Mike Costain were the owners and recorded Offwell House "had not been messed about with". They made very few changes apart from the addition of 20<sup>th</sup> century central heating

# 6.0 STATEMENT of SIGNIFICANCE

The cultural significance will be assessed and determined by an analysis of both the physical and the documentary evidence (including community values) gathered about the site. The analysis will then be used to interpret and articulate the meaning and significance from the evidence.

The Burra Charter (Australia ICOMOS 1999) categorises values under the following headings: Aesthetic, Historic, Scientific and Social. In 2007 English Heritage also defined a "family" of values under the following headings: Evidential, Historical, Aesthetic and Communal. The English Heritage document reinforces the point that these are "not intended as a definitive checklist of heritage values, but to prompt comprehensive thought about the values of a place".<sup>1</sup>

In addition, the significance has also been assessed based on Historic England's publication 'Statements of Heritage Significance: Analysing Significance in Heritage Assets (2019)' and the NPPF.

Comparative significance is best expressed by using a hierarchy of ascending or descending levels of value. Therefore based on Kerr (2004) each category has been reviewed based on: Exceptional, considerable, some, limited, unknown, no and negative significance.<sup>2</sup>

In the table opposite the significance of Offwell House has been assessed as a full understanding of the significance of the asset is required in order to evaluate the proposed impact of the proposed changes.

	Significance	Level
Architectural and artistic interest	Offwell House is in the Regency style and retains many original features.	HIGH
Historic interest	Offwell House holds high historic value with the village and the most influential family "The Coplestons" who shaped the village considerably in their long "reign" as incumbent.	HIGH
Archaeological interest	There is no evidence to expect any archaeological remains with the works proposed, but some may lie to the west under the lawn area.	SOME
Communal interest	Offwell House is an important building within the parish of Offwell.	нібн

Therefore Offwell House exemplifies its Grade II level of listing.

<sup>1</sup> English Heritage 2007 <sup>2</sup> Worthing and Bond – P62

# 7.0 PROPOSAL

The application seeks to reinstate a small lean to boot room at the rear of the property, construct a new garage adjacent to the service courtyard and design landscaping to the west to form formal gardens more in keeping with the Regency style Heritage Asset.

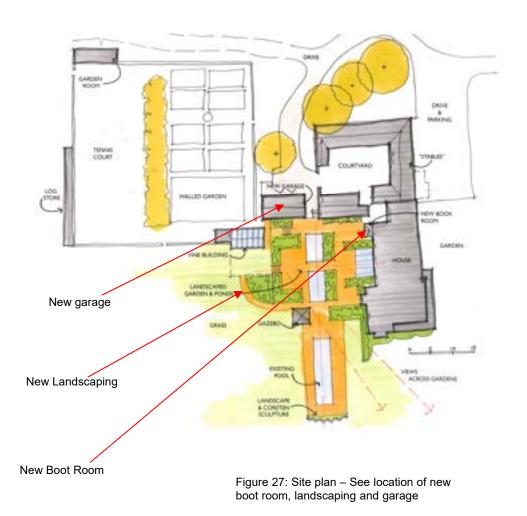
As a result of the major re-orientation in 2010, Mr & Mrs Banks wish to formalise the original driveway into formal gardens, linking main historic garden features with the house.

# 8.0 HERITAGE IMPACT ASSESSMENT – PARA 190 NPPF

## 8.1 IMPACT ON THE SIGNIFICANCE

As Section 3.2 states, a staged assessment should be followed.<sup>1</sup> This report follows that process.

The proposed scheme does not detrimentally affect the historic fabric of Offwell House, The heritage asset has been altered throughout its history with the major change in orientation carried out in 2010.



<sup>1</sup> P3 Historic England – Statements of Heritage Significance

# 9.0 CONCLUSION

The proposal seeks to add a small boot room to the Grade II listed property, construct a new garage on the existing rear driveway and landscape the gardens.

The building historically had a lean-to adjacent to the proposed boot room which was removed when the glass garden room was added (Ref 10/0975/LBC). The proposal seeks to reinstate this lean-to utilising materials from the pallet found in the Grade II listed building.

The new garage utilises the existing garden architecture to minimise impact on the setting of the heritage asset. Materials have been thoughtfully considered to form a subservient structure to the main range and its location within the service courtyard reduced any harm of Offwell House.

The landscape scheme seeks to reduce the extensive hard paving in the garden. Routes are designed to link the Vine house to the main house and a formal landscape design approach used which relates to the formal architecture of the Regency style house. The property fundamentally changed its orientation in terms of what is perceived as the front of house under planning approval 10/0975/LBC in 2010. The landscape scheme seeks to enhance this major alteration with a more environmental / sustainable planting scheme.

This report concludes that the scheme results in a level of less than substantial harm to the heritage asset.

# **APPENDIX 1**

### Specification

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incles ligh. The Ground floor rooms of the Offices to be a Fine part, high, the rooms over light furt light The walls of the lovel Amore to be stine fue igh. The Man Horny recent and manance to be stine ful light She walls of the Sol ever the same to be your fact to inclus ligh pour the plan 1. the ball Hele, The Proundation walls of the Main harding to be time put four inches in this knop as high as the ground place points pero shere to the chant her place frist twenty two inches in thisking and pour thence to the log trang inter in History. The Soundation walls of the Office And time to be living fare wells in thickness as list on the ground floor time from there to the Country place towned inch wir from them to the roy lighter. who in this the pretings of the partitions and at it Touch to be

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