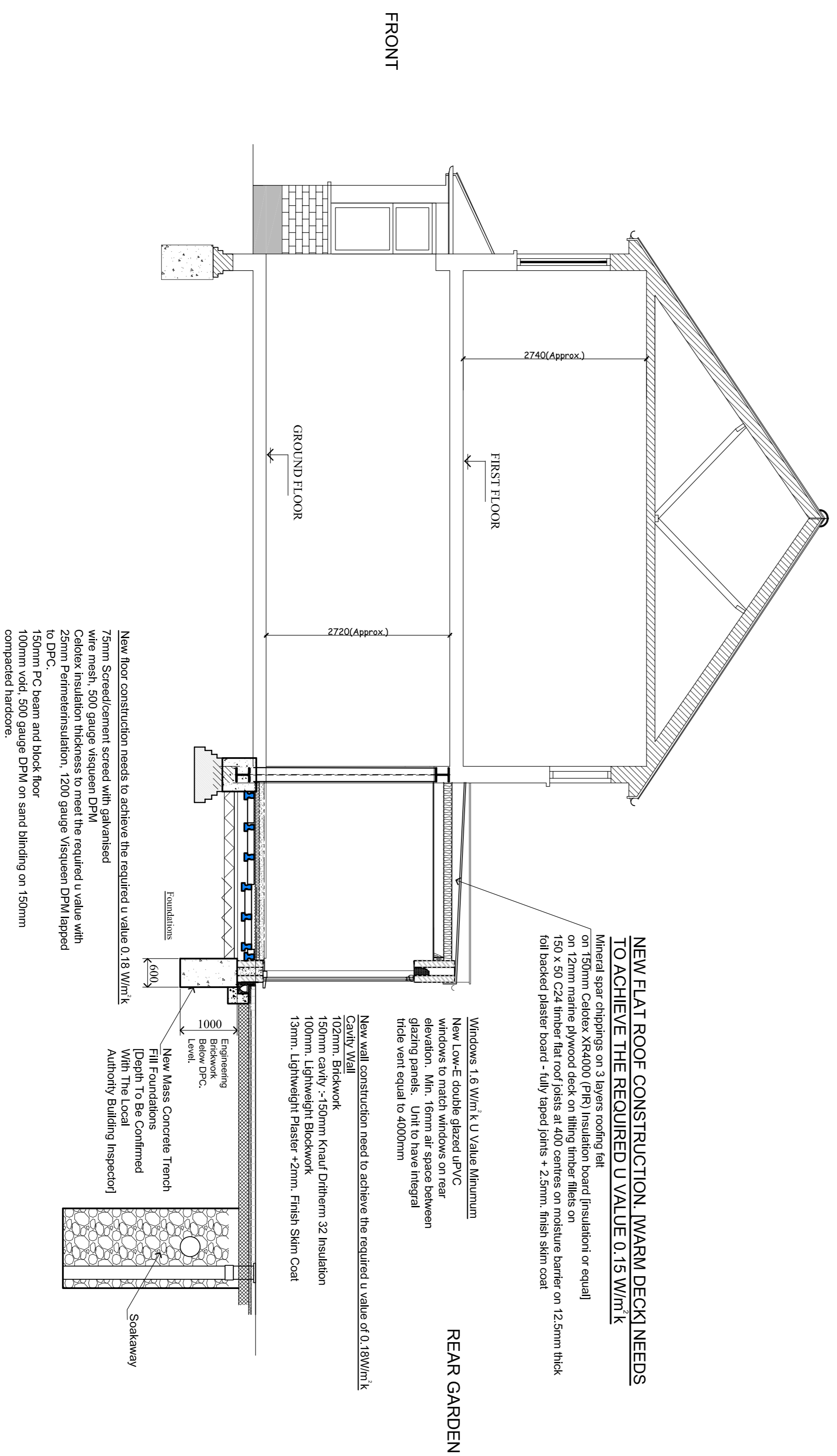


EXISTING CROSS SECTION THROUGH THE BUILDING

MAIN HOUSE WALLS (GROUND FLOOR - FIRST FLOOR) - SOLID BRICKWORK CONSTRUCTION 215mm thick
 MAIN HOUSE WALLS (FIRST FLOOR - EAVES) - SOLID BRICKWORK CONSTRUCTION 215mm thick
 ROOFS - CONCRETE TILES (COLOR ORANGE)
 DOORS - UPVC (DOUBLE GLAZED)
 WINDOWS - UPVC (DOUBLE GLAZED)



NEW FLAT ROOF CONSTRUCTION (WARM DECK) NEEDS TO ACHIEVE THE REQUIRED U VALUE 0.15 W/m²K

Mineral wool chipboards on 3 layers roofing felt
 150mm Celotex EPS4000 (EPS) insulation
 on 12mm marine plywood deck on jilting timber fillets on
 150 x 50 C24 timber floor roof joists at 400 centres on moisture barrier on 12.5mm thick
 foil backed plaster board - fully taped joints + 2.5mm finish skim coat

Windows 1.6 W/m²K U Value Minimum
 New Low-E double glazed UPVC
 windows to match windows on rear
 elevation. Min. 16mm air space between
 glazing panels. Unit to have integral
 trickle vent equal to 4000h/m

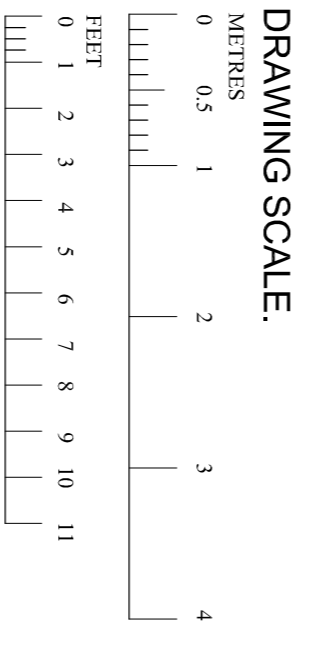
New wall construction need to achieve the required u value of 0.18W/m²K
 Cavity Wall
 102mm Brickwork
 150mm cavity - 150mm Knauf Dritherm 32 Insulation
 100mm Lightweight Blockwork
 13mm Lightweight Plaster + 2mm Finish Skim Coat

New floor construction needs to achieve the required u value 0.18 W/m²K
 7mm Scaffolding screed with galvanised
 wire mesh
 500 gauge Viquen DPM
 Calcium insulite thickness to meet the required u value with
 25mm Penmetrefristulation, 1200 gauge Viquen DPM topped
 to DPC
 150mm PC beam and block floor
 100mm void, 500 gauge DPM on sand blinding on 150mm
 compacted hardcore.

Engineering
 Below DPC
 Level
 1000
 New Mass Concrete Trench
 Fill Foundations
 (Depth To Be Confirmed
 With The Local
 Authority Building Inspector)
 Ssekeway

PROPOSED CROSS SECTION THROUGH THE BUILDING

MAIN HOUSE WALLS (GROUND FLOOR - FIRST FLOOR) - SOLID BRICKWORK CONSTRUCTION 215mm thick
 MAIN HOUSE WALLS (FIRST FLOOR - EAVES) - SOLID BRICKWORK CONSTRUCTION 215mm thick
 ROOFS - CONCRETE TILES (COLOR ORANGE)
 DOORS - UPVC (DOUBLE GLAZED)
 WINDOWS - UPVC (DOUBLE GLAZED)



Ver	Date	Drawn	Amendment
1	01/02/24	AJS	Issued for Planning approval

Mrs J. FITZGERALD
 85, HORSHAM AVENUE
 LONDON, N12 9BG

**NEW SINGLE STOREY REAR
 EXTENSION & PROPOSED
 SECTIONS**

Status
PLANNING ISSUE

Drawn A.Sparks
 Scales 1:50
 Drawing No 1400-05
 Ver 1