

Test Valley Borough Council  
Planning and Building Service  
Beech Hurst  
Andover  
SP10 3AJ

Our Ref: TV/748/AP  
Your Ref: 21/01171/FULLN  
PP Ref: 12712874  
Email: alex@southernplanning.co.uk  
Date: 11<sup>th</sup> January 2024  
Status: Online

Dear Sr/Madam

**Erection of three tourist accommodation units- Stockbridge House, High Street, Stockbridge, SO20 6EX**

This covering letter is prepared by Southern Planning Practice Ltd on behalf of Mr & Mrs Dunlop in support of an application for a minor material amendment involving the variation of condition 02 of planning permission 21/01171/FULLN for the *Erection of three tourist accommodation units* at the above property (PP ref **12712874**).

**Introduction**

Condition 2 of planning permission 21/01171/FULLN reads as follows:

*The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 293(10)002G, 293(10)100B, 293(10)002A, 293(10)004A, 293(10)003E, 293(10)001C.*

*Reason: For the avoidance of doubt and in the interests of proper planning.*

The applicants wish to alter the provision of windows, install decking platforms to allow access to the unit and to change the internal configuration of the building.

**Proposal**

There would be a new high-level window to serve the proposed communal space inserted on the south east elevation and the provision of decking to the main entrance as shown on plans **South East Elevation- 239(11)100A**.

There would four additional windows inserted, and the approved window would include a doorway on the north west elevation. Three of the four additional windows would serve the hallway the and the larger additional window would serve the bedroom of unit 3. The additional doorway in the approved window would provide a secondary access into the main entrance hall. The proposed decking platform would serve the new doorway and form access

**Southern Planning Practice Ltd**

Registered Office: Youngs Yard, Churchfields, Twyford, Winchester SO21 1NN

Tel: 01962 715770 E-mail: info@southernplanning.co.uk Website: www.southernplanning.co.uk

Registered in England and Wales No. 3862030

ramp to this doorway, running parallel with this elevation. These changes are as shown on plan **North West Elevation - 239(11)101A**.

The openings on the north east elevation were approved as French doors set within a glazed surround on the approved floor plans, these are correctly shown as such on the plans submitted for the **North East Elevation – 239(10)102A**.

The internal layout has been re-configured to provide for a shared communal space for sitting and eating. Each unit would have access to this space as well as independent facilities including kitchen and bathroom facilities. The layout would be as shown on the Ground floor and **Landscape plan 239(10)100A**.

The revised layout is reflected in the revised roof plan and site plan (**Roof Plan 239(10)004 A** and **Site Plan 239 (10)00 2H**).

The proposal is therefore for the variation of the wording of condition 2 as follows:

*The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 239(10)002H, 239(10)100B, 239(10)004A, 239(10)100A, 239(11)100A, 239(11)101A, 239(11)102A.*

*Reason: For the avoidance of doubt and in the interests of proper planning.*

## **Planning Policy Context**

### National - National Planning Policy Framework

The following sections of the National Planning Policy Framework (NPPF) 2023 are considered relevant:

- 01 - Introduction
- 02 - Achieving sustainable development
- 04 – Decision -making
- 12 – Achieving well designed places
- 15 - Conserving and enhancing the natural environment
- 16 - Conserving and enhancing the historic environment

### Local - Development Plan

The following policies of the Test Valley Borough Revised Local Plan (2016)(RLP) are considered relevant:

- E1 – High Quality Development in the Borough
- E2 - Landscape Character of the Borough
- E5 - Biodiversity
- E9 - Heritage

### **Southern Planning Practice Ltd**

Registered Office: Youngs Yard, Churchfields, Twyford, Winchester SO21 1NN  
Tel: 01962 715770 E-mail: [info@southernplanning.co.uk](mailto:info@southernplanning.co.uk) Website: [www.southernplanning.co.uk](http://www.southernplanning.co.uk)  
Registered in England and Wales No. 3862030

LE18 -Tourism  
LHW 4 - Amenity

### Other Guidance

Stockbridge Conservation Area  
Stockbridge Village design Statement

### **Planning Considerations**

#### *Principle*

The site is within the settlement boundary where the principle of development of tourist accommodation is acceptable. The principle of development remains unchanged to that considered under the original planning permission 21/01171/FULLN and matters such as Highways, Water Management, Ecology and Trees would be unaffected.

The revised internal layout would allow for greater flexibility of use. For example, it would allow for occupants to interact and socialise, as well as have their own private space. The number of units of tourist accommodation within the building would not change.

#### *Impact on character of the area*

The proposed external changes to the building are considered to be low-key. The additional windows would increase the amount of natural light entering the building. The design of these changes appropriate would be in keeping with the existing style and design of the other windows and openings. The public views of the building would remain restricted. The proposed minor material amendment would result in a high quality development and would not impact on the character and appearance of the area in accordance with local plan policies E1 and E2.

#### *Impact on the setting of the listed building*

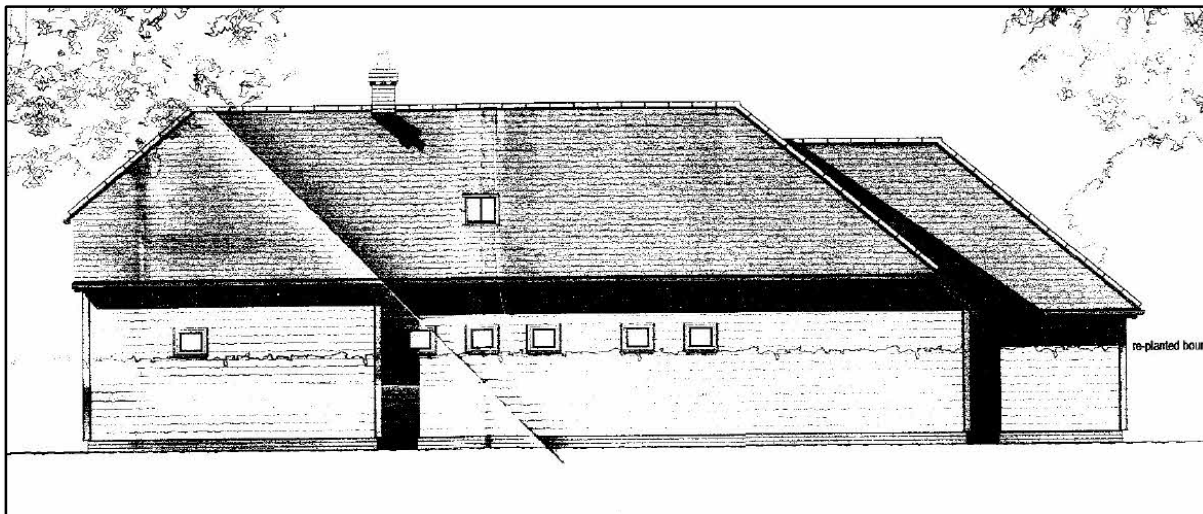
The proposed external changes and provision of decking would not bring the development any closer to the frontage building (Grade II listed) and so would have no visual association with it. The building will continue to make a positive contribution to sustaining the significance of this building in accordance with local plan policy E9.

#### *Impact on neighbouring amenity*

Previous planning permission 15/02129/FULLN for the erection of tourist accommodation at the rear of Stockbridge House, for a different design scheme, allowed for the provision of several windows at ground and first floor level, facing north west:

#### **Southern Planning Practice Ltd**

Registered Office: Youngs Yard, Churchfields, Twyford, Winchester SO21 1NN  
Tel: 01962 715770 E-mail: [info@southernplanning.co.uk](mailto:info@southernplanning.co.uk) Website: [www.southernplanning.co.uk](http://www.southernplanning.co.uk)  
Registered in England and Wales No. 3862030



*Extract from approved elevations (drawing no 3510-PL02) June 2010 showing north west elevation under planning permission 15/02129/FULLN*

A large window was also previously approved on this elevation under the current planning permission and considered acceptable. The additional windows would afford some views of the adjacent burbage plot including an outbuilding and garage at the same level. Further boundary screening is proposed along the north west boundary to limit such views. The provision of additional windows in this elevation would not therefore be detrimental to the neighbouring property in terms of overlooking.

The high-level window on the south east elevation would not afford any views towards the nearest neighbouring property in this direction, The Old Church House, due to the position of the window and the distance of this neighbouring property from the site and the boundary treatment.

Overall, the external changes and provision of decking is not considered to change the existing situation as the building is of a sufficient distance and orientation so as not to have an unacceptable effect on the amenities of the neighbouring properties in accordance with policy LHW4 of the local plan.

### Conclusion

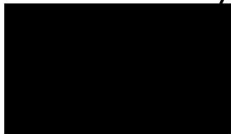
The proposal for a minor material amendment to vary condition 2 attached to planning permission 21/01171/FULLN would allow for low key external and internal layout changes that would be in-keeping with the existing building and would not detract from the character and appearance of the area, setting of the nearby listed building or impact on neighbouring amenity. The proposal is considered to be in accordance with national and local planning policies and should therefore be granted.

This application has been submitted via the planning portal and as it relates to the variation of a condition, the planning application fee is £293. This has been paid separately.

### **Southern Planning Practice Ltd**

Registered Office: Youngs Yard, Churchfields, Twyford, Winchester SO21 1NN  
Tel: 01962 715770 E-mail: [info@southernplanning.co.uk](mailto:info@southernplanning.co.uk) Website: [www.southernplanning.co.uk](http://www.southernplanning.co.uk)  
Registered in England and Wales No. 3862030

Yours sincerely



**Alexandra Webb BSc (Joint Hons) MSc MRTPI  
Associate**

Copy to: Mr & Mrs Dunlop

