

# Planning Statement (Historic and Flood)

## **01 – ADDRESS OF SITE:**

No. 3 Sea View

Common Lane

Beer

Devon

EX12 3EU

## **02 – EXISTING SITE:**

- a) Building** – The end terrace of a block of three cottages at the bottom of Common Lane, set between the Fisherman’s cottages and The Anchor public house.  
The cottage has a traditional slate roof with the external walls being render/pebble-dashed and the windows are white PVCu Casement style, with a white PVCu half-glazed door for the main entrance.

- b) Use** – The property will remain a three-bedroom dwelling with additional/better facilities.

### **c) Local area and heritage**

A search has been conducted using published Local Authority and other information sources.

The dwelling is within the Beer Conservation Area and East Devon AONB.

The dwelling is in a central part of the village, and the applicants believe their proposal will enhance the conservation area by harmonising the front elevation with the other two dwellings in the block.

A check has also been made to Historic England and there are no historic assets that will be influenced detrimentally by the proposed extension.

The nearest Historical Listed Asset is:

Listed Entry: Sunny Nook (1,2 and 3 Fore Street)

Heritage Category: Listed Building

Grade: II

List Entry Number: 1098605

Date first listed: 19-Oct-1984

Parish: Beer

National Grid Reference: SY 22998 89198

Details: SY 2289 BEER FORE STREET 28/51 (east side) Nos 1, 2 & 3 (Sunny Nook) GV II

Range of cottages. Dated 1894. Stone rubble with freestone dressings and fishscale tile hipped and half-hipped roof with crested ridge tiles. Two storeys. Four bays. Right hand projects with half hipped gable, and centre with castslide roof. Three-light ovolo moulded stone mullion windows and moulded four-centred arch doorways with drip moulds. Wide and low hipped dormer over catslide. Lozenge-shaped brick chimney stacks. Included for group value.

### **d) Flood Risk**

A check has been made to the Environment Agency – Flood Map for Planning and the site has been confirmed as ZONE 1 meaning no further investigation is required. SEE Appendix A

**e) Trees**

No neighbouring trees or those within the curtilage are within a distance which poses an adverse impact to the trees themselves or to the proposed extension.

**02 – PROPOSED DEVELOPMENT:**

**a) Changes to the building** – The loft is proposed to be converted into a second-floor rather than the current storage, and this will include a dormer window in the style of the adjoining two properties.

Whilst this work is being undertaken, the front elevation will have the windows changed to vertical sliding windows and the render/pebble-dash finish will be removed to expose the natural stone walls as the adjacent two dwellings in the block have undertaken.

**b) Valid needs** – The dwelling is at a point where maintenance is required, and as part of the scheme, the applicants want to future-proof the dwelling with the facilities needed by today's householders so the dwelling remains usable for future generations.

**c) Access** – No access changes are required.

**03 – CONCLUSION:**

The applicants propose the improvements to provide their additional requirements whilst improving the dwelling externally to improve the character within the conservation area.

The applicant has considered the overall scheme against that of the original dwelling and believes the proposed is subservient to the existing building and in keeping with the immediate surroundings.

**04 – PHOTOS OF EXISTING:**

**Photo Position**

**View taken of the front elevation of No. 3 with pebble dashed finish. Adjoining properties showing the proposed stone finish.**



# Flood map for planning

Your reference  
<Unspecified>

Location (easting/northing)  
322969/89155

Created  
8 Nov 2023 18:03

**Your selected location is in flood zone 1, an area with a low probability of flooding.**

You will need to do a flood risk assessment if your site is **any of the following:**

- bigger than 1 hectare (ha)
- In an area with critical drainage problems as notified by the Environment Agency
- identified as being at increased flood risk in future by the local authority's strategic flood risk assessment
- at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

## Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence **which** sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2022 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>






### Flood map for planning

Your reference  
**<Unspecified>**

Location (easting/northing)  
**322969/89155**

Scale  
**1:2500**

Created  
**8 Nov 2023 18:03**

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area

