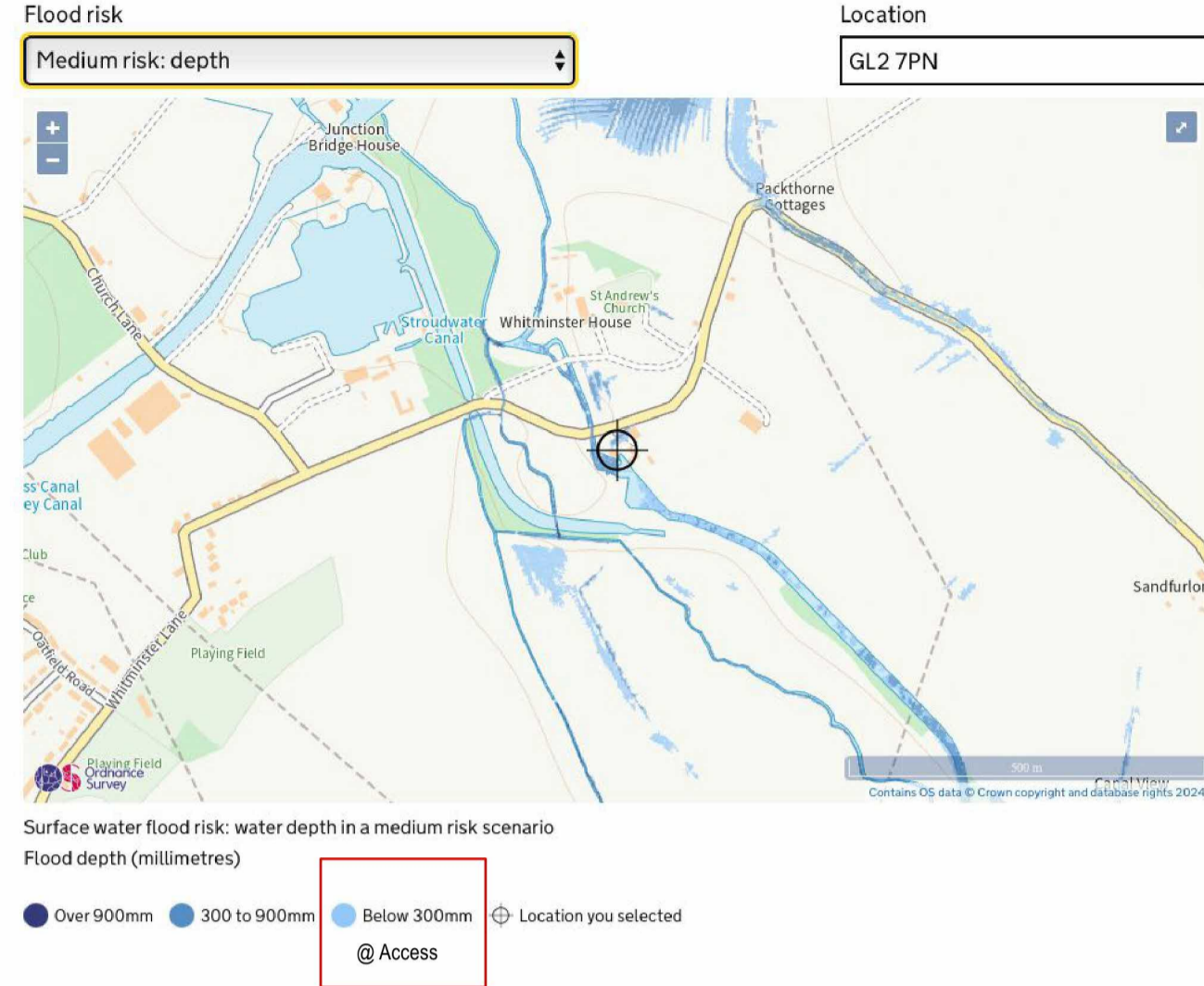
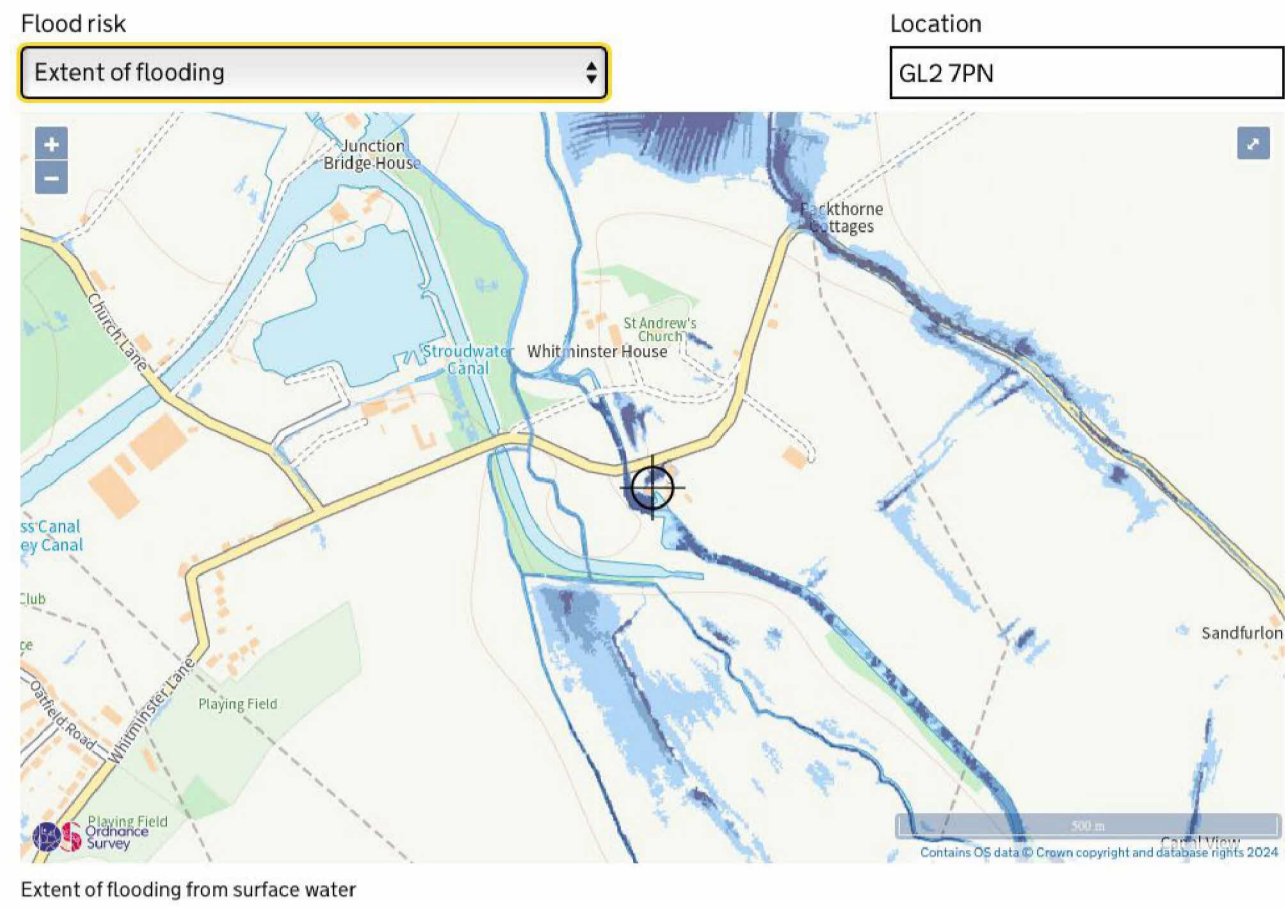


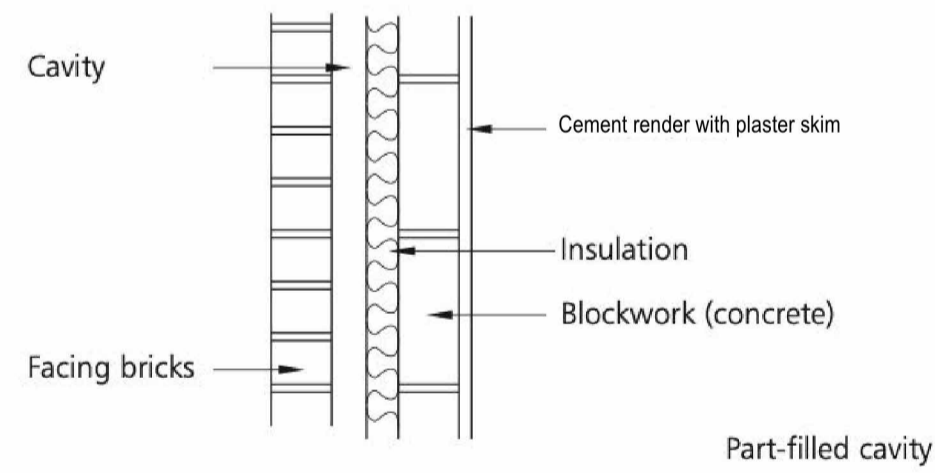
# Flooding from Surface Water



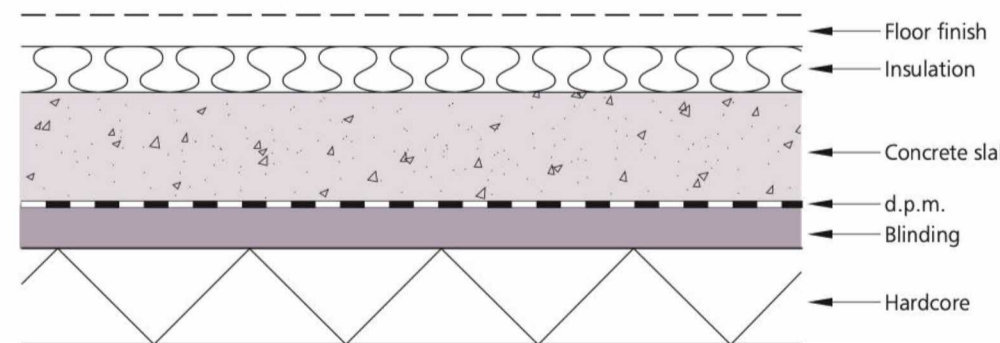
Applicant to choose one or other of the flood mitigation measures below	Applicant to provide the LPA with the supporting information detailed below as part of their FIA	Applicant to indicate their choice in the box below. Enter 'yes' or 'no'
<p>Either:</p> <p>Floor levels within the proposed development will be set no lower than existing levels AND flood proofing of the proposed development has been incorporated where appropriate.</p>	<p>Details of any flood proofing / resilience and resistance techniques, to be included in accordance with 'Improving the flood performance of new buildings' CLG (2007)</p>	YES
<p>Or:</p> <p>Floor levels within the extension will be set 300mm above the known or modified 1 in 100 annual probability river flood (1%) or 1 in 200 annual probability sea floor (0.5%) at any year. This flood level is the extent of the Flood Zone</p>	<p>This must be demonstrated by a plan that shows finished floor levels relative to the known or modified 100 level. All levels should be stated in relation to Ordnance Datum</p>	

## Existing property surrounded by existing Flood Protection Walling and Weir

### External Wall



### Floor Slab



Rear extension of 21 sm to form Additional Living Space

## Improving Flood Performance of Dwelling

**Flood Resilient Construction**  
Water exclusion strategy expecting maximum water level less than 300mm

### General advice

**Fabric**  
Ensure high quality workmanship at all stages of construction.  
Masonry walls: Stone to match existing above engineering bricks up to 300mm above adj ground level  
Ensure mortar joints are thoroughly filled to reduce the risk of water penetration.

Aircrete blocks are acceptable internally

Cavity walls, partially filled with rigid closed cell material.  
Internal linings:  
Internal cement renders with skim finish.

Ground supported floors are the preferred option and concrete slabs of at least 150mm thickness should be specified for non-reinforced construction.  
Insulation to be of a rigid closed cell material  
Floor finishes: suitable floor finishes include ceramic or concrete-based floor tiles, stone, and sand/cement screeds. All tiles should be bedded on a cement-based adhesive/bedding compound and water resistant grout should be used.

Windows/patio doors: Preferably UPVC - where the use of wooden doors is a preferred option, all effort should be made to ensure a good fit and seal to their frames. In all cases ensure adequate sealing of any window/door sills to the fabric of the house.  
Double glazing conforming to the relevant standards to be fitted

### Services

Where possible, any service entries should be sealed (e.g. with expanding foam or similar closed cell material).  
Pipework: Closed cell insulation should be used for pipes which are below the predicted flood level.

Drainage services: Non-return valves are recommended in the drainage system to prevent back-flow of diluted sewage in situations where there is an identified risk of the foul sewer surcharging.  
Maintenance of these valves is important to ensure their continued effectiveness.

Electrical services: electrical sockets should be installed above flood level

Heating systems: boiler units and ancillary devices should be installed above predicted flood level  
Underfloor heating should be avoided and controls such as thermostats should be placed above flood level.

Steve Mitchell Building Design

2 Court Orchard,  
Painswick,  
Gloucestershire GL6 6UU

## Weir Cottage Whitminster GL2 7PN

### Rivers and the sea

**Medium risk** Location of proposed extension with Flood Zone 2

[More information about your level of flood risk from rivers and the sea](#)

The Environment Agency is responsible for managing the flood risk from rivers and the sea.

[What you can do](#)

[View a map of the risk of flooding from rivers and the sea](#)

### Surface water

Medium Risk at Access

[More information about your level of flood risk from surface water](#)

### Occupants to sign up for Flood Warnings

### Floodline

24-hour service

### General Advise

#### If you're about to be flooded

If your area has a flood warning (when flooding is expected) or severe flood warning (when there's a danger to life):

- turn off your gas, electricity and water supplies, if it's safe to do so - do not touch an electrical switch if you're standing in water
- move your family, vehicles, pets and important items to safety, for example upstairs or to higher ground
- if you have them, use flood protection products, for example flood barriers or air brick covers
- follow advice from [your local council](#) or the emergency services - you may be asked to evacuate



Extend of river water Jan. 2024 illustrating no flooding of application site



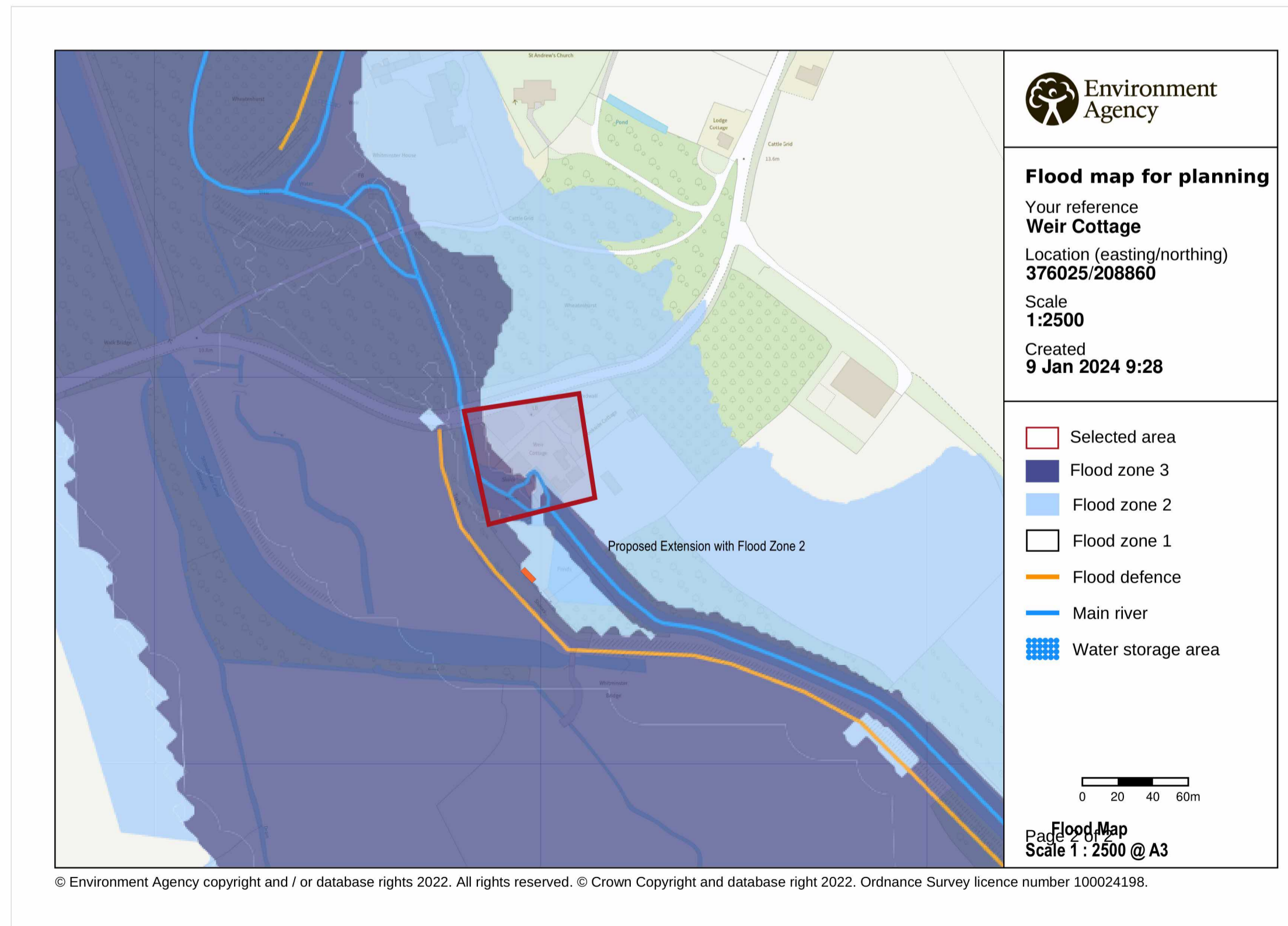
## Applicant Statement

I can also confirm we have not been flooded in our home/ garden since we brought our bungalow on the 26th May 2021.

The previous owners also confirmed that our home/ garden did not flood in 2007.

The weir which has 4 gates is a critical point for managing the water levels in the surrounding area and therefore the water levels are being constantly monitored by a sensor for The Canal and River Trust, and are regularly inspected by the Environment Agency

# Flooding from River



### Flood map for planning

Your reference  
**Weir Cottage**  
Location (easting/northing)  
376025/208860

Scale  
**1:2500**

Created  
**9 Jan 2024 9:28**

- Selected area
- Flood zone 3
- Flood zone 2
- Flood zone 1
- Flood defence
- Main river
- Water storage area

0 20 40 60m

Flood Map  
Page 1 of 1  
Scale 1:2500 @ A3

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CLIENT  
SITE  
PROJECT

Mr & Mrs Novoth  
Weir Cottage Whitminster GL2 7PN  
Extension / Alterations

DRAWING TITLE  
DRAWING NUMBER

Flood risk assessment  
1302.04

SCALES / PAPER SIZE  
DATE  
REVISION  
Not to Scale: drawing sheet A1  
March, 2022  
DESCRIPTION