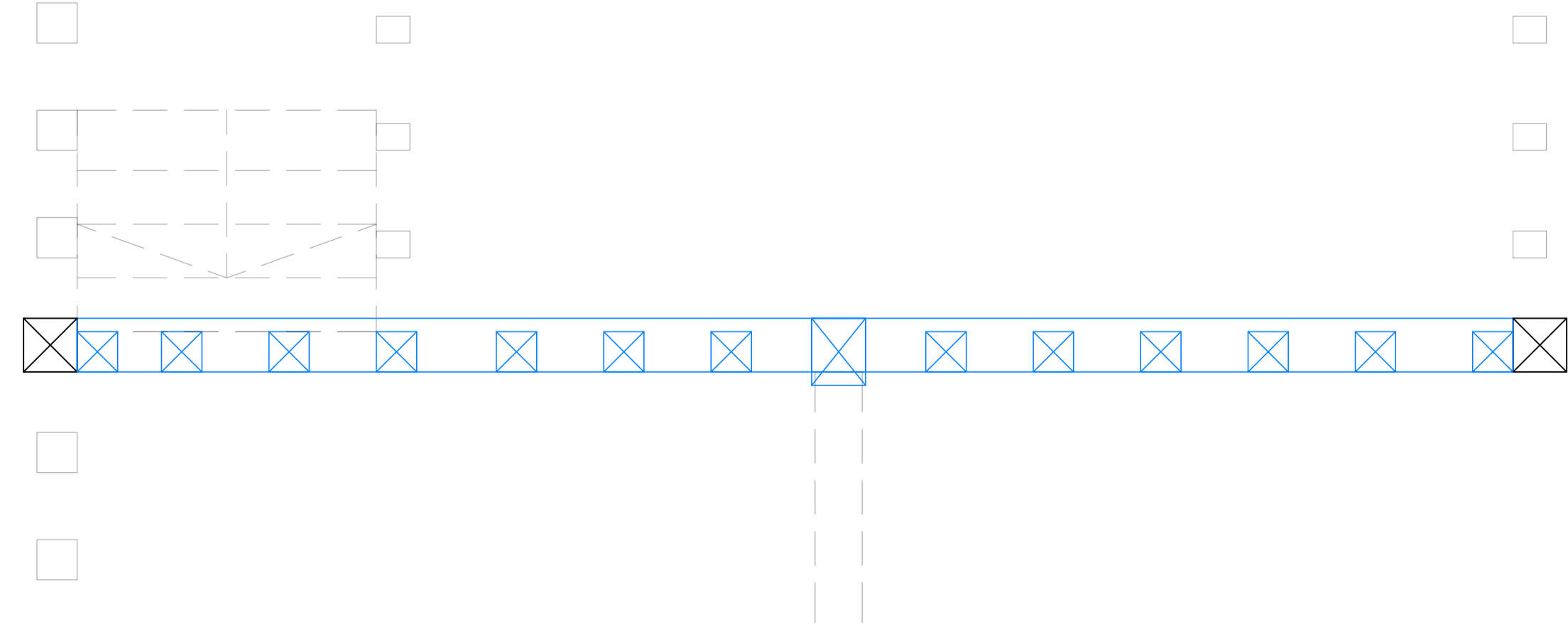


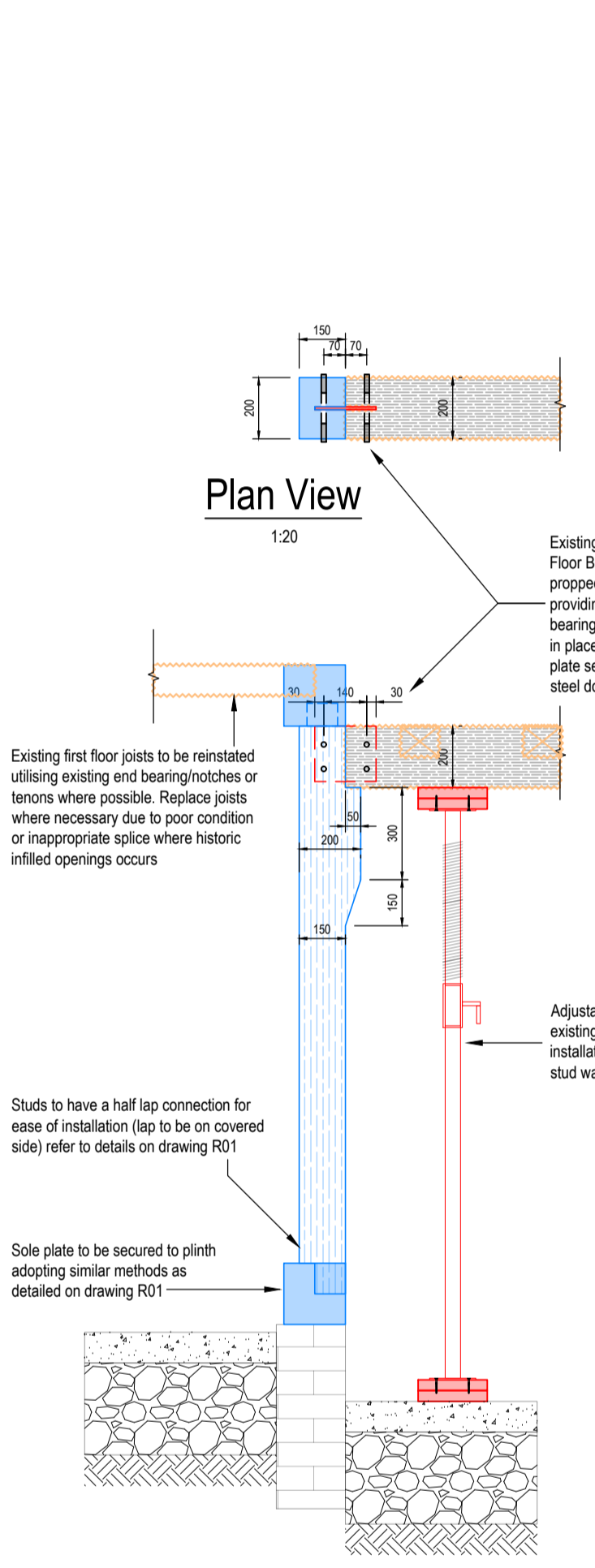
Internal Elevation Utility/Living Wall

1:20



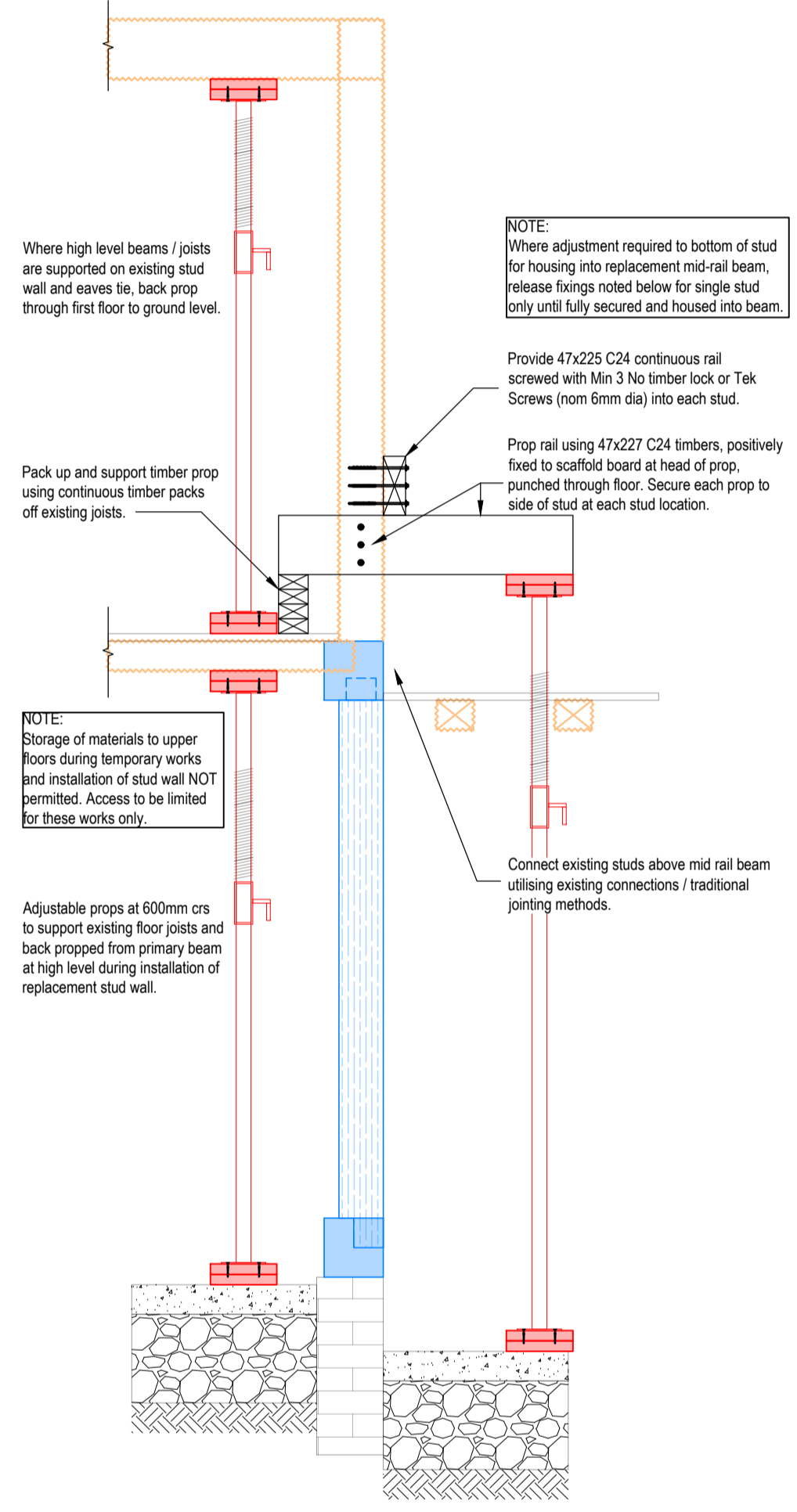
Plan on Utility/Living Wall

1:20



Section 1

1:20



Section 2

1:20

- SEQUENCE OF WORKS**
- All works to be undertaken to timber frame should be commenced following the removal of roof tiles to reduce loading. All sequences assume this approach unless noted otherwise.
1. Provide temporary propping to timber frame in accordance with temporary works details.
  2. Remove and reinstate first floor tie beam / mid rail, to allow for removal of existing studs below. Reinstall existing stud connections above or replace as deemed necessary to suit condition of timbers.
  2. Raise level of existing brick plinth if required to be in with proposed levels and flanking sole plate levels to external timber frame.
  3. Replace sole plate as necessary.
  4. Prop midrail using Acro's above plinth / sole plate to allow for removal of props and temporary works above and provide greater working room at ground floor
  5. Repair / replace studs and principal columns in accordance with relevant details.

1. THIS DRAWING MUST BE READ IN COLOUR;
2. TEMPORARY WORKS TO BE ERRECTED IN ACCORDANCE WITH NASC GUIDE TO GOOD PRACTICE FOR SCAFFOLDING WITH TUBE AND FITTINGS (T320) AND NASC GUIDANCE DOCUMENTS SG4-10, SG16/08, SG17/08, SG19/06 AND ALL OTHER RELEVANT PUBLICATIONS;
3. TIES AND ANCHORS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NASC GUIDANCE DOCUMENT T64-11;
4. THE TEMPORARY WORKS MUST BE CHECKED AND SIGNED OFF BY A COMPETENT PERSON PRIOR TO LOADING. IT IS THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR TO ENSURE THAT THE WORKS ARE INSPECTED BY A COMPETENT INDIVIDUAL;
5. THE LAYOUTS AND DESIGN HAVE BEEN PREPARED BASED ON INFORMATION GAINED THROUGH LIMITED SITE INVESTIGATION WORKS. ANY DISCREPANCIES TO BETWEEN THEN INFORMATION SHOWN ON THIS DRAWING AND THE FINDINGS ON SITE TO BE REPORTED TO FRITH BLAKE CONSULTING;
6. PERMANENT WORKS ASSOCIATED WITH THE INSTALLATION OF NEW FOOTINGS AND POSTS TO BE INSTALLED PRIOR TO UNDERTAKING TEMPORARY WORKS;
7. THE CLIENT IS TO PREPARE AND ENSURE THAT ANY FOUNDATIONS/SUPPORTS ARE SUITABLE FOR SUPPORTING THE LOADS IMPOSED UPON IT BY THE SCAFFOLD INCLUDING ITS WORKING LOADS;
8. NO TIES OR BRACES ARE TO BE REMOVED OR ANY MODIFICATIONS TO BE MADE TO THE SCAFFOLD WITHOUT PRIOR REFERENCE TO CAMERON TAYLOR;
9. THE CLIENT/ENQUIRER WILL BE RESPONSIBLE FOR SETTING OUT AND FINAL LEVELING OF SCAFFOLDING OR SIMILAR EQUIPMENT USED AS A SYSTEM OF SUPPORT;
10. ALL DIMENSIONS ARE AS STATED OR AS CALCULATED. DRAWING MUST NOT BE SCALED;
11. THIS DRAWING HAS BEEN PREPARED ON THE ASSUMPTION THAT ALL LOADS WILL BE APPLIED AXIALLY TO THE TUBES UNLESS SPECIFICALLY STATED OTHERWISE;
12. WIND LOADINGS HAVE NOT BEEN CONSIDERED DUE TO THE TEMPORARY COVER AND REMOVED FINISHES ASSUMED IN THE WORKS PROCEDURE;
13. ALL SCAFFOLDING IS TO BE TIED TO STRUCTURAL STEELWORK AND/OR THE EXISTING STRUCTURE. EXACT DETAILS OF TYING/FIXING ARE TO BE DETERMINED ON SITE;
14. ALL BOARDS AND SHEETING ARE TO BE TIED/FIXED TO THE SCAFFOLD STRUCTURE IN ACCORDANCE WITH BS EN 12811-1:2003.

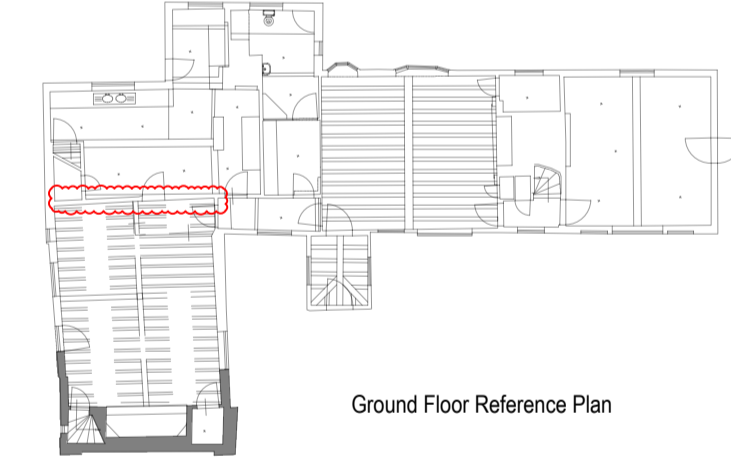
- NOTES:**
1. This drawing is to be read in conjunction with all relevant Architects, Engineers and sub-contractors drawings, details and specification. All dimensions and setting out shall be calculated from the Architects drawings except where shown.
- REPOINTING MASONRY:**
1. Proposals for repointing should generally be localized and should not extend beyond the area where it is strictly necessary;
  2. Complete or substantial repointing of a facade is not considered to be a repair and is likely to require specific listed building consent;
  3. All proposed mortars should be matched in colour and material to suit the original building and agreement / listed building consent provided;
  4. It is a requirement that old mortar is cut out by hand using hooked tools or masonry chisels. Mechanical cutting machinery, and angle grinders in particular should not generally be permitted;
  5. Depth of joint to be removed should be twice the depth of the joint (Typically 20mm) or as required to suit loose mortar. Excessive removal of mortar beds should be avoided;
  6. Limit extent of repointing to areas of not exceeding 4 No courses high. Where depth of raked out mortar exceeds 20mm, limit areas to ensure integrity of wall panel is not compromised structurally, or seek confirmation from Engineer if in doubt;
  7. Ensure all mortar is removed from top and bottom of joint leaving a square cut joint. Dust and debris must be removed using brushes or vacuum and thoroughly cleaned to ensure no loose material remains;
  8. All areas of repointing should be dampened to reduce suction and improve adhesion of the mortar and prevent rapid curing;
  9. Ensure all areas being repointed are protected with ventilated covers (Hessian or similar) with regular mist spraying to maintain moisture as mortar sets. Where exposed to driving rain or high wind provide plastic sheeting or similar on top of hessian;
  10. The mortar should be packed firmly into the joint using a pointing iron after all the loose material has been flushed out and the joint wetted first to reduce suction. The inside surfaces of the joint need to be damp but not wet;
  11. Joints need to be thoroughly filled from the back and compacted to avoid voids, and be built up in layers of approx 25mm deep;
  12. The joint should be filled slightly proud of the intended finished level to allow for slight shrinkage and compaction of the mortar as it firms up. Any mortar that is smeared on the masonry should be sponged off with clean water before it has dried;
  13. Where large areas of mortar are to be repointed, ensure 1 week between opening up further areas to allow sufficient time for mortar to cure before exposing further large areas;

This drawing forms an appraisal of elements visible from ground floor level externally and internally. Additionally, internal finishes and stored materials covered other elements preventing a detailed inspection, particularly at low level. We can therefore not accept responsibility for items which were not seen at the time of the inspection, nor made aware of. Access at high level was not possible, nor were there any intrusive investigation works to determine the extent and condition of foundations or concealed structures.

The information presented is based on conditions which were apparent at the time of our inspection in October 2023. We cannot accept responsibility for conditions which may occur at other times. The appraisal is not intended to form a complete schedule of all required repairs, but to highlight the overall condition of principal structure and to serve as a record drawing for marking up by contractor to record repairs.

The exact extent of repair works is to be coordinated with the Contractor & Engineer during the repair works when full access is provided. A detailed assessment will be undertaken by a competent builder to identify areas in need of repair / replacement and Frith Blake / Beech Architects will advised accordingly.

- CDM NOTES:**
1. All works to be undertaken to timber frame should be commenced following the removal of roof tiles to reduce loading.
  2. Contractor is to notify Engineer and Architect of proposed areas and sequencing of works to ensure it does not have a detrimental affect on stability for other works being undertaken at the same time.
  3. Temporary works designs and procedures are to be reviewed and agreed with Structural Engineer and Contractor prior to commencement of any works indicated on these or other plans.



| C1  | Construction Issue | 15.01.24 | DB | JF  |
|-----|--------------------|----------|----|-----|
| REV | DESCRIPTION        | DATE     | BY | CHK |



9 Damgate Street, Wymondham, Norfolk, NR18 0BG  
t: 01953 433077 e: info@frith-blake.co.uk

**PROJECT DETAILS:**  
Monks Hall Refurbishment  
Syleham  
Eye, IP21 4LN

**CLIENT DETAILS:**  
Juliet and Bonamy Grimes

**DRAWING REFERENCE:**  
Repair Details  
Internal Lounge / Utility Wall Repairs

|             |             |           |             |
|-------------|-------------|-----------|-------------|
| SCALE:      | DATE:       | DRAWN BY: | CHECKED BY: |
| As Noted A1 | Jan 2024    | DB        | JF          |
| PROJECT No: | DRAWING No: | REVISION: |             |
| 4289        | R08         | C1        |             |