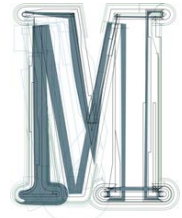


m b Heritage

57 Leegate Road
Heaton Moor
Stockport
SK4 4AX

Demolition of Existing Dwelling
and Replacement with a New
Detached Dwelling

Built Heritage Statement



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Built Heritage Statement

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1.0 INTRODUCTION

1.01 This Statement, prepared on behalf of Mr Charlie McGonagle, sets out an assessment of the potential impacts upon the built historic environment arising from proposals for the demolition of an existing dwelling and its replacement with a new detached dwelling at 57 Leegate Road, Heaton Moor, Stockport, SK4 4AX (the 'site'). The proposal is to be the subject of a Full Planning Application to be submitted to Stockport Metropolitan Borough Council, as the Local Planning Authority.

1.02 The site, centred on NGR: SJ87393 91925, is shown at Figure 1:



Figure 1: Site Extent

1.03 The site is located to within a modern residential suburban estate around 500 metres to the west/north-west of centre of Heaton Moor and 2.5km to the north-west of Stockport town centre. It comprises a residential plot to the west side of Leegate Road to the south-west of its junction with Sevenoaks Avenue. The existing house is in 2-storeys and constructed in an orange/red stock brick laid to a stretcher bond with grey cement tile roof covering with single brick end stack to the south. The 2-storey element is on an L-shape plan with advanced gable to the road and with single storey garage, porch and conservatory extensions to the east and

west elevations. The house forms part of a suburban residential estate to the north, east and south, constructed during the 1970s and sharing commonality of scale, material and design treatment. Garden land extends to the east and west with the latter adjoining an area of woodland which forms part of a wider screening belt to the Heaton Moor Golf Club.

- 1.04 No currently recorded designated or non-designated built heritage assets fall within the site and the existing house holds no significant heritage value. The site adjoins the boundary of the Mauldeth Road Conservation Area to the west, a designated heritage asset, which takes in the historic grounds and parkland, now part of the Heaton Moor Golf Club, of the Grade II Listed Building, Mauldeth Hall. The nature and extent of potential development impacts upon the significance, in heritage terms, of these assets is considered within this Statement.
- 1.05 The Statement is structured as follows:

Section 1 – Introduction

Section 2 - Policy Context and Guidance

Summarises the principal policy and best practice guidance relevant to the assessment.

Section 3 – Baseline Assessment of Significance

Sets out an overview of historic environment baseline information, including mapping information, relevant to the site. Identifies those heritage assets potentially affected by the development.

Section 4 - Assessment of Significance and Development Impact

Assesses the potential impact of the development proposal upon the significance of heritage assets falling within the vicinity of the site and where appropriate, makes recommendations on measures to remove or reduce any harmful impacts identified.

- 1.06 This Statement considers potential development impacts upon the built historic environment and does not assess archaeological potential.

2.0 POLICY AND ASSESSMENT GUIDANCE

Legal Context

- 2.01 Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (the Listed Buildings Act) enables local planning authorities to designate conservation areas, these being areas of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance. Section 72 requires that, in the exercise of planning duties, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of conservation areas.
- 2.02 Case law (see particularly *East Northants DC v Secretary of State for Communities and Local Government* [2014] EWCA Civ 137) reaffirms that the duty imposed in the Act means that when considering whether to grant permission for development that may cause harm (substantial or less than substantial) to a designated asset (listed building or conservation area) and its setting, this a matter to which considerable importance and weight should be given. The presumption embodied within this statutory duty can be outweighed by material considerations powerful enough to do so. See also *James Hall v City of Bradford* [2019] EWHC 2899 (Admin) and *Pagham Parish Council v Arun District Council and Other* [2019] EWHC 1721 (Admin).
- 2.03 This approach is reflected in National Planning Policy Framework guidance.

The Development Plan

- 2.04 The Development Plan for Stockport, as relevant to the scheme proposals, comprises the adopted Core Strategy Development Plan Document (2011) and saved policies of the Stockport Unitary Development Plan Review (2006).
- 2.05 Core Strategy Policy CS8 states that development will be expected to make a positive contribution to the protection and/or enhancement of the borough's heritage assets. Buildings, places and areas, identified as having a degree of historic, architectural, artistic or archaeological significance will be safeguarded for the future (paragraph 3.301). Development Management Policy SIE-3 advises, in part, that:

Development which preserves or enhances the special architectural, artistic, historic or archaeological significance of heritage assets will be welcomed. Heritage assets include buildings, sites, places, areas or landscapes positively identified as having a degree of significance meriting consideration in planning decisions.

Loss or harm to the significance of a heritage asset, through alteration, destruction or development within its setting, will require clear and convincing justification. Substantial harm or loss to designated heritage assets will only be permitted if:

- 1. there is clear evidence that there is no viable means of securing its preservation and that no viable alternative use can be found; or*
- 2. that the benefits to the community resulting from redevelopment would decisively outweigh the loss resulting from demolition*

2.06 The Mauldeth Road Conservation Area Character Appraisal was published by the Council in 2006 and updated in 2012. An associated Management Plan for the Area was issued in 2013. These documents inform the assessment of potential development impacts set out in Section 4 of this Statement.

National Planning Policy and Historic England Guidance

2.07 The protection and enhancement of the built historic environment is an over-arching environmental objective within the National Planning Policy Framework (the Framework) (paragraph 8). It indicates that ‘great weight’ should be given to the conservation of designated heritage assets (paragraph 199) (and the more important the asset, the greater the weight should be), conservation being defined as *“the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance”* (Annex 2: Glossary).

2.08 Significance, for heritage policy, is defined in the Framework (Annex 2: Glossary) as:

“The value of a heritage asset to this and future generations because of its heritage interest. This interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”

2.09 In undertaking any heritage assessment, the aim should be to demonstrate understanding of the nature of significance and the particular interest which contributes to that significance, the extent of the building fabric that holds this interest and its comparative level of importance. Historic England Advice Note 12, Statements of Historic Significance, Analysing Significance in Heritage Assets, 2019 (HEAN12), indicates that heritage assessments of significance should provide an impartial analysis of significance and the contribution of setting:

“A Statement of Heritage Significance is not an advocacy document, seeking to justify a scheme which has already been designed; it is more an objective analysis of significance, an opportunity to describe what matters and why, in terms of heritage significance.”

2.10 Historic England Advice Note 12 (Statements of Heritage Significance) advocates a staged approach to decision-taking in applications affecting heritage assets:

1. Understand the form, materials and history of the affected heritage asset(s).
2. Understand the significance of the asset(s).
3. Understand the impact of the proposal on that significance.
4. Avoid, minimise and mitigate negative impacts in a way that meets the objectives of the National Planning Policy Framework.
5. Look for opportunities to better reveal or enhance significance.

2.11 Further guidance on the assessment process is provided in Historic England Good Practice Advice in Planning 2, Managing Significance in Decision-Taking in the Historic Environment, 2015 (GPAP2). This notes that if there is apparent conflict between the proposed development and the conservation of a heritage asset, consideration *may* need to be given alternative means of delivering the development which leads to a more sustainable result which reduces potential harm to significance. This process, reflected in HEAN12 advice, should be undertaken before weighing the public benefits of a proposal against any harm.

2.12 In considering the extent of harm, Paragraph 200 of the Framework states that any harm to, or loss of, the significance of a designated heritage (from its alteration or destruction, or from

development within its setting), asset should require ‘clear and convincing justification’. Paragraph 201 indicates that, where it is concluded that an application will lead to substantial harm to, or total loss of, significance to a designated heritage asset (particularly those of higher significance), authorities should refuse consent unless it can be demonstrated that:

“The substantial harm or loss is necessary in order to achieve substantial public benefits that outweigh that harm or loss.”

- 2.13 The Framework does not provide a definition of “substantial harm’ but National Planning Practice Guidance considers the process of assessing harm, stating that:

“Whether a proposal causes substantial harm will be a judgement for the decision taker, having regard to the circumstances of the case and the policy in the National Planning Policy Framework [.....] It is the degree of harm to the asset’s significance rather than the scale of the development that is to be assessed. The harm may arise from the works to the asset or from development within its setting.”

- 2.14 Whilst the Framework itself does not define ‘substantial harm’, guidance must be taken from relevant case law which includes the 2013 case of Bedford BC v SSCLG [2013] EWHC 2847 (Admin) in which the High Court held that in order for harm to designated assets to be considered substantial, *“the impact on significance was required to be serious such that very much, if not all, of the significance was drained away... One was looking for impact which would have such a serious impact on the significance of the asset that its significance was either vitiated altogether or very much reduced.”* The Bedford case sets a necessarily high threshold for a proposal to result in substantial harm, suggesting that there is little difference in practical terms between the *substantial harm to*, and the *total loss of significance*, of a heritage asset.

- 2.15 Where *less than substantial harm* is identified to the significance of a designated heritage asset the Framework advises, at paragraph 202, that authorities should weigh the public benefits of the proposal against any harm identified.

2.16 Paragraph 203 indicates that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. A balanced judgement should be taken having regard to the scale of any harm or loss and the significance of the heritage asset.

2.17 In any assessment, it is also important to have regard to the contribution made to the significance of a heritage asset by its setting and the contribution it may make to the significance of other assets. As regards setting this is defined by the Framework as:

“The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.”

2.18 Historic England has published guidance in respect of the setting of heritage assets (Historic Environment Good Practice Advice in Planning, Note 3 (Second Edition), The Setting of Heritage Assets, 2017). It indicates, at paragraph 9, that:

“Setting is not itself a heritage asset, nor a heritage designation, although land comprising a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset or to the ability to appreciate that significance.”

2.19 The advice note sets out a staged approach to proportionate decision-taking and recommends a broad approach to assessment, undertaken as a series of steps that may be applied proportionately to complex and more straightforward cases (paragraph 19).

3.0 BASELINE ASSESSMENT

3.01 In order to understand the nature of the historic environment in the vicinity of the site and to identify any heritage assets likely to be affected by the development proposals, a baseline assessment study has been undertaken. This identifies, where relevant:

- Designated heritage assets, including buildings statutorily listed as being of special architectural or historic interest, scheduled monuments and conservation areas;
- Non-designated heritage assets, including buildings or structures of local interest; and
- The elements, both built and within the human-made landscape, which contribute to the significance and setting of the identified heritage assets.

3.02 To inform the baseline assessment the following information sources have been reviewed:

- The National Heritage List for England (NHLE)
- The Historic England Research Record (HERR)
- Greater Manchester Historic Environment Record (HER)
- Historic maps of the site and surrounding area.

3.05 Baseline data and background information is summarised below.

Historic Environment Baseline and Scoping Assessment

Designated Heritage Assets

3.06 No designated heritage assets, as recorded on the NHLE, fall within the site extent. One designated heritage asset, the Grade II Listed Building, Mauldeth Hall, is located around 400m to the north-west of the site:

Mauldeth Hall, Mauldeth Road

Grade II Listed Building

List Entry Number 1067188

The Hall was added to the List in 1975 and comprises an early-to-mid 19th century Grecian villa, originally set within extensive parkland (surviving parkland now falls within the Heaton Moor Golf Club). The house is in 2-storeys and constructed in ashlar with hipped slate roof. It

was purchased in 1854 as the residence for the Bishops of Manchester and later used as a hospital until around 1990. The building is currently a consular residence.

- 3.07 All NHLE recorded assets, including the Hall, are considered to fall sufficiently distant from the site, and are fully screened by intervening built and landscape form and separated by differing spatial characteristics, such that no development impacts will arise.
- 3.08 The site adjoins the boundary of the Mauldeth Road Conservation Area to the west. The Area was first designated in 1989 (although previously fell within the Heaton Moor Conservation Area) with a boundary review most recently undertaken in 2011-12. The boundary takes in the historic grounds of Mauldeth Hall, including parkland now forming part of the Heaton Moor Golf Club, and extends south to take in high status 19th and early 20th century residential development around Mauldeth Lane/Road, Priestnall Road, Clifton Road and Green Lane.
- 3.09 The Conservation Area Character Appraisal (Updated 2012) describes the special character of the Area as deriving from:
- Close historical and geographical associations with Burnage and Didsbury in Manchester, the greater part of the Mauldeth Road Conservation Area developed as a residential area of Manchester.
 - Development of gentlemen's residences during the nineteenth century, set in parklands and connected by leafy, tree-lined, historic lanes - Heaton Moor Lane, Mauldeth Lane, Green Lane.
 - A spatial and architectural quality which derives from the affluent residential development of a former rich agricultural area.
 - Individually designed, large, detached and semi-detached houses surrounded by private, generous and well-defined gardens which contribute greatly to the green quality of the area.
 - Architecture and building materials in this area are eclectic and include influences from the Greek Revival, Gothic Revival, Vernacular and Domestic Revival styles of architecture. However, there is identifiable consistency of form and feature throughout the area, including houses which are built in red-brick with stone and yellow brick detail, two-storeyed with attic and basement.

- Garden and estate boundary walls are significant boundaries in this area.
- Significant green environmental quality which derives from parkland setting, tree-lined roads, generous gardens with mature garden trees.
- Views along the curvature of roads and across parkland.
- High quality of social and leisure amenity in the Area, still evidenced by tennis clubs and bowling greens, located between Princes Road and Leegate Road, and at Thornfield Park.

Non-Designated Heritage Assets

- 3.10 No non-designated built heritage assets, as recorded on the Greater Manchester HER or as locally listed buildings, are recorded within the site or its immediate locality.

Historic Context and Mapping Record

- 3.11 The area of Heaton Moor historically fell within the township of Heaton Norris and was an area of moss and peat land supporting the agrarian economy of the borough. During the 19th century the area became a focus for suburban residential expansion with a number of high-status residences, set in extensive gardens and parkland, built and including Mauldeth Hall (1832-40). The opening of the Heaton Chapel railway station provided further stimulus for the residential expansion of Heaton Moor and this continued through to the Edwardian period.
- 3.12 The First Edition Ordnance Survey (OS) map, published in 1845 based upon an 1845 survey, shows the sparsity of development at this point within Heaton Moor. It does show Mauldeth Hall as constructed with extensive parkland grounds, ornamental and kitchen gardens and ponds/lakes, criss-crossed by various drives. A building group to the east of the Hall was likely a stable and barn range and a kitchen garden is marked to the south. The site did not form part of the main emparked land shown on the map and fell within a wider agricultural field to the south-east of the Hall (Figure 2).

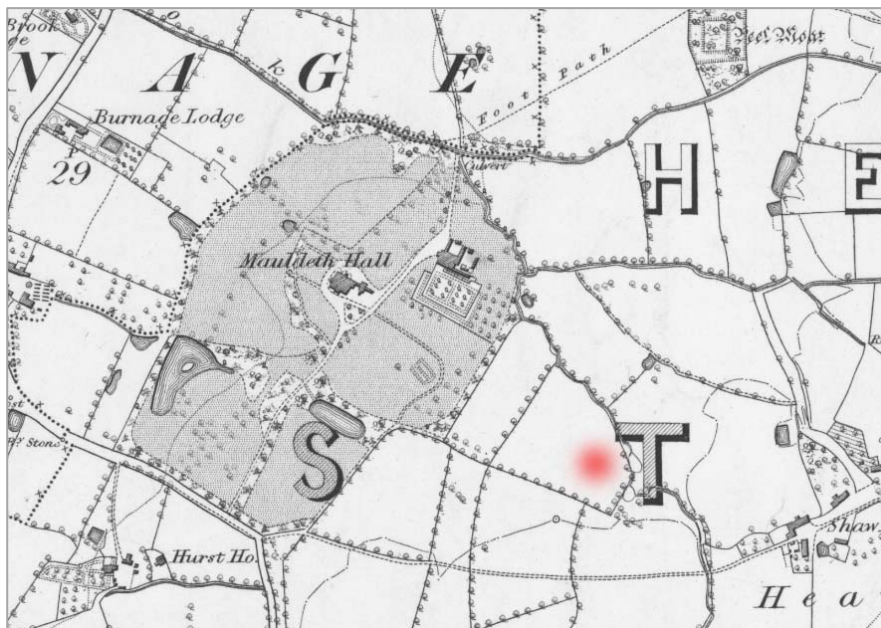


Figure 2: 1848 OS Map Extract. Approximate location of the site highlighted.

- 3.13 The 1894 OS map marks the Hall as *Mauldeth Hospital (Incurable Diseases)* with no changes shown to extent of associated parkland. The site remains in agricultural use. By the time of the publication of the 1905 OS map, a golf course and club house are marked to the east and north-east of the Hall, north of the site although the course has not extended to the south by this point. The Heaton Moor Golf Club had been established in 1892 as a 9-hole course on leased land and later extended to a full 18-hole course during the mid-20th century.
- 3.14 The mapping records through the 20th century shows no significant changes to the site until the 1960s and 1970s when sub-urban residential estate development took place to the north-west of the Heaton Moor and Heaton Chapel settlements, extending areas of inter-war housing development. The 1965 OS map highlights the extent of estate development in the area by this point. The site remained undeveloped by this point although the map indicates the laying out of additional holes for the Heaton Moor Golf Course immediately to the west of the site (Figure 3).



Figure 3: 1965 OS Map Extract. Approximate site location marked.

3.15 Historic mapping indicates that the site was likely retained in agricultural use during the majority of the late medieval and modern period. The site did not form part of the parkland associated with Mauldeth Hall.

4.0 ASSESSMENT OF DEVELOPMENT IMPACT

Development Proposals

4.01 The development proposals are summarised below:

- The demolition of the existing dwelling comprising number 57 Leegate Road and the erection of a new 2-storey detached dwelling.
- The new dwelling will be constructed on the footprint of that existing in 2-storeys with a single storey extension to the rear and single storey canopy to the front elevation. The design includes an advanced gable to the front elevation and dormer windows to the rear roof pitch.
- The new building will be constructed in a mixed palette including brick, stone and standing seam cladding, render and tile roof to match the existing.
- No alterations to the site boundaries or current access arrangements are proposed.

4.02 Further details of the proposals are set out within the application documents and plans produced and design and Access Statement prepared by the project architects (MRA Architects).

4.03 The proposed development follows the granting of planning permission in January 2023 (reference DC/085614) for the part single, part two storey side and rear extension with shading canopy, following demolition of the existing garage, the erection of a new porch, roof extension and dormer extension to the rear elevation. Following the commencement of works implementing the approved scheme it became evident that the existing ground bearing slab had undergone subsistence leading to the deflection of external walling to the extent that rebuilding would be required. As a result, the proposed scheme now requires the demolition of the existing dwelling. The resultant design, scale and material treatment of the finished dwelling is however identical the approved extension scheme.

Heritage Issues and Development Impact

- 4.04 The assessment set out below has regard to the historic environment baseline set out in Section 3 and, in assessing potential impacts, regard is had to Framework and Historic England good practice guidance.

The Existing Site

- 4.05 The existing dwelling was constructed during the late 20th century as part of a wider residential estate development around Leegate Road and Sevenoaks Avenue which extended earlier inter-war estate development to the west and north-west of Heaton Moor. The standing building and curtilage, given late dating and standardisation of design and material construction, holds no significant architectural or historic interest.
- 4.06 As such the building does not hold heritage value sufficient to be considered a non-designated heritage asset and its demolition will not result in heritage harm.

Development Impact

- 4.07 Whilst the site adjoins the boundary of the Mauldeth Road Conservation Area and can be considered to fall within its setting, it does not make any contribution to the significance of the Area in terms of architectural or historic interest. The site fell outside of the formal parkland to Mauldeth Hall and historically formed part of a wider agricultural landscape extending the west and south-west of the Hall. Given distancing and the extent of intervening woodland forming a strong landscape boundary to the golf course and edge of the Conservation Area, the site does not form part of the setting the Hall or its former parkland.
- 4.08 The site holds no architectural or historic interest and does not form part of, or facilitate, any significant views towards or from the Conservation Area or the listed Mauldeth Hall. No historic associations are evident with either asset. The Conservation Area Appraisal (2012) does not identify the site as a significant open space or as forming part of any important views towards or from the Area. The site is therefore not considered to contribute to significance and the proposed demolition of the existing dwelling will have no impact.
- 4.09 The proposed new dwelling will be identical in design, scale and material treatment to the extended dwelling as approved in 2023. The scale and design will be in keeping with the

modern character of the wider residential estate housing to the north, south and west and no changes are proposed by the curtilage or boundary treatments to the property. Existing woodland outside of the site to the west, an important boundary and screening element within the Conservation Area, will not be altered or diminished. As such, the new dwelling will not alter the visual relationship of the site with the designated assets to the west. No impacts will arise upon the significance within setting of these assets.

- 4.10 No other designated or non-designated heritage assets will be affected by the development.

Summary

- 4.11 The existing dwelling does not constitute a heritage asset and makes not significant contribution to the setting of designated assets to the west comprising the Mauldeth Conservation Area and the Grade II Listed Building Mauldeth Hall. The demolition of the existing dwelling will not impact upon the built historic environment and the new dwelling will have no impact upon the setting to these assets. The design and material treatment of the new building will be identical to the extended dwelling recently approved by the local planning authority.
- 4.27 In conclusion, it is considered that the proposed development can be brought forward without causing any harm to the built historic environment in line with Development Plan policy, Framework guidance and consistent with the 1990 Listed Buildings Act.

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