



WILLIAM GREEN
ARCHITECTS

SUMMARY SCHEDULE OF WORK

for

INTERNAL REFURBISHMENT AND EXTENSION

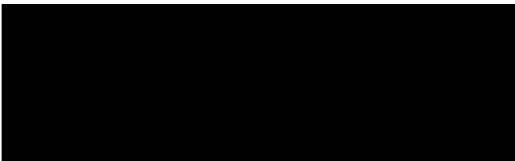
at

CROSSWAYS
LITTLE HEATH LANE
POTTEN END
BERKHAMSTED
HERTFORDSHIRE
HP4 2RY

prepared on behalf of



by



Contents

1. General Works
2. Ground Floor
3. First Floor
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01	GENERAL WORKS
	The general works noted here are preliminary headers while the opportunities are reviewed. All elements are to be considered in line with Historic England advise, the planning process and completion of the technical design required.
	Carry out works to improve insulation to ground floor in line with <ul style="list-style-type: none"> - Use of thermafleece or similar products installed in between existing timber floor joists. As per manufacturers details see Appendix 8.1 and subject site checks
	Carry out works to improve insulation to Roofs. <ul style="list-style-type: none"> - Work is to be assessed for the main house roof, with the preference to remove tiles, and store for re-use. - Suitable insulation can then be installed between joists. As per manufacturers details see Appendix 8.2. - It will need to be assessed if it is appropriate for the internal finish of the roof can be removed to determine the require finish. The preference would allow an appropriate vapour control layer to be installed. - Alternatively natural breathable products are to be explored to ensure the - Works subject to onsite checks
	Updating to existing MEP in accordance with specialist's design and specification <ul style="list-style-type: none"> - Modernising central heating system, to place radiators in style to match or similar approved. - Concealment of surface mounted pipes and services. - Modernising electrical systems, including incomings with relocation to new plant room

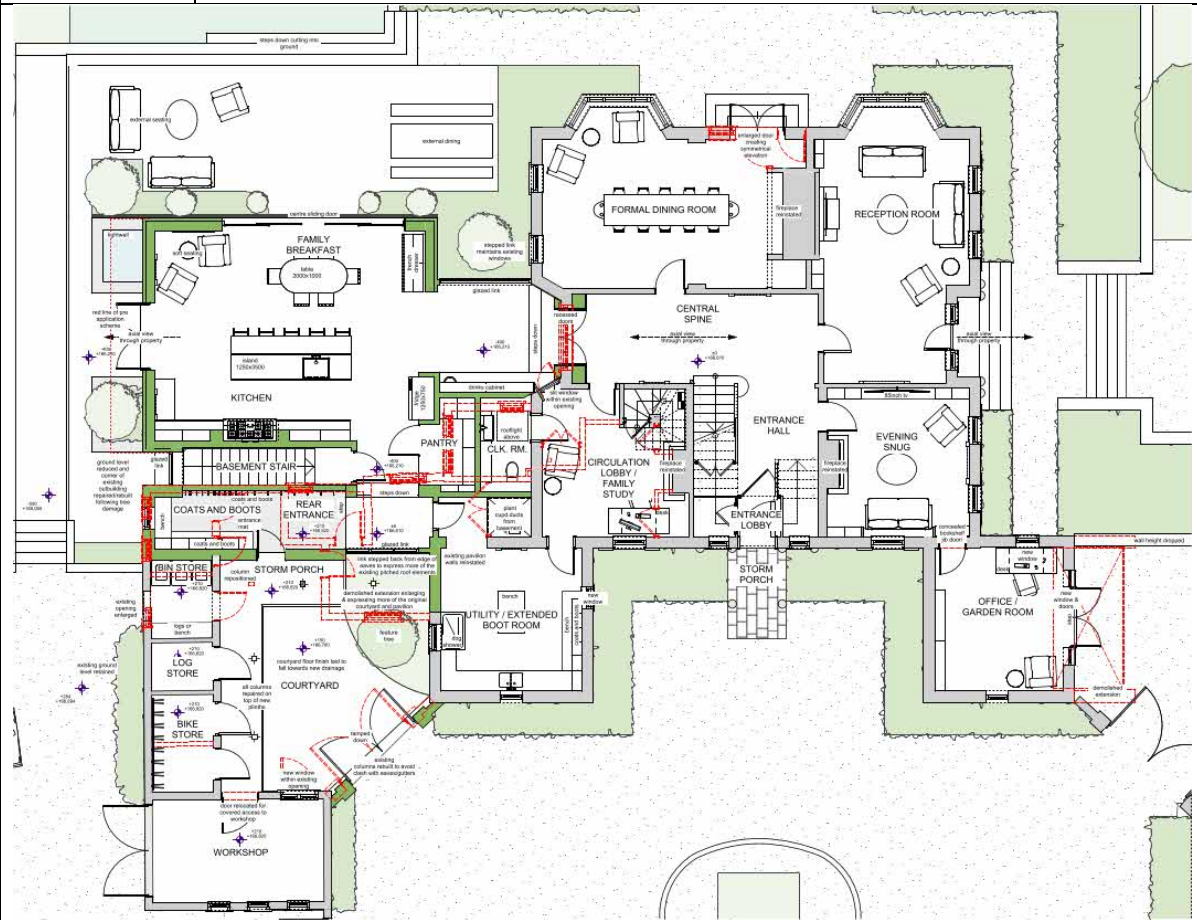


Fig 1: GROUND FLOOR PLAN KEY

Room Ref	Description of Work
01	KITCHEN EXTENSION
	<ul style="list-style-type: none"> - Construction of new extension providing accommodation for new family kitchen.
02	ENTRANCE LOBBY
	<ul style="list-style-type: none"> - Consider Lifting existing parquet floor to be to allow ground floor to be insulated, parquet when present to be carefully store and re-laid. - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required. - Further internal finishing works
03	HALL CENTRAL SPINE
	<ul style="list-style-type: none"> - Consider Lifting existing parquet floor to allow ground floor to be insulated, parquet when present to be carefully stored and re-laid. - Reconfiguration of existing window to create new opening into extension and installation of new glazed double doors. - Reconfiguration of existing doorway into reception room to allow installation of new glazed double doors.

	<ul style="list-style-type: none"> - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
04	DINING ROOM
	<ul style="list-style-type: none"> - Consider Lifting existing parquet floor and subfloor to allow ground floor to be insulated, parquet when present to be carefully stored and re-laid. - Reconfiguration of existing glazing and door out to rear garden. Proposing enlarged entrance to better balance the rear elevation and installation of new glazed double door and sidelights. - Review retuning alcove to original layout. - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
05	RECEPTION ROOM
	<ul style="list-style-type: none"> - Strip out as required, - Lift existing carpet and subfloor to allow ground floor to be insulated. If parquet is located to be carefully stored and re-laid. - Reconfiguration of existing glazing and door out to south garden and installation of new glazed double door and sidelights. - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
06	EVENING SNUG
	<ul style="list-style-type: none"> - Strip out as required, Existing carpet finish removed, - Lift existing carpet and subfloor to allow ground floor to be insulated if parquet is located to be carefully stored and re-laid new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Create new concealed entrance into to office/garden room. - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
07	OFFICE / GARDEN ROOM
	<ul style="list-style-type: none"> - Strip out of existing, including demolition of more modern lean-to structure, returning to original plan form. - Installation of new glazed doors with views across garden - Lift existing floor finish and subfloor to allow ground floor to be insulated. new floor finish as per approved sample - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
08	FAMILY STUDY

	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow ground floor to be insulated. If parquet is located to be carefully stored and re-laid new floor finish as per approved sample - Reinstatement of existing fireplace. - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
09	UTILITY / BOOT ROOM
	<ul style="list-style-type: none"> - Removal of existing kitchen fixtures and fittings - Lift existing floor finish and subfloor to allow ground floor to be insulated. If parquet is located to be carefully stored and re-laid or new floor finish as per approved sample - Note access to existing out buildings /entrance to be closed off with new walls. - Installation of new fixtures and fittings as required. - Decoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
10	CLOAK ROOM
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow ground floor to be insulated. If parquet is located to be carefully stored and re-laid or new floor finish as per approved sample - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
11	PANTRY
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow ground floor to be insulated. If parquet is located to be carefully stored and re-laid or new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Note new walls and access create to new extension. - Redecoration of existing joinery doors, windows, walls, and ceilings. Making good where required.
12	COURTYARD AND EXISTING OUTBUILDINGS
	<ul style="list-style-type: none"> - Demolition of existing corner and entrance - Refurbishment of existing structures, floors, walls, and roof. - Accommodation to provide storage, logs store, bin store, bike store.

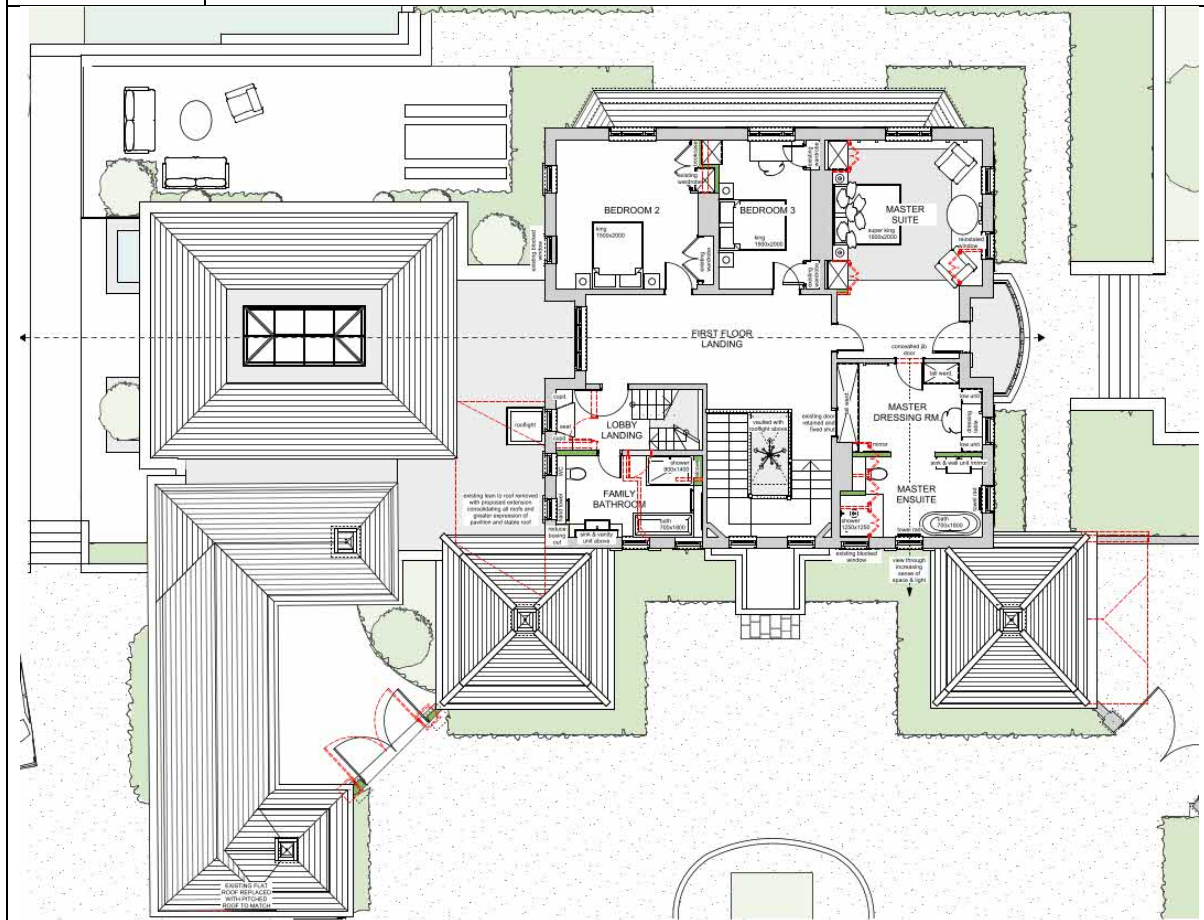


Fig 1: FIRST FLOOR PLAN KEY

Room Ref	Description of Work
1	LANDING 1
	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Review of cracks to existing ceiling and walls to confirm if remedial works are required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
2	MASTER BEDROOM
	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Create new opening in existing wall to access master dressing room. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
3	MASTER DRESSING ROOM

	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Noting new stud walls providing separation of the existing room to create master ensuite. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
4	MASTER ENSUITE
	<ul style="list-style-type: none"> - Strip out of existing cupboards and fixtures and fittings - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
5	BEDROOM 2
	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
6	BEDROOM 3
	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
7	LANDING 2
	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
8	LAUNDRY ROOM

	<ul style="list-style-type: none"> - Lift existing carpet finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
9	FAMILY BATHROOM
	<ul style="list-style-type: none"> - Strip out of existing fixtures and fittings. - Demolition of existing walls to form new family bathroom layout. - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.

4.0

SECOND FLOOR

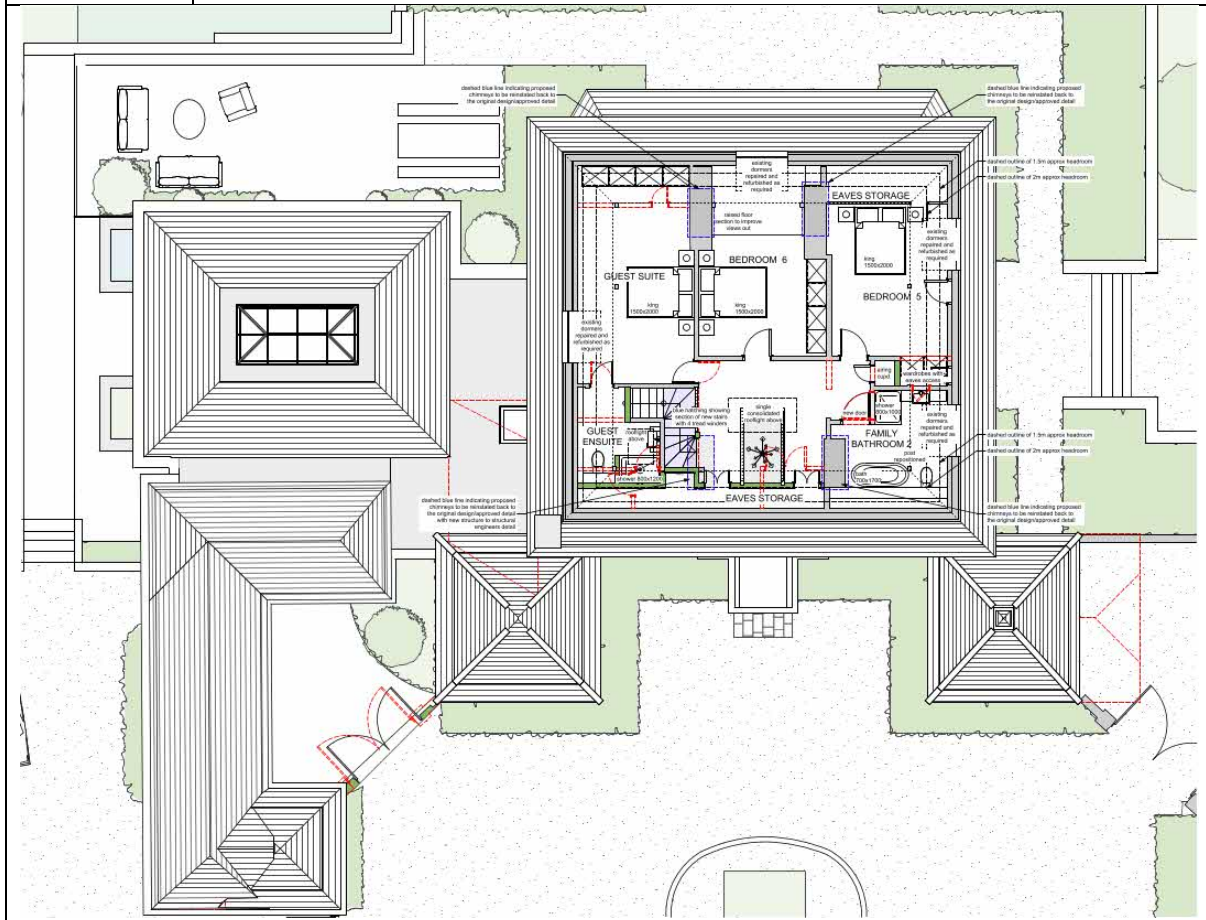


Fig 3: 2nd Floor plan

Room Ref	Description of Work
1	LANDING 3
	<ul style="list-style-type: none"> - Strip out of existing cupboards and fixtures and fitting. - Form new landing with floor opening to create new void above existing stairs below, including installation of new balustrade. - Form new light well to roof, noting replacement of existing modern rooflights of poor quality. - Adjust top of stairs to improve arrival onto landing and mitigate reduced head height. - Note Reinstate 4 original chimney stacks, feasibility to be done: 2 functional, 2 false. - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.

2	GUEST SUITE
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Adjustment to dormers and windows to lower cill heights. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
3	GUEST ENSUITE
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
4	FAMILY LOFT BATHROOM
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Installation of new fixtures and fittings as required. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
5	BEDROOM 5
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Adjustment to dormers and windows to lower cill heights. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.
6	BEDROOM 6
	<ul style="list-style-type: none"> - Lift existing floor finish and subfloor to allow first floor to be acoustically insulated and reconfiguration of MEP. Install new floor finish as per approved sample. - Adjustment to dormers and windows to lower cill heights. - Decoration of joinery, doors, windows, walls, and ceilings. Making good where required.

5.0	NEW BASEMENT.
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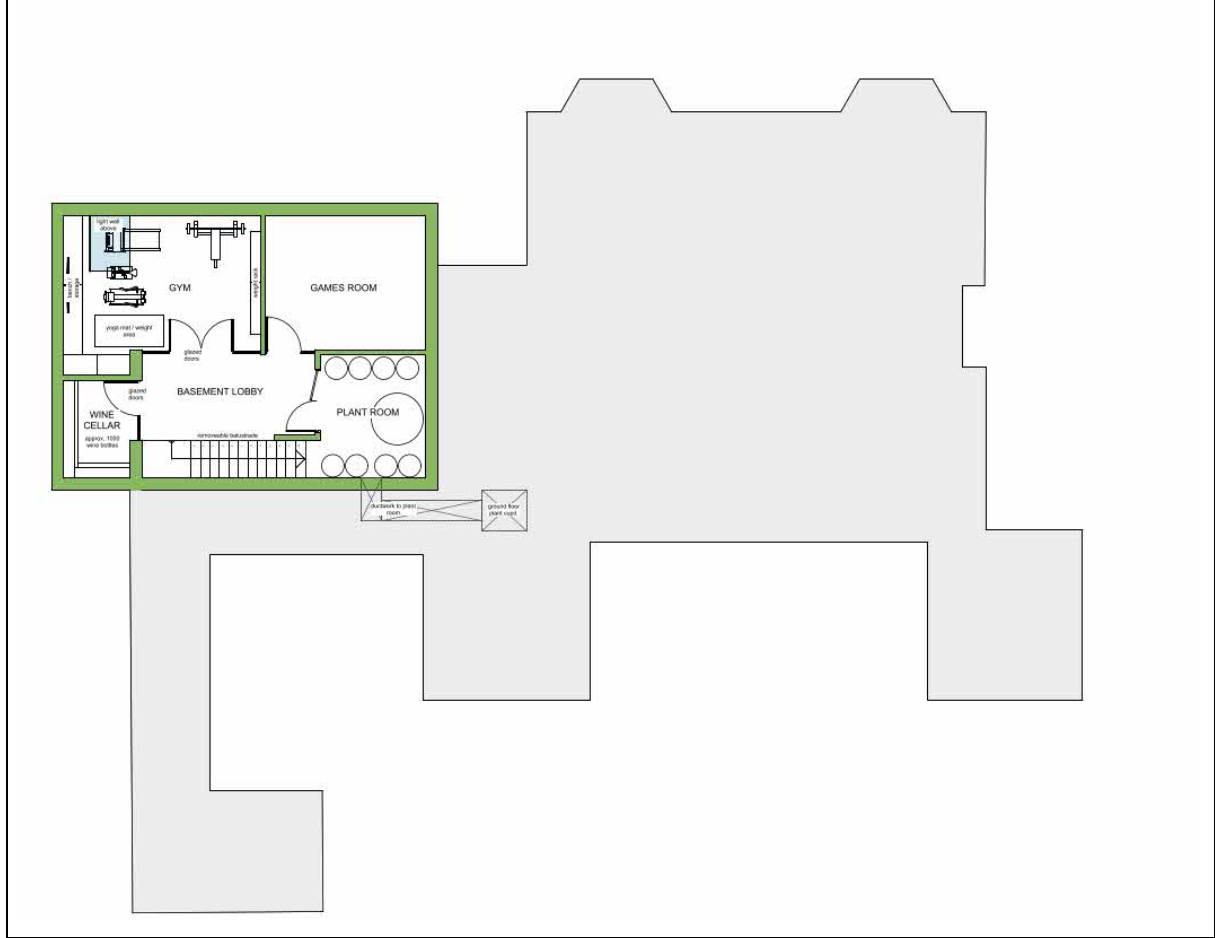


Fig 5: Basement Plan

Room Ref	Description of Work
	<ul style="list-style-type: none"> - Construct new basement under proposed new extension providing accommodation for storage, wine cellar, and new plant room.

6.0	EXTERNAL WORKS.
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Room Ref	Description of Work
	<ul style="list-style-type: none"> - Refurbishment of existing lead roof to entrance porch, finish and detailing to match existing
	<ul style="list-style-type: none"> - Complete refurbishment of existing rendering and repaint. Alternative colour options subject to approval.
	<ul style="list-style-type: none"> - Refurbish guttering/soffits/fascia's, etc. and simplify where possible. The current system is in poor condition.
	<ul style="list-style-type: none"> - Reinstate 4 original chimney stacks, feasibility to be done: 2 functional, 2 false
	<ul style="list-style-type: none"> - Refurbish and reconfigure garden store to improve storage – potting shed, garden tools/equipment, etc.

	<ul style="list-style-type: none"> - Decommission existing septic tank. Consider new location closer to the house given access requirements for servicing. Any scheme should account for the location of the pond/rill.
	<ul style="list-style-type: none"> - Undertake review of site drainage, understand how surface run off is currently being managed, and perhaps utilised in future across the site.
	<ul style="list-style-type: none"> - Review feasibility for water storage and/or borehole
	<ul style="list-style-type: none"> - Other external works are under review to ensure existing (original) appearance is refurbished to match existing unless approved otherwise.

7.0	LANDSCAPING.
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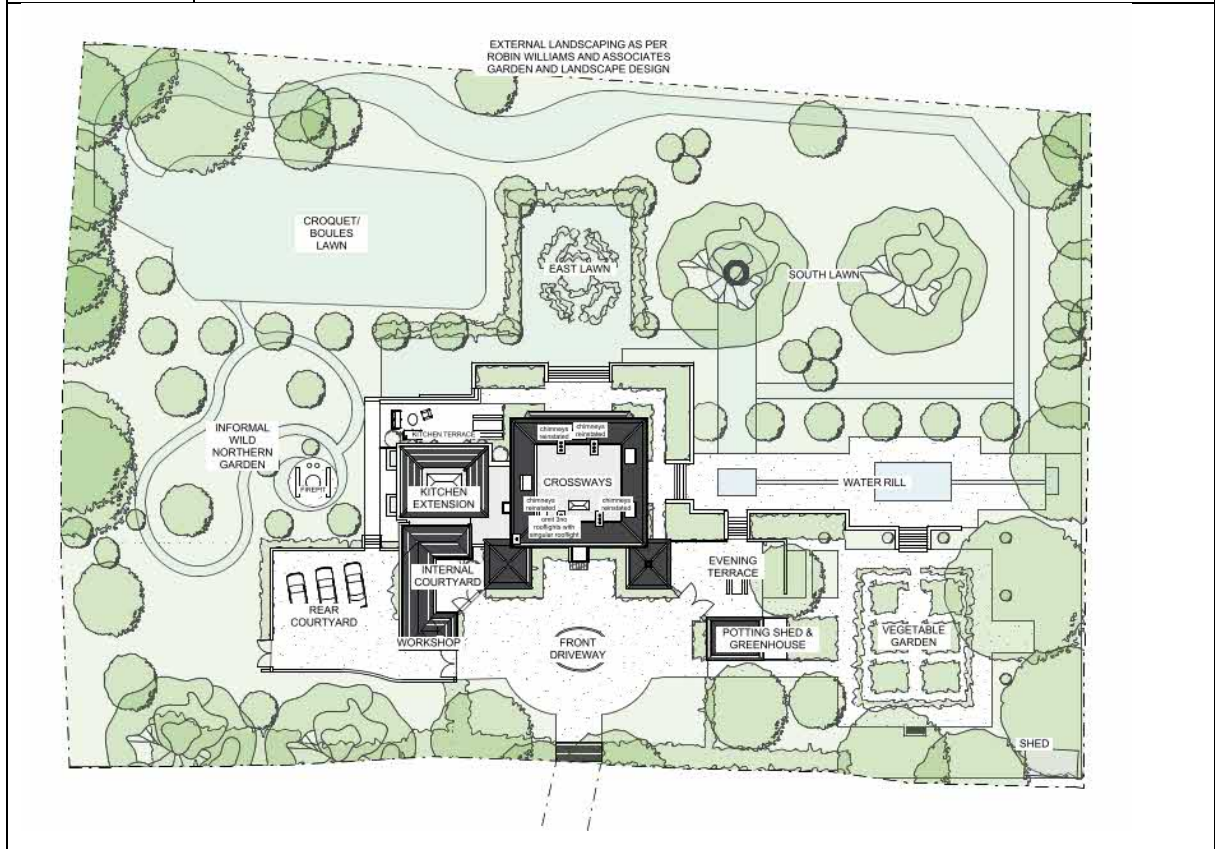


Fig 5: Property Plan

Room Ref	Description of Work
	<ul style="list-style-type: none"> - Improve overall approach to the house by removing the brow of the drive and in turn flattening the driveway in front of the house. Improving drainage. - Reconfiguration to existing garden wall adjacent proposed office/garden room to lower/removed and allow unrestricted views on to landscape.
	<ul style="list-style-type: none"> - Proposed landscape design providing rear courtyard, north lawn croquet lawn. East lawn, South lawn Water rill feature/ terrace evening terrace and kitchen garden

8.0 Appendices

8.1 Thermafleece Insulation of timber floors –

Floors



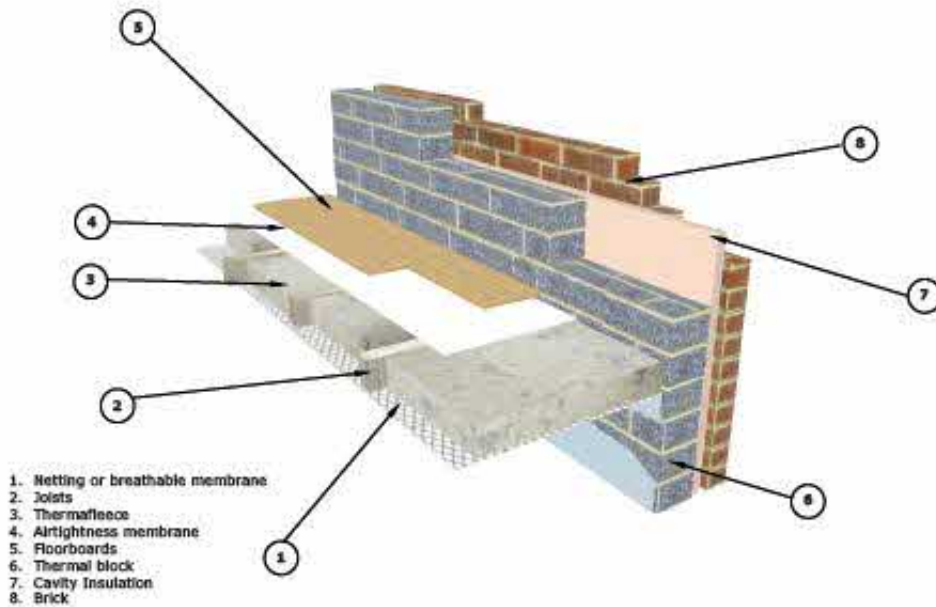
SUSPENDED GROUND FLOOR

Thermafleece is an ideal choice for helping minimise heat loss through suspended floors. Fit the insulation between the joists ensuring all joints are close-butted to avoid air gaps. Pay particular attention to the perimeter of the floor, filling every gap with insulation.

Support insulation with netting to the underside of the joist. An airtight breather membrane can be fitted to the underside of the joist to minimise air movement through the floor.

If the flooring comprises open floorboards, you could install an airtight breather membrane on the top side of the Thermafleece to avoid a build-up of dust and debris on top of the insulation and to reduce any movement.

Maintain a ventilated space at least 150mm below the level of the insulation. Ensure that all air vents under the floor are unobstructed and take care not to block ventilation air path.



Typical U-Value - W/m²K

	100 mm	125 mm	150 mm	175 mm	200 mm
UltraWool Between Floor Joists	0.30	0.26	0.22	0.20	0.18
CosyWool Slab Between Floor Joists	0.31	0.27	0.23	0.21	0.19
CosyWool Roll Between Floor Joists	0.31	0.27	0.24	0.21	0.19

8.2 Thermafleece Insulation of existing roofs.

Warm Roof



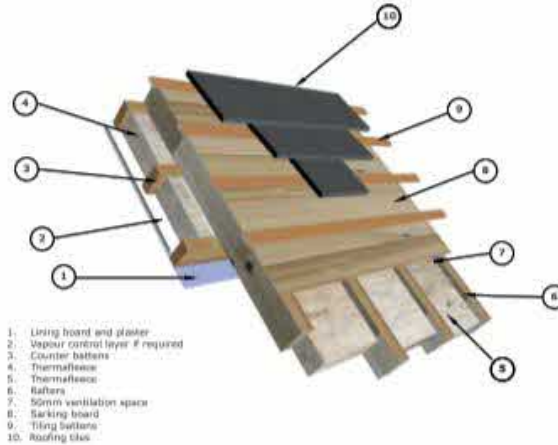
THERMAFLEECE PARTIAL FILL BETWEEN RAFTER AND UNDER RAFTER Timber Sarking Boards

Timber sarking boards run across the top of the rafter with tiling battens fix above. Sarking boards are deemed to have a high vapour resistance so it is important to create a well ventilated space under the sarking to avoid the risk of condensation.

Fit insulation between the rafters leaving a 50mm space between the insulation and sarking to provide clear ventilation down to the eaves. Thermafleece fits neatly between rafters. The tightness of the fit combined with the friction against the rafters holds the insulation in place and prevents slumping. Thermafleece can also be stapled to the side of the rafter if desired.

It may be necessary or desirable to add an additional layer of Thermafleece under the rafter. A counter batten can be secured against the underside of the rafter running across the rafter. Fit Thermafleece between. Running the second layer of insulation across the rafters is desirable because it creates a thermal break.

If necessary, install a vapour control layer to the warm side (underside) of the battens prior to fixing the lining board.



Typical U-Value - W/m ² K							
UltraWool Under Rafter	UltraWool Between Rafter						
	50 mm	75 mm	100 mm	125 mm	150 mm	175 mm	200 mm
50 mm	0.39	0.32	0.27	0.23	0.20	0.18	0.17
100 mm	0.27	0.23	0.20	0.18	0.16	0.15	0.14
CozyWool Slab Under Rafter	CozyWool Slab Between Rafter						
	50 mm	75 mm	100 mm	125 mm	150 mm	175 mm	200 mm
50 mm	0.41	0.33	0.28	0.25	0.22	0.20	0.18
100 mm	0.28	0.25	0.22	0.19	0.18	0.16	0.15
CozyWool Roll Under Rafter	CozyWool Roll Between Rafter						
	50 mm	75 mm	100 mm	125 mm	150 mm	175 mm	200 mm
50 mm	0.42	0.33	0.29	0.25	0.22	0.20	0.18
100 mm	0.29	0.25	0.22	0.20	0.18	0.16	0.15