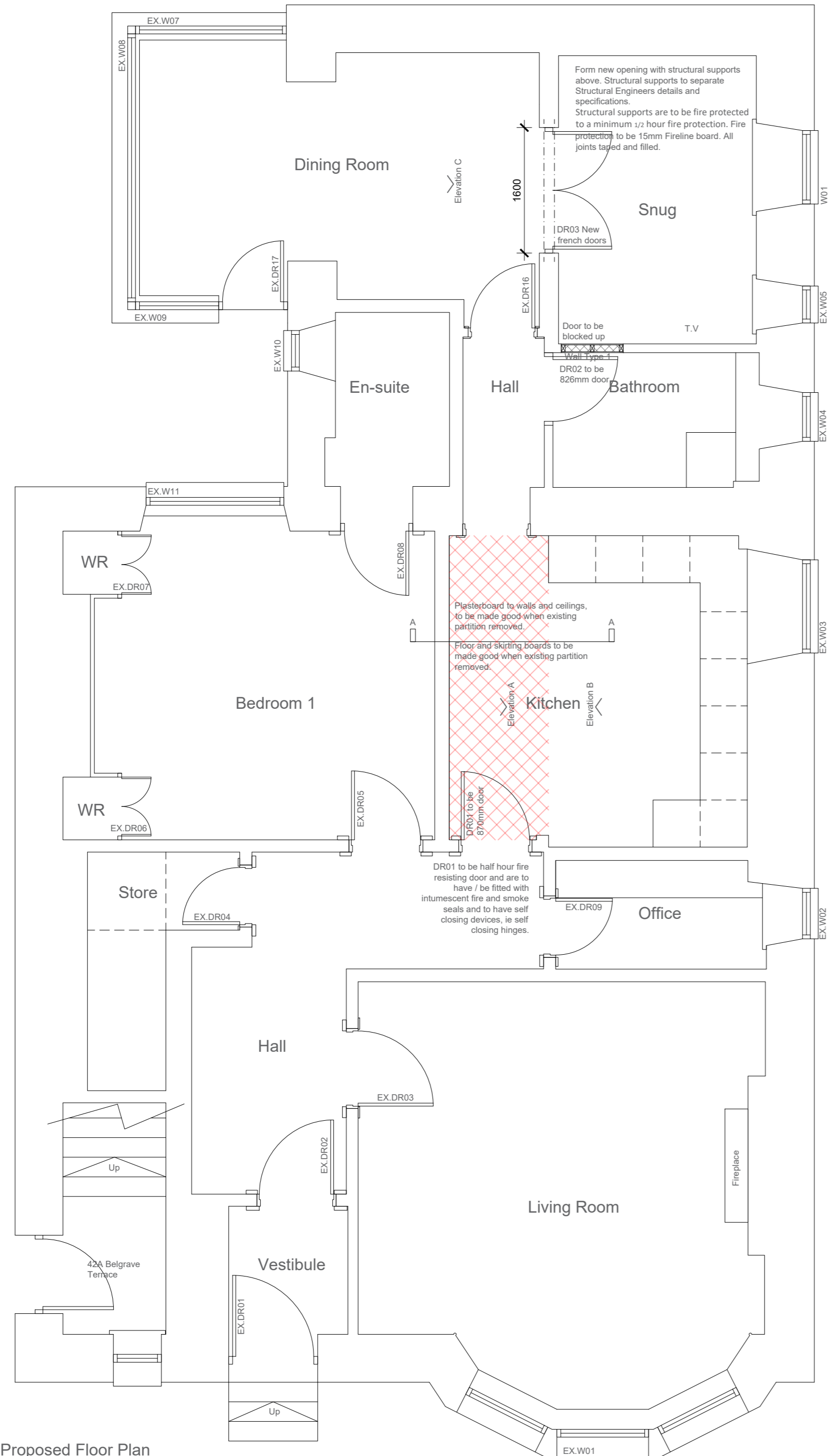


Chimney place to be removed. Structural alterations are required to support the chimney place.  
Structural supports are to be fire protected to a minimum 1/2 hour fire protection. Fire protection to be 15mm Fireline board. All joints taped and filled.



Proposed Floor Plan Scale 1:50

Window to be an escape window. Window to have a U value of 1.4w/m<sup>2</sup>k. Trickle ventilation 12,000mm<sup>2</sup>  
Windows to fully comply with part 2.9.4 of the current Technical Standards.

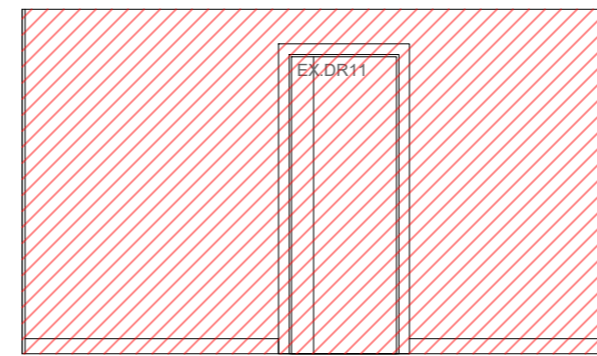
Escape windows are to have an openable area of at 0.33m<sup>2</sup> and at least be 450mm high and 450mm wide (the route through the window may be at an angle rather than straight through). The bottom of the openable area should not be more than 1.1m above the floor.

All glazing in vulnerable locations is to be laminated.

Glazing should be designed to resist human impact as set out in BS 6262 Part 4: 2005, where all, or part, of a pane is:  
\* within 800mm of floor level; or  
\* part of a door leaf; or  
\* within 300mm of a door and within 1.5m of floor level.

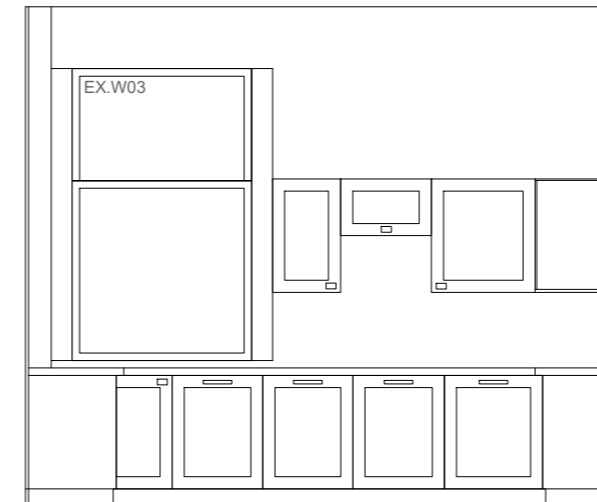
All to comply with part 4.8.2 of the current Technical Standards.

- Hatched area indicates extent of ceiling to be raised to match existing kitchen height
- Hatched area indicates extent of wall to be demolished

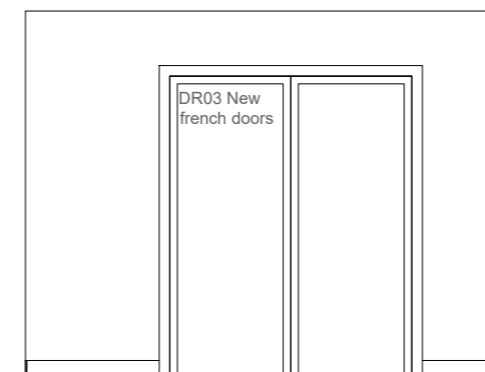


Extent of wall to be demolished Elevation A Scale 1:50

Plasterboard, to walls and ceilings to be made good when existing partition removed.

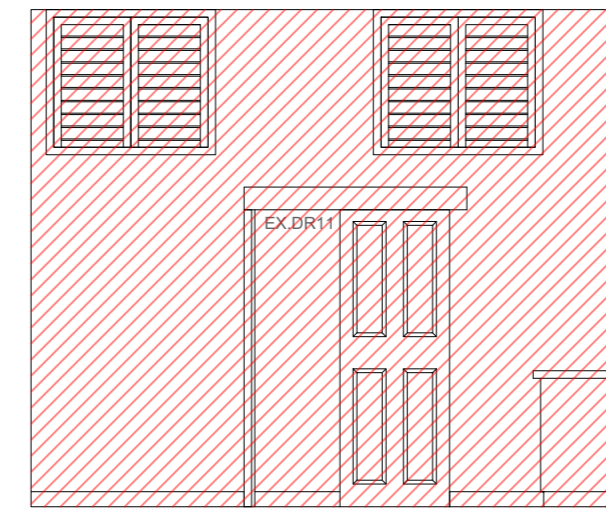


Proposed Elevation A Scale 1:50



Existing Elevation C Scale 1:50

**WALL CONSTRUCTION**  
WALL TYPE 1 - Infill Partition  
87mm x 47mm s/w framing, with 12.5mm plasterboard each side.  
Plasterboard to have a mass of 10kg/m<sup>2</sup>. 75mm Rockwool insulation to be laid between the studs with a minimum density of 10kg/m<sup>3</sup>.

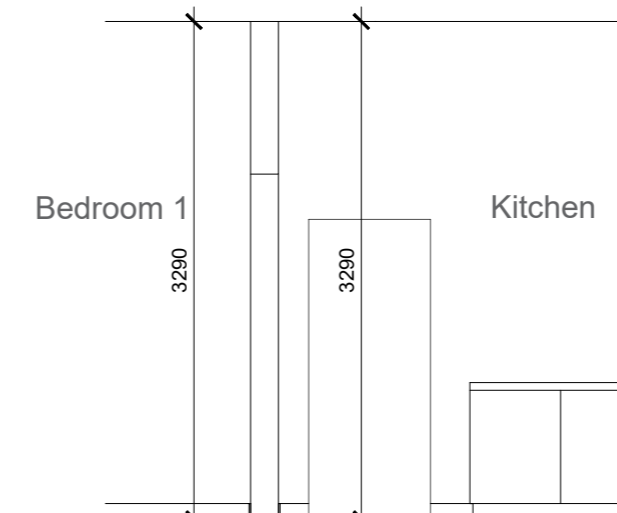


Extent of wall to be demolished Elevation B Scale 1:50

Plasterboard, to walls and ceilings to be made good when existing partition removed.



Proposed Elevation B Scale 1:50



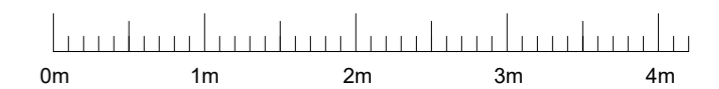
Proposed Section A-A Scale 1:50

This drawing is the property of All Design (Scotland) Limited. Copyright is reserved by All Design (Scotland) Limited and the drawing is issued on the condition that it is not copied either wholly or in part without the consent in writing of All Design (Scotland) Limited.  
Figured dimensions take preference. Do not scale from this drawing. All dimensions to be checked on site by Main Contractor before commencement of any work, shop drawings or manufacture of components. Dimensions are in millimetres unless otherwise specified. Any discrepancies to be referred to this office for decision. This drawing is to be read in conjunction with the specification (when applicable). All drainage lines are assumed until verified on site by Main Contractor.

For kitchen and utility units, all dimensions (plan and vertical) must be taken on site prior to manufacture by kitchen and utility unit manufacturer.

These drawings are to be read in conjunction with:  
AD 1713 / 01, 02, and 04

Rev	Comments	Date	By
C	Issued to Planning	10.01.24	AB
B	Issued to Planning & Building Control	03.01.24	AB
A	Issued to Client for Comments	21.12.23	AB



Aberdeen Innovation Park, Campus 2, James Gregory Centre  
Bridge of Don, Aberdeen, AB22 8GU  
Telephone Number - 01224 701576  
Website : www.all-design.co.uk

Project Development at 42 Belgrave Terrace,  
Aberdeen, AB25 2NS

Drawing Title Proposed Floor Plan, Proposed  
Elevations and Section A - A

Drawing Number AD 1713 / 03 Rev C

Scale 1:50 @ A2 Date : 21st December 2023  
Drawn : AB