

32 Heathway
SE37A - London



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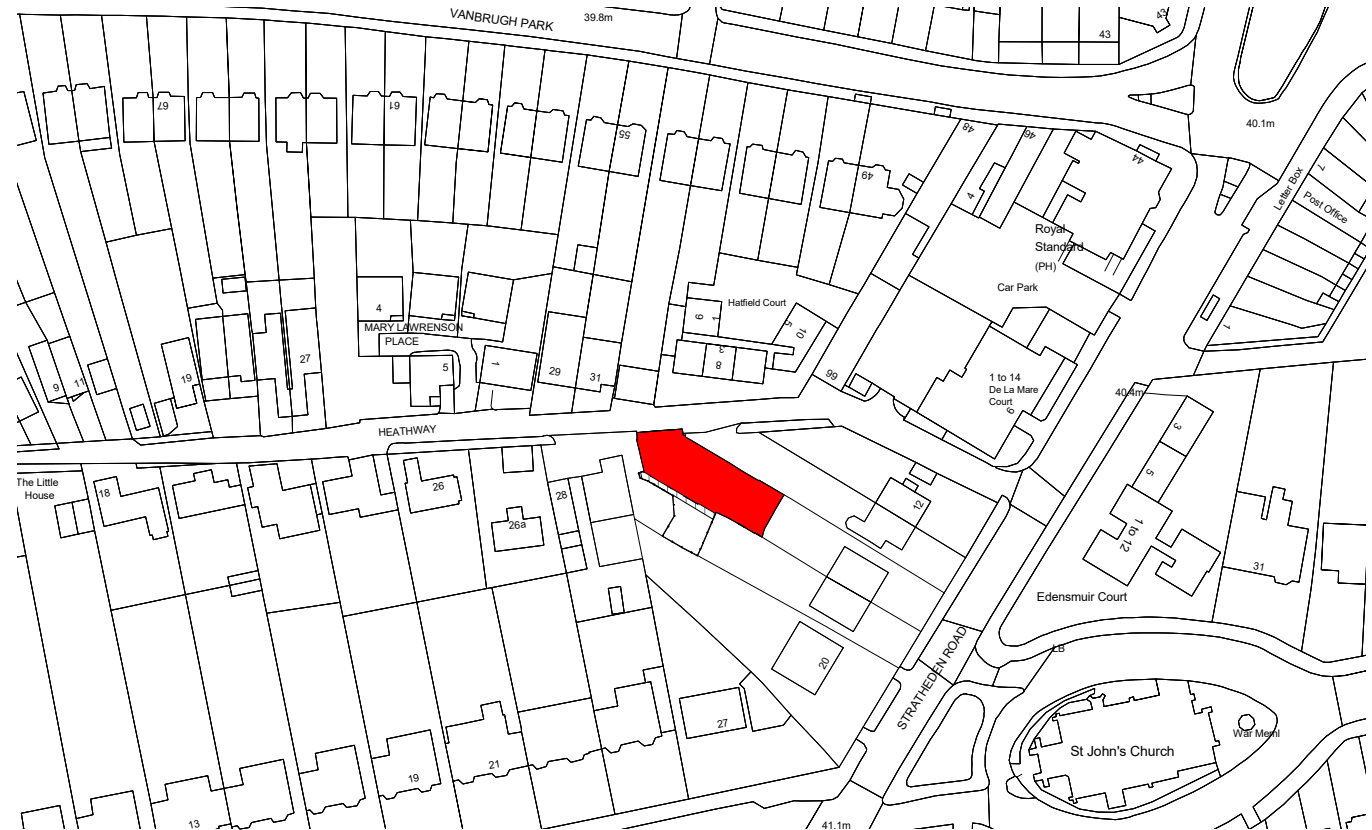
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1.0 Introduction

1.1 Purpose of this Document

This Design & Access Statement has been prepared by MCW in support of the planning application submission to Greenwich Council for facade refurbishment, a new porch extension, and a new landscape design at 32 Heathway, London SE3 7AN.

The details associated with the proposed development can be broadly summarised as follows:

- New porch extension
- Alterations to North, East and West elevations, including the installation of new windows and replacement of existing ones
- New landscape design for both the front and back gardens
- Installation of a new skylight
- Construction of a new deck on the existing balcony
- Addition of a new swimming pool in the rear garden and canopy area
- Changes to the ground floor layout, including the relocation of the guest WC, new stair hall layout with glass partitions, a new feature stair, a new plant/pantry layout, new open-plan kitchen/living room layout and a new kitchen.
- Changes to the first-floor layout, involving the removal of the existing stair to create a new storage area and removal of a bedroom to accommodate the feature stair
- Changes to the second-floor layout, including a new guest bedroom and guest bathroom and the removal of an office area to make space for the feature stair
- Installation of new services: solar panels on the flat roof

The aim of this document is to illustrate that the proposed pre-application represents a meticulously considered proposition. It presents a design approach that is sensitive, suitable, and of high quality, all the while cultivating a positive rapport with the encompassing environment

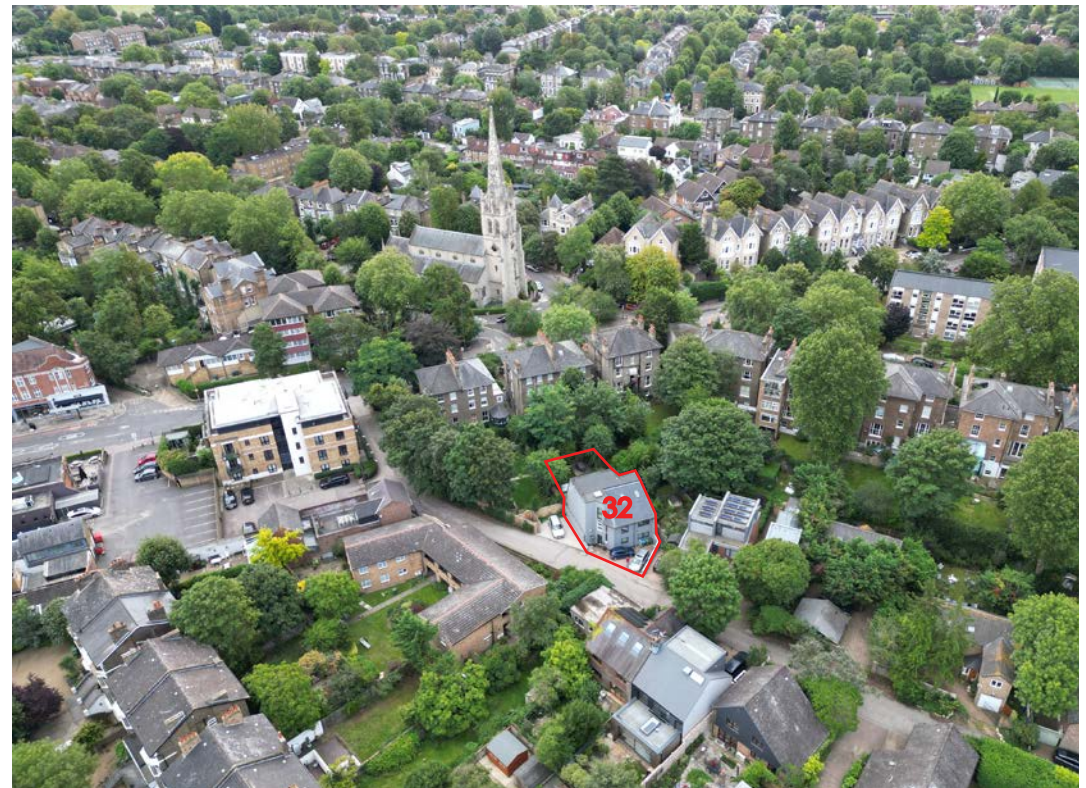
1.2 Supporting Information

In addition to this Design & Access Statement, this Planning Application also includes the following documents, which are referenced throughout this document:

- Location Plan
- Design & Access Statement (this document) - MCW
- Existing & Proposed Drawings - MCW
- Archaeological Desk Assessment

1.3 Architecture and Design - MCW Mongillo Construction Workshop

MCW Mongillo Construction Workshop is an emerging Architecture and Design studio based in London. Our design approach is thorough bespoke design solutions, and we aim to create innovative and sustainable architecture creating unique spaces that suit the needs of the user. Our buildings are designed to enrich and improve daily life and meet the diverse needs of the people using them by responding and embracing their cultural&Landscape context. Design quality and the functionality of spaces are primary attributes of our work



2.0 Site Analysis

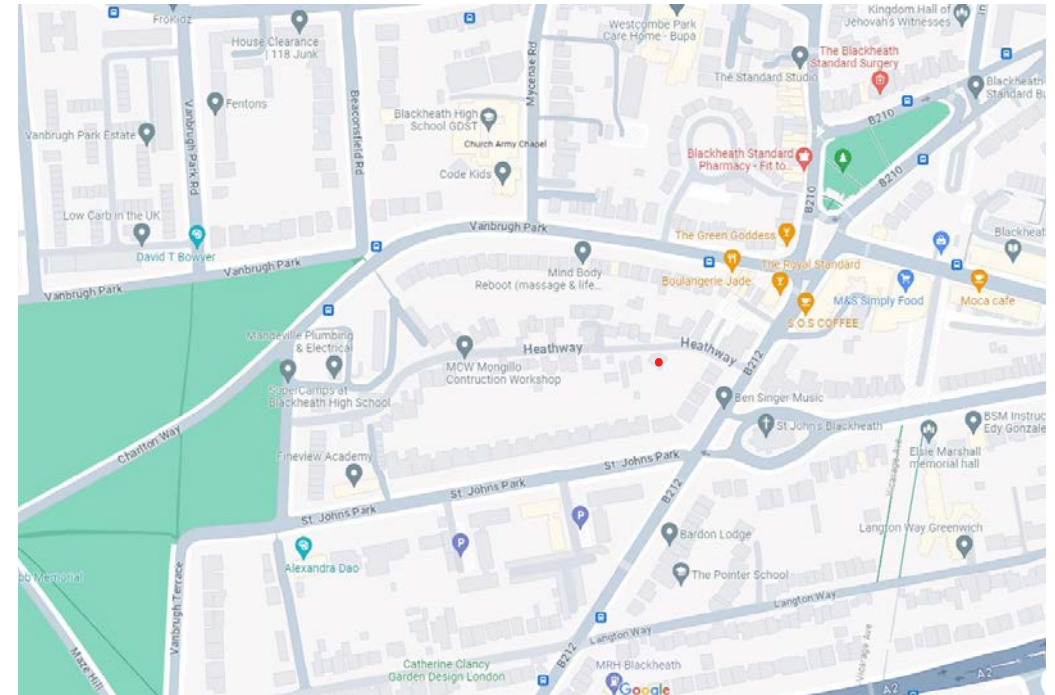
2.1 Site Description & Physical Context

The site is located on the western edge of the Royal Borough of Greenwich, nestled within the expansive Maritime Greenwich World Heritage Site. While it falls within the Blackheath Conservation Area, it hasn't received specific attention in the Conservation Area Appraisal and doesn't hold any national or local listing.

You'll find this site on Heathway, a charming residential lane tucked between Vanbrugh Park to the west and Stratheden Road to the east. Heathway exudes a unique charm, with an unplanned but elegantly designed private street that resonates with a warm, human-scale ambiance. Its origins can be traced back to a former carriageway that once served the gardens and coach houses of prestigious villas along Vanbrugh Park to the north and St. John's Park to the south.

This lane seamlessly melds into its surroundings, discreetly positioned amid the back gardens, flanked by the two villa-lined streets. The lane's architectural fabric consists of low-density residential structures, typically two to three stories high. It boasts a diverse character characterized by a captivating array of contrasting architectural styles and materials. Notably, you'll discover an abundance of mid-century modern and arts and crafts influences, evident in the intricate detailing and asymmetrical pitched roof forms.

One intriguing aspect is the lack of uniformity in the alignment of front and rear building lines. There's no discernible pattern in terms of the orientation of front and rear gardens. Shared eaves and ridge heights create a visual thread that connects small clusters and pairs of buildings. Occasionally, you'll encounter distinctive structures that deviate from the norm, showcasing an alternative orientation



2.2 Planning Guidance and SPDs

- National Planning Policy Framework & Guidance
- Core Strategy with Detailed Policies
 - Policy DH1 Design
 - Policy DH(h) Conservation Areas i) Character and Setting
- Residential Extensions, Basements and Conversions SPD
- Blackheath Conservation Area Appraisal

2.4 Property History

The property under consideration was originally constructed during the late 1970s and early 1980s and underwent significant remodelling in 2013. It features a three-story front elevation with a simple render cladding and a pitched tiled roof, complemented by different-sized and shaped windows

The resulting remodelled property and window layout create an odd balance between the house's volume and its openings. The mix of window shapes creates an unbalanced facade on the front elevation. Due to the rotated position of the house relative to the street, both the north and east elevations face the street, with the east elevation being completely closed to the street, resulting in an unbalanced front elevation. The entrance of the house lacks any form of shielding or seclusion from its immediate street-side location, leaving it exposed and offering little in terms of privacy to those entering or exiting the property.

Moving to the rear of the property, the window configuration and layout create a more uniform and monolithic facade that emanates a simpler and more modern design.

2.5 Planning History

- 10/2605/F GRANTED - Construction of a second floor rear extension and front entrance canopy
- 13/2360/F GRANTED - Construction of a second floor rear extension and front entrance canopy previously approved planning permission dated 19/11/2010 (Ref: 10/2605/F).
- 23/3279/DP - Pre planning advice 03/01/2024



2. 3 Site Photos



Front Elevation



Aerial view



Back garden



Rear Elevation



Heathway aerial view



Boundary fence

3.0 Design

3.1 Proposal

The proposed development encompasses several key elements, which can be summarized as follows:

- Porch extension - A new porch extension is planned in order to create a buffer zone and enhance privacy due to the proximity of the street. Additionally, a new green roof will be installed.
- North elevation modifications - On the north elevation, there will be changes to the window layout to create a more balanced elevation.
- East elevation modifications - For the east elevation, new windows will be added to open up the facade facing the street, offering an opportunity to enhance and enrich the overall front elevation design.
- West elevation modifications - The west elevation will feature new windows to create a more balanced facade.
- Landscape front garden - A new landscape design for the front garden is planned, including new planting areas to replace non-existing green spaces and new bollards to protect the entrance for incoming traffic
- Landscape back garden - In the backyard, a new landscape design will be implemented to create a balanced composition with the new swimming pool and canopy area.
- New deck area - A new deck area will be constructed on the first-floor balcony, which is currently just a bare structure without any finishes.
- Feature Stair - A new feature stair and a three-story atrium will be integrated into the composition with the new front elevation window layout.
- Changes to the ground floor layout aim to maximize natural light throughout the open-plan area and provide improved usable space, fostering a connection between the feature stair atrium and the outdoors. The new kitchen design aims to enhance the flow of spaces
- First-floor layout - Modifications to the first-floor layout involve the removal of the existing stair to create a new storage area and the removal of a bedroom to accommodate the feature stair.

- Second-floor layout - On the second floor, changes include the addition of a new guest bedroom and guest bathroom, along with the removal of an office area to make space for the feature stair.
- New skylight - A skylight will be installed on the front elevation roof strategically to introduce natural light into the new bathroom.
- Solar panels - new services will be installed, including solar panels on the flat roof, to create a more sustainable and green house.

Our primary goal in this design response is to showcase our unwavering attention to detail in every aspect of the proposed application. We aspire to create a design that not only respects and fits seamlessly into its surroundings but also upholds the highest standards of quality. Our proposal is centred on fostering a positive rapport with the environment that surrounds it, ultimately elevating the quality of life and visual cohesion of the entire development.



3.2 Design response

The amended front elevation was meticulously planned to create a balanced composition between the window shapes and sizes. This involved opening the east elevation to connect with the street, bringing in natural light to the stair atrium. The new porch area and planters were designed to create a buffer zone between the street, providing essential weather protection and extra space for the detached house. The new planter areas, along with the porch green roof, will substantially enhance the greenery in the front of the house, which was previously lacking in green areas. At the same time, the new bollards in front of the porch will provide essential protection from incoming traffic.

The replacement of the existing stairs with a new sculptural feature stair and a three-story atrium will create an impressive space filled with natural light that will seamlessly complement the new front-facing window configuration while flooding the entire interior of the house with natural light. The redesigned ground floor layout aims to open up the space and create a natural flow of light and spaces to enhance the new feature stairs and new kitchen layout.

The redesigned first and second-floor layouts aim to open up the space for the feature stairs while maintaining the functionality of the spaces without losing bedrooms and improving circulation. Additionally, the introduction of the decking area on the first-floor terrace will create a level floor area and improve the overall finished look of an unfinished terrace. The introduction of the new skylight to the guest bathroom on the second floor will allow for natural light and ventilation.

The proposed redesign of the back garden demonstrates a thoughtful approach aimed at optimizing the available space for the new swimming pool layout. This optimization is achieved by strategically situating a range of well-designed planters and hard landscape walking paths. These elements are intended not only to enhance the aesthetic appeal but also to maximize the area's utilization. The introduction of the canopy for the seating area will provide shading and enhance the proposed landscape design.

Sustainability played a pivotal role throughout the design process, with a meticulous selection of materials from reputable and sustainable sources. A green sedum roof was chosen for the porch extension. New planters on the front elevation created an additional green area that enhances the project's ecological impact. The introduction of the new solar panels will create a more green and sustainable home.

3.3 Preplanning Advice

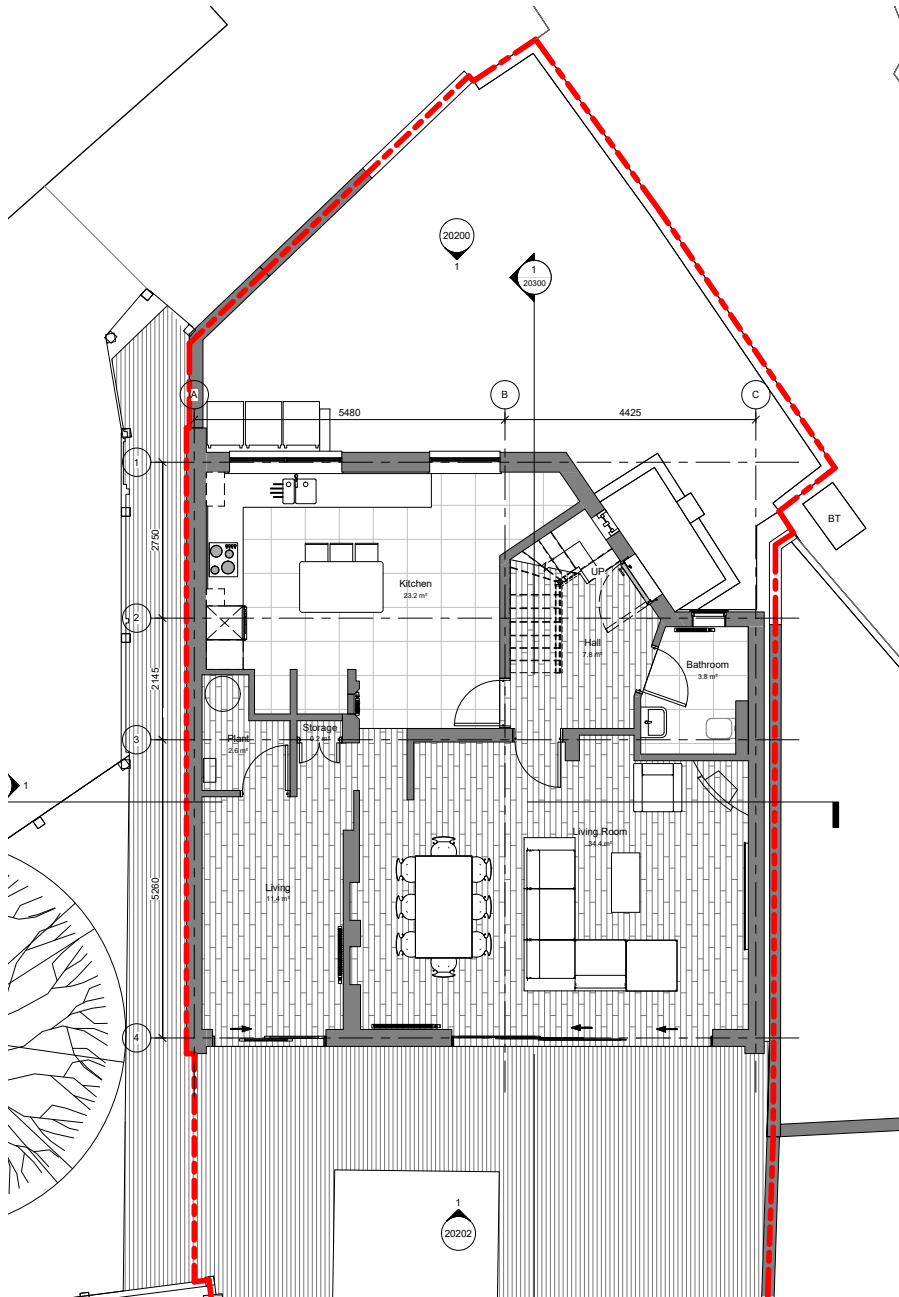
Following pre planning advice ref 23/3279/DP summary as follows

The development is considered to be generally acceptable. Further details as to the materiality and colour finish of the proposed works as well as whether the bollards are static or "rising" should be provided as part of any subsequent application for planning permission. A commitment that the new second floor windows would be obscure glazed should also be included.

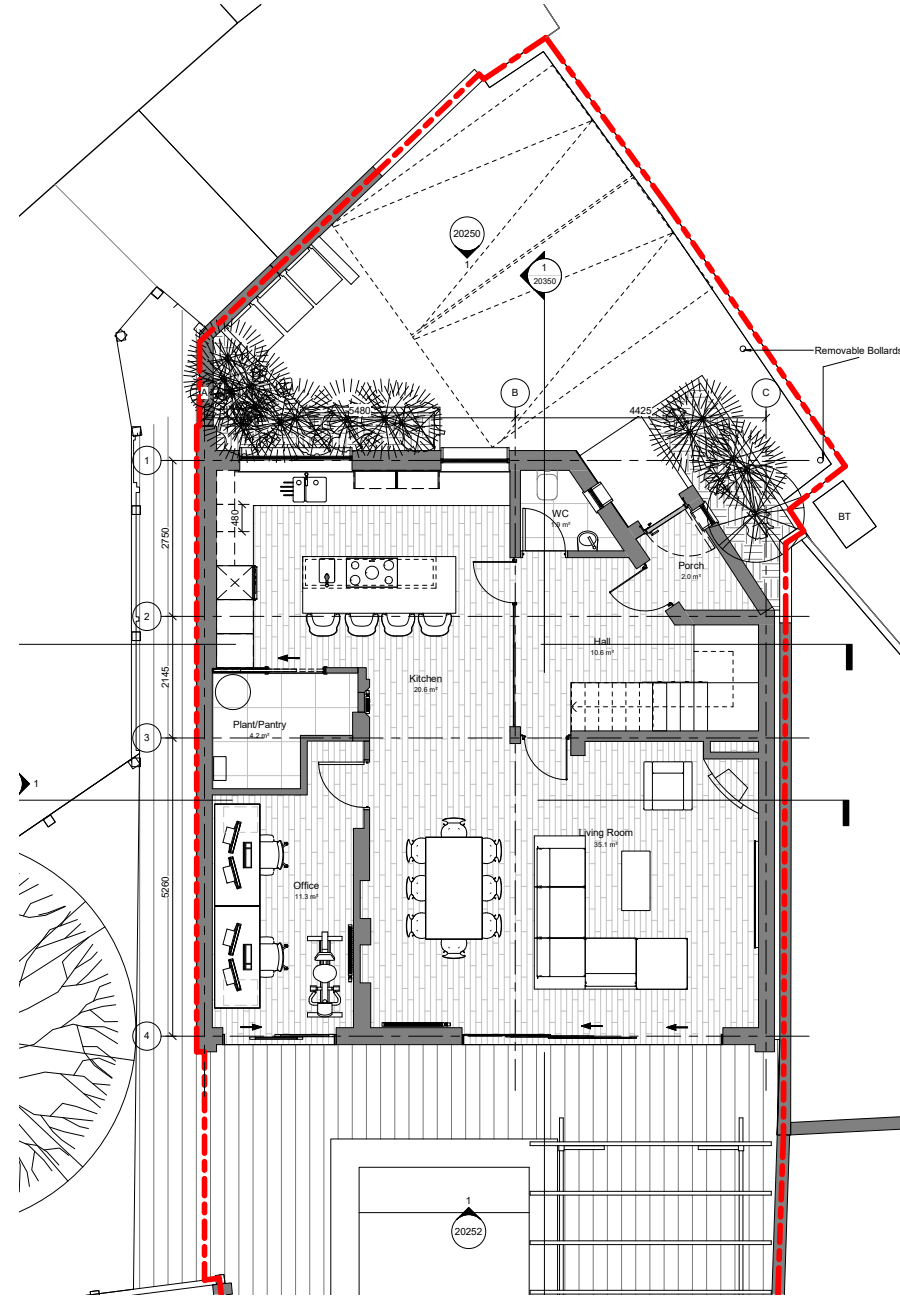
As a repond to the preplanning advised further changes are included.

- New proposed bollars are removable.
- All windows on the west elevation are with obscured glazing

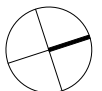


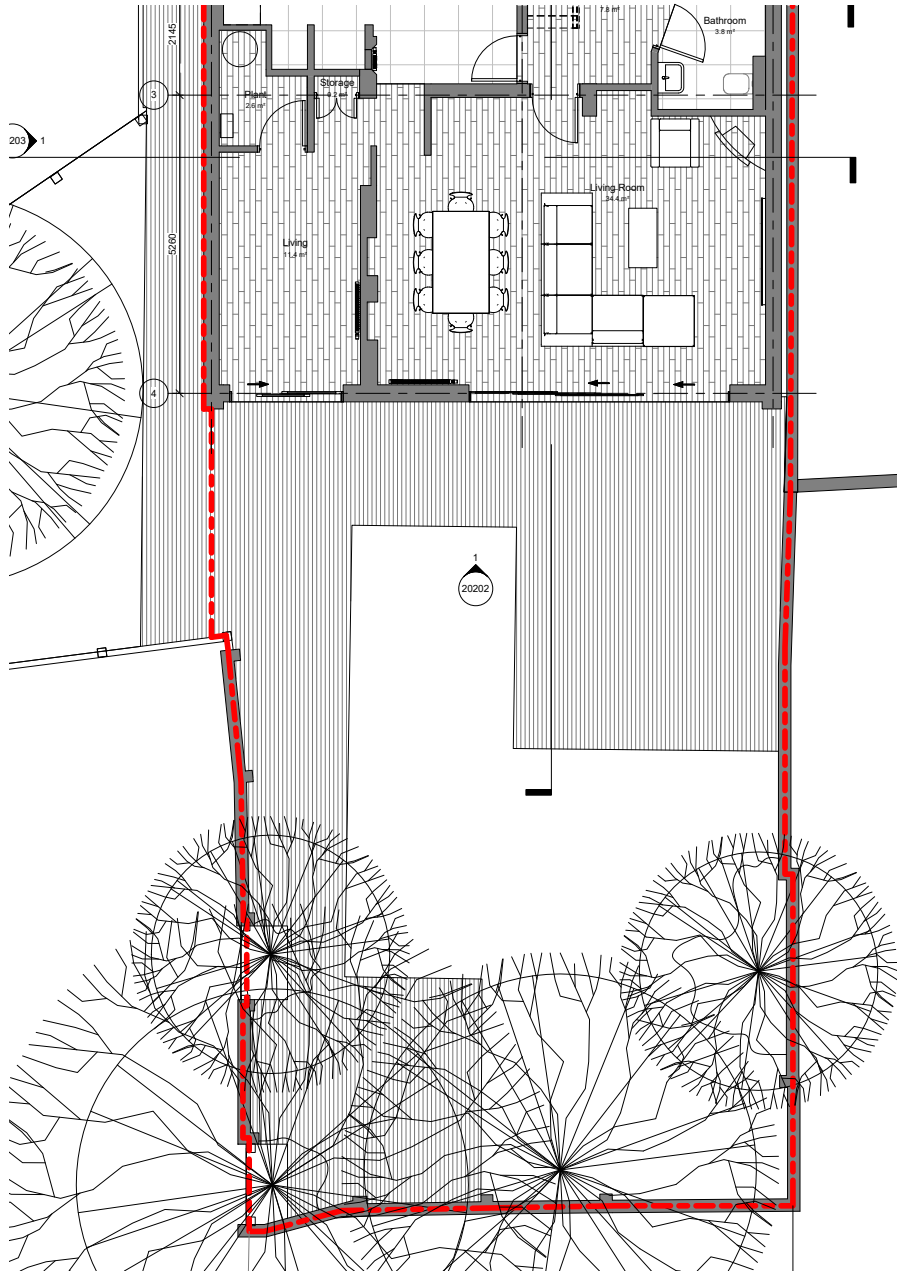


Existing Ground Floor plan

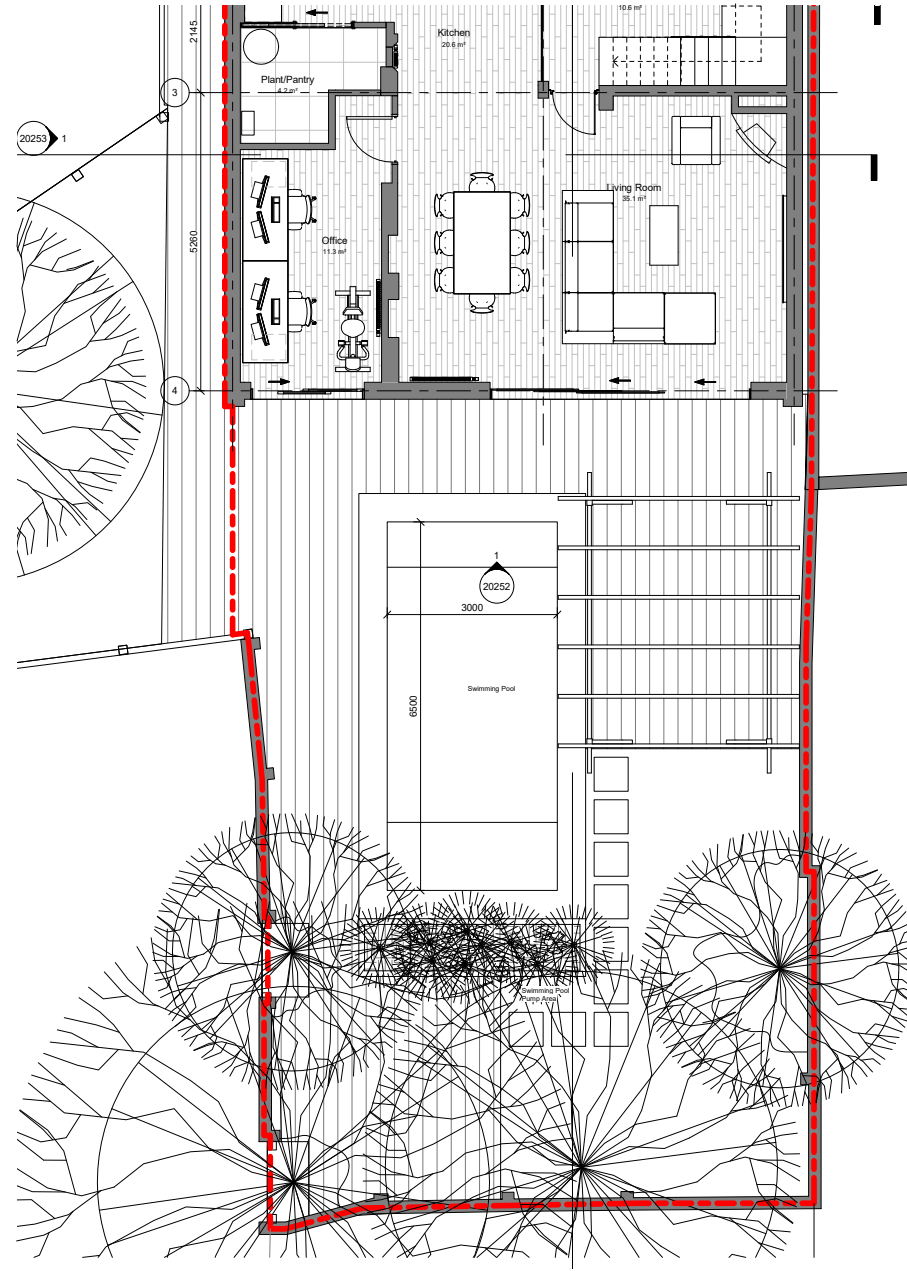


Proposed Ground Floor plan

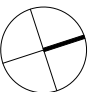


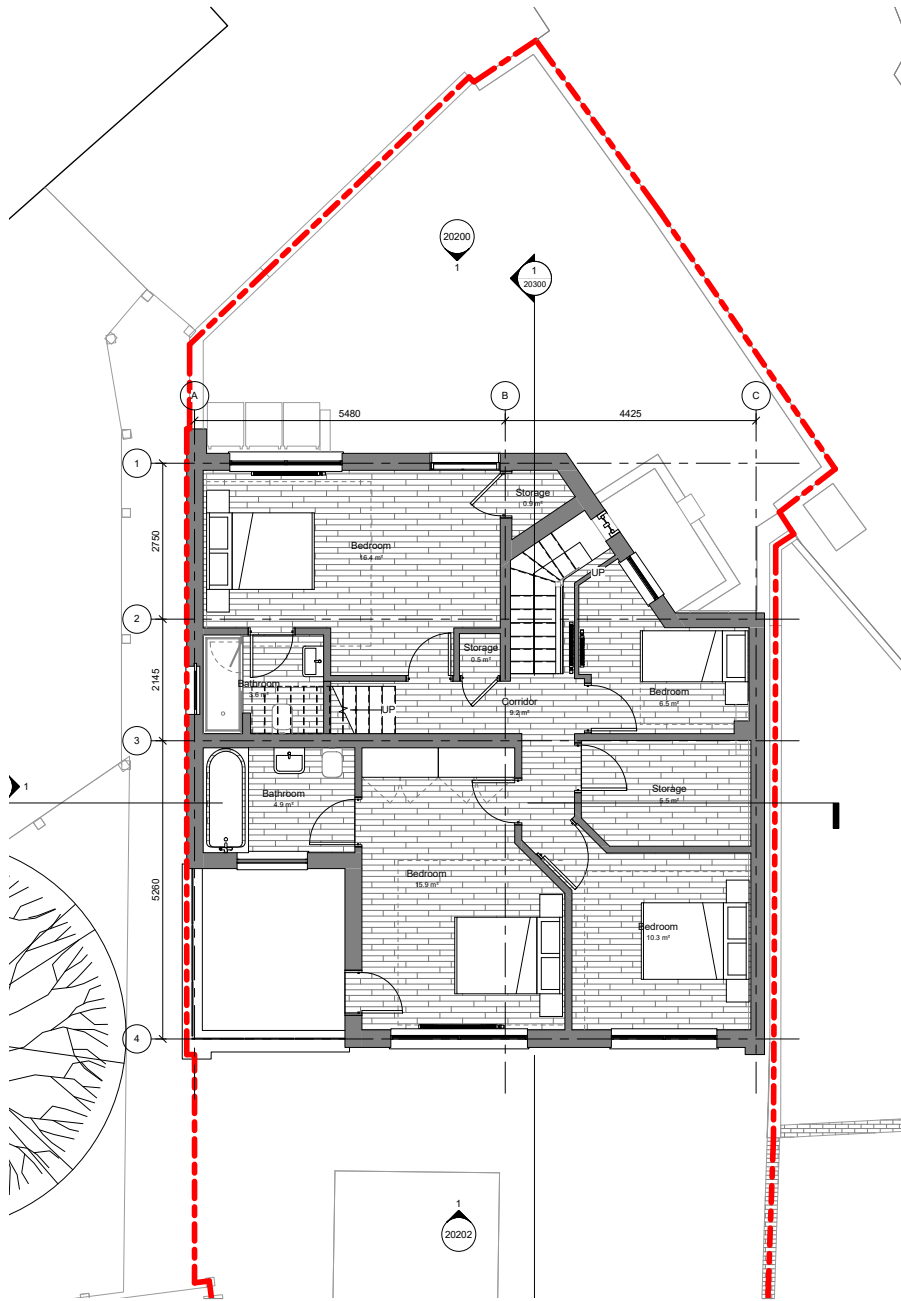


Existing Back Garden Floor plan

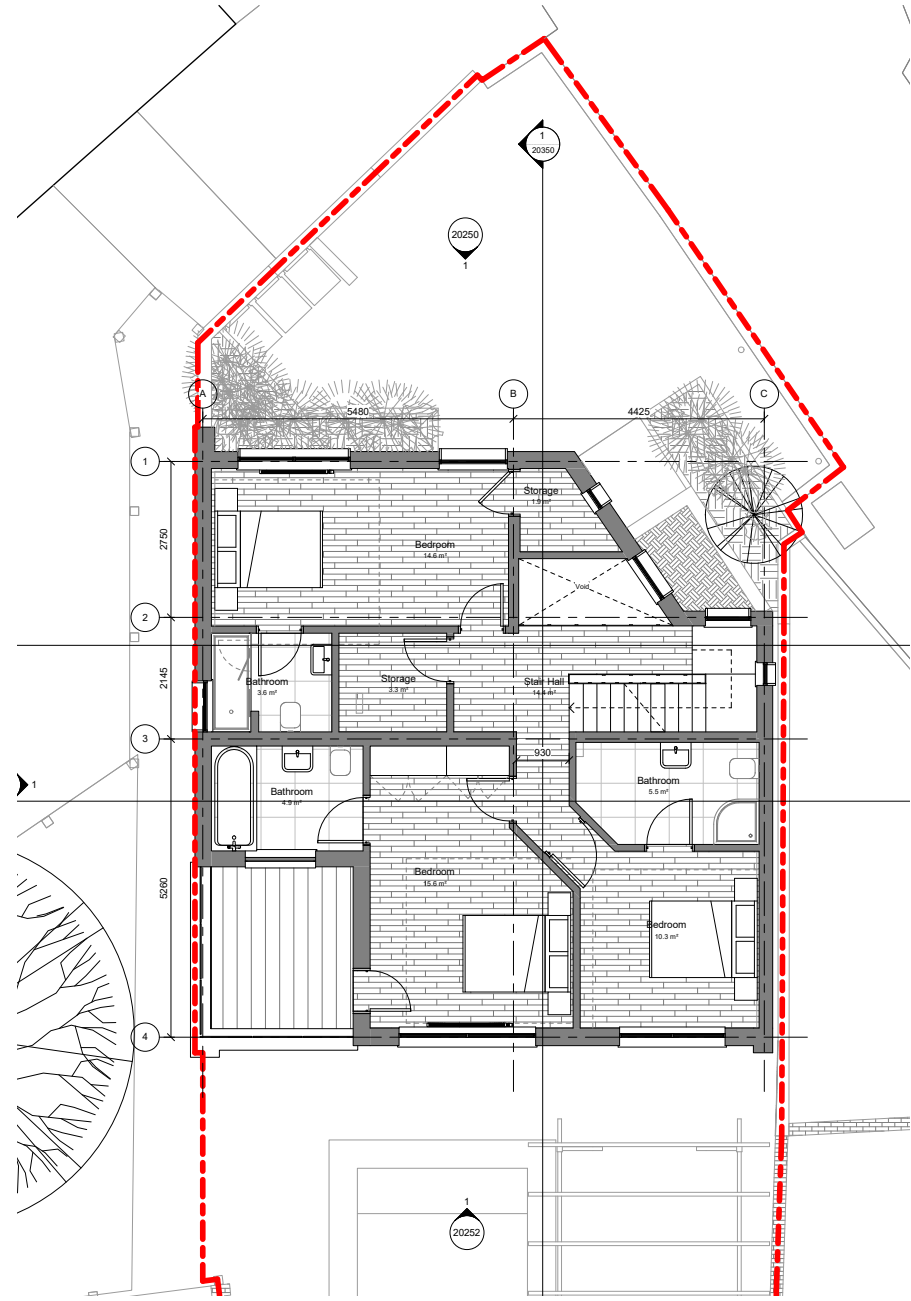


Proposed Back Garden Floor plan

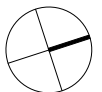


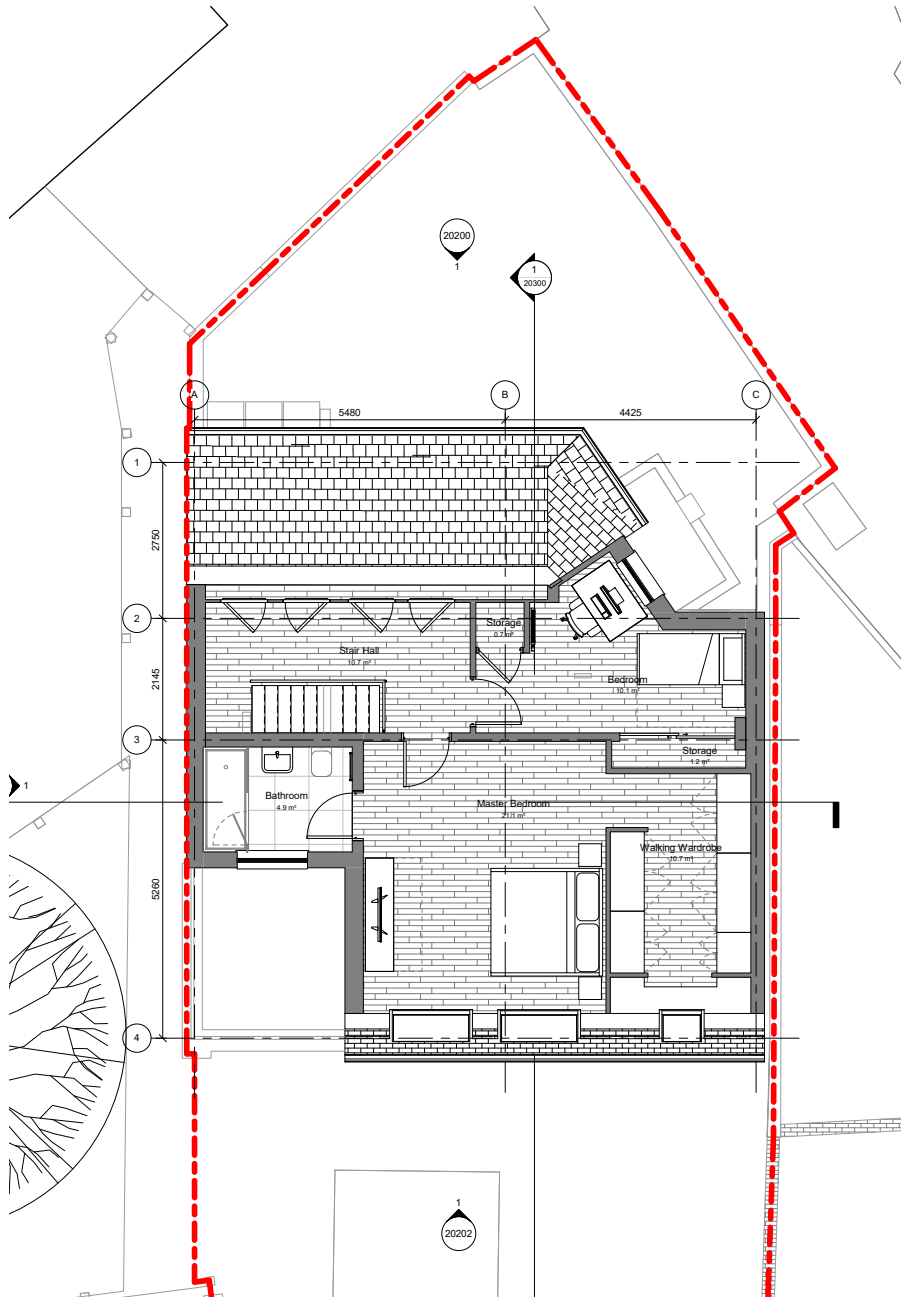


Existing First Floor plan

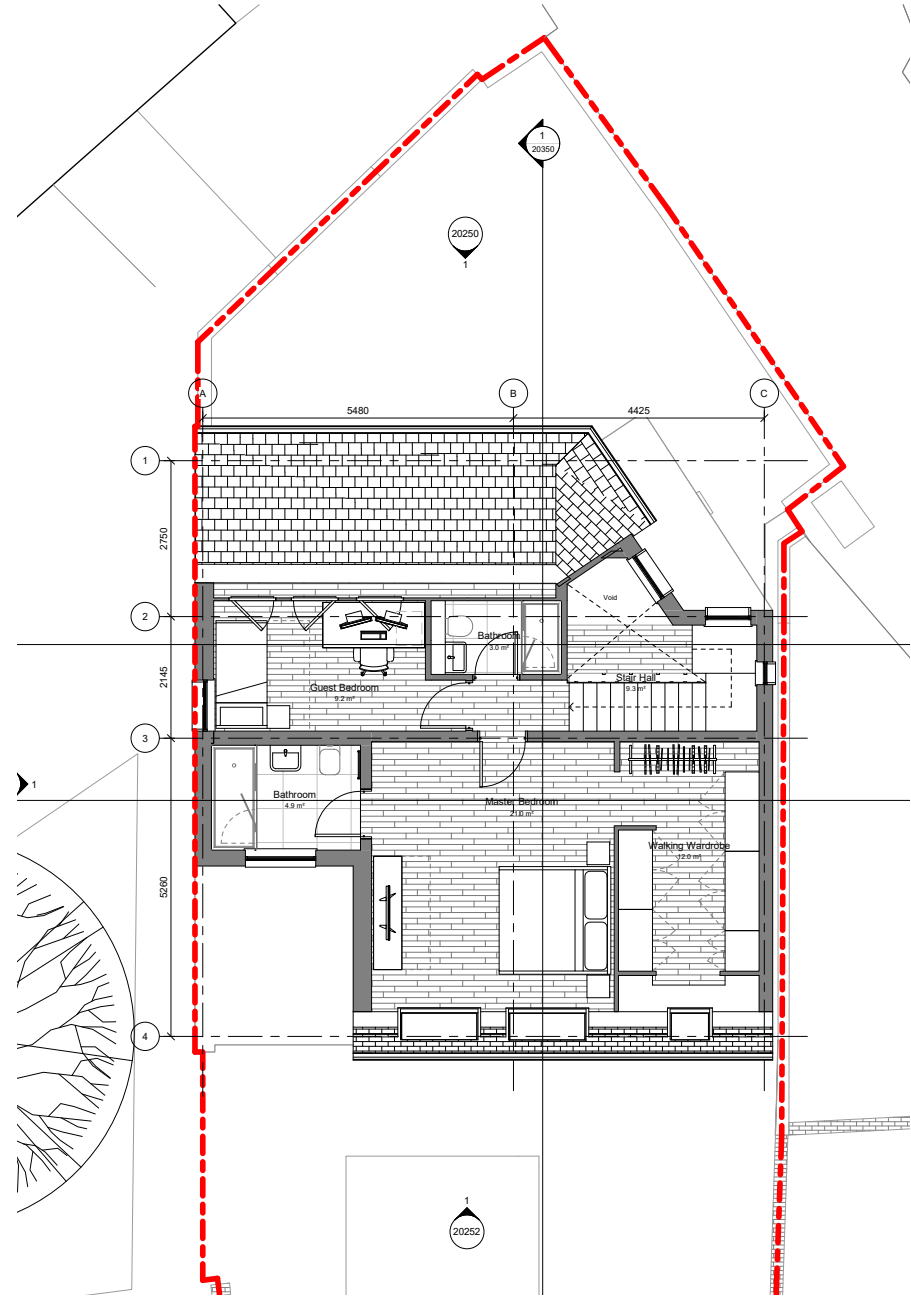


Proposed First Floor plan

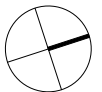


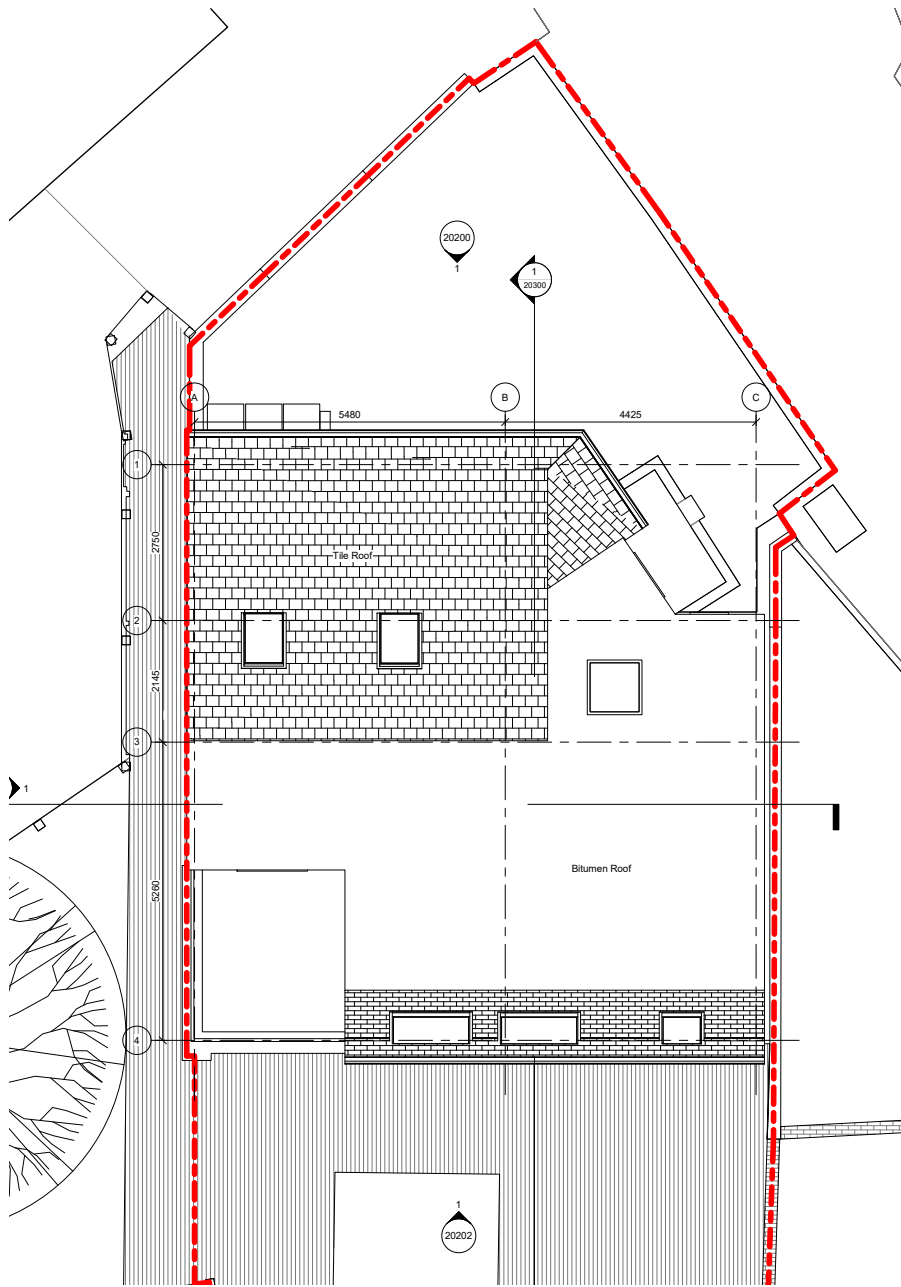


Existing Second Floor plan

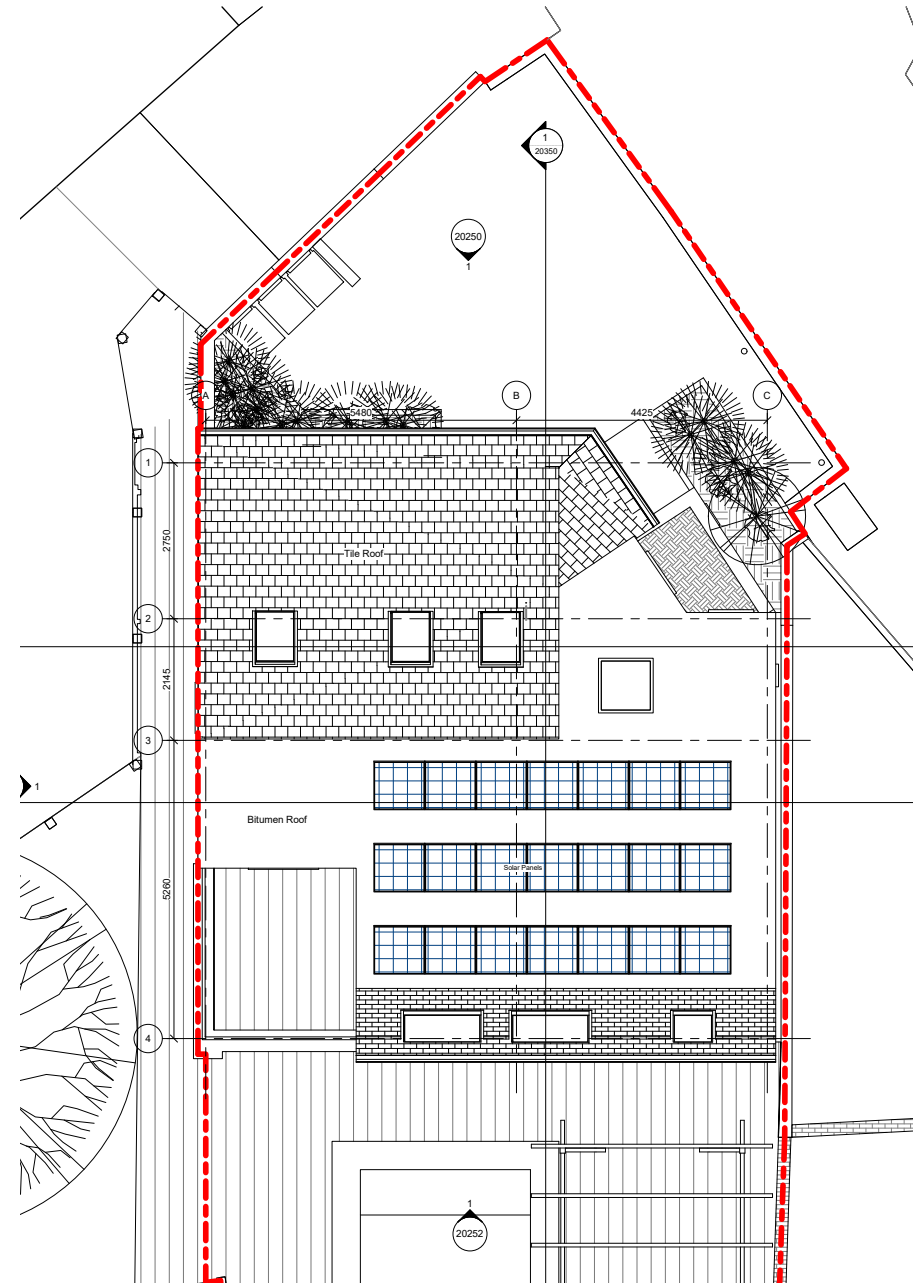


Proposed Second Floor plan

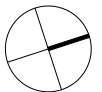




Existing Roof Floor plan



Proposed Roof Floor plan





Existing North Elevation



Proposed North Elevation



Existing East Elevation



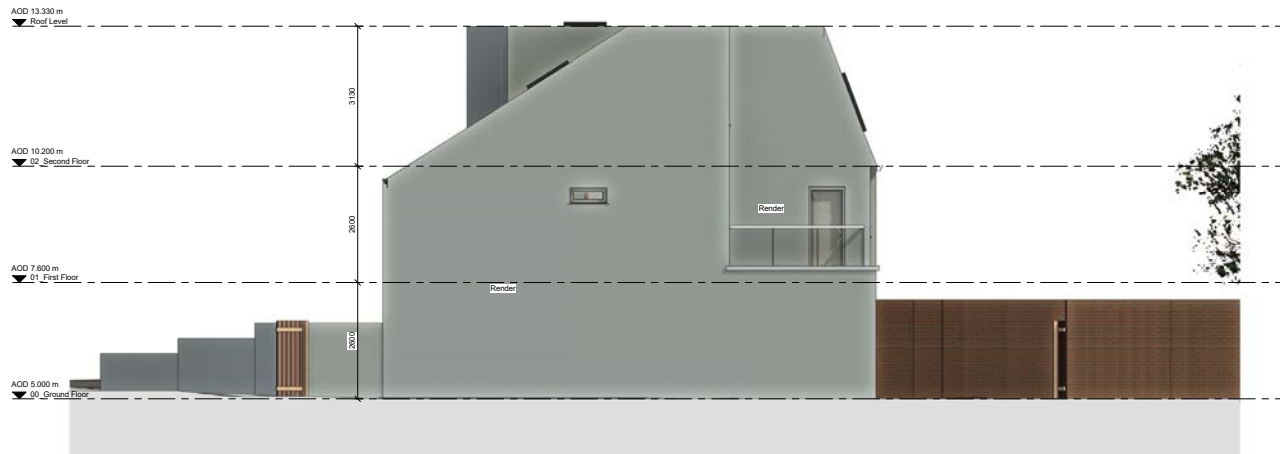
Proposed East Elevation



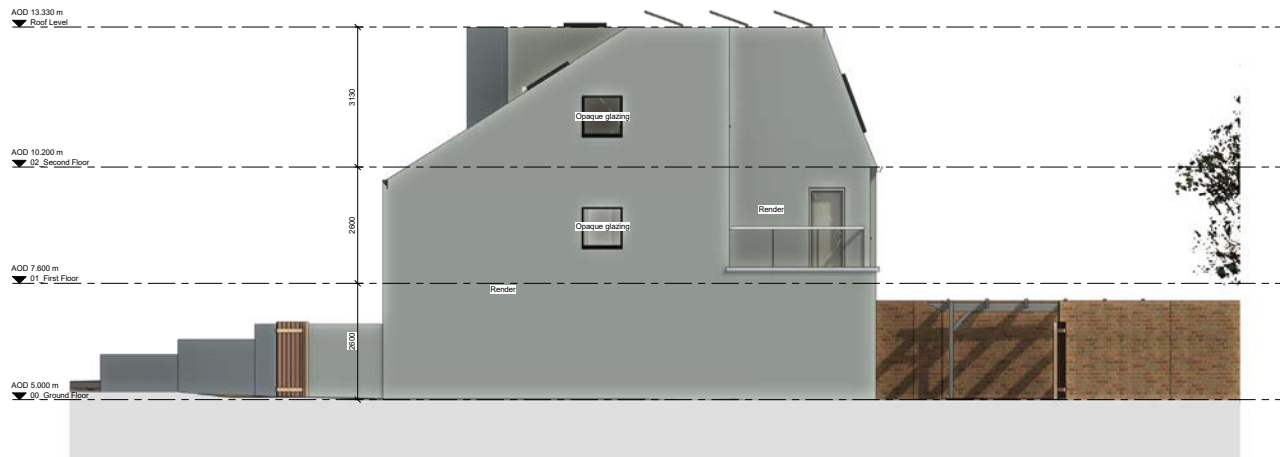
Existing South Elevation



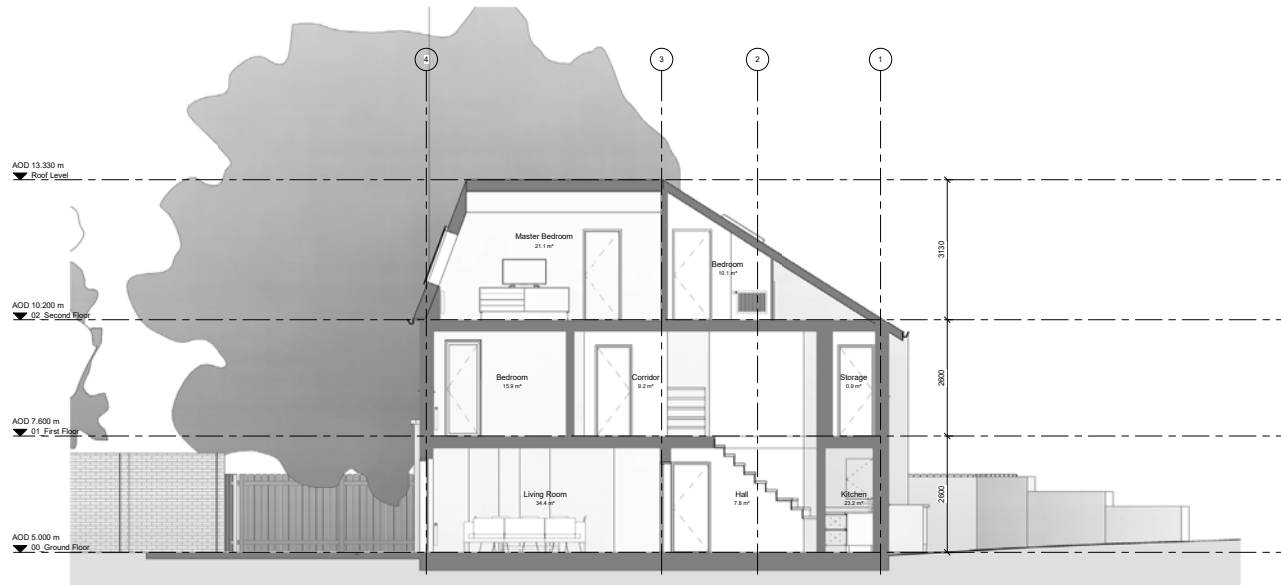
Proposed South Elevation



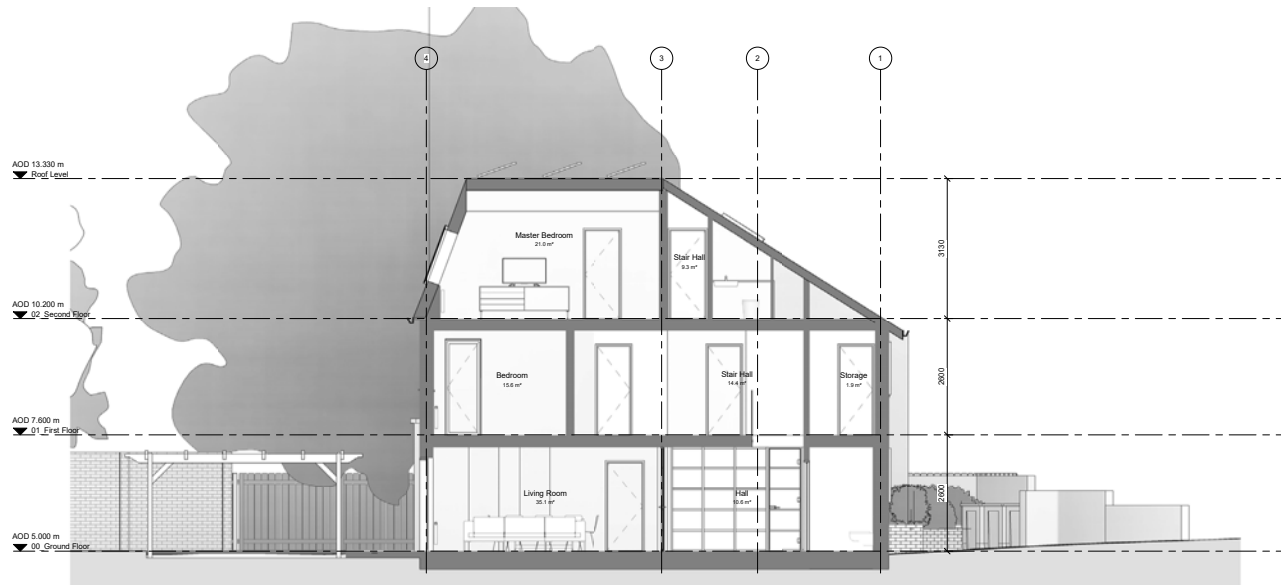
Existing West Elevation



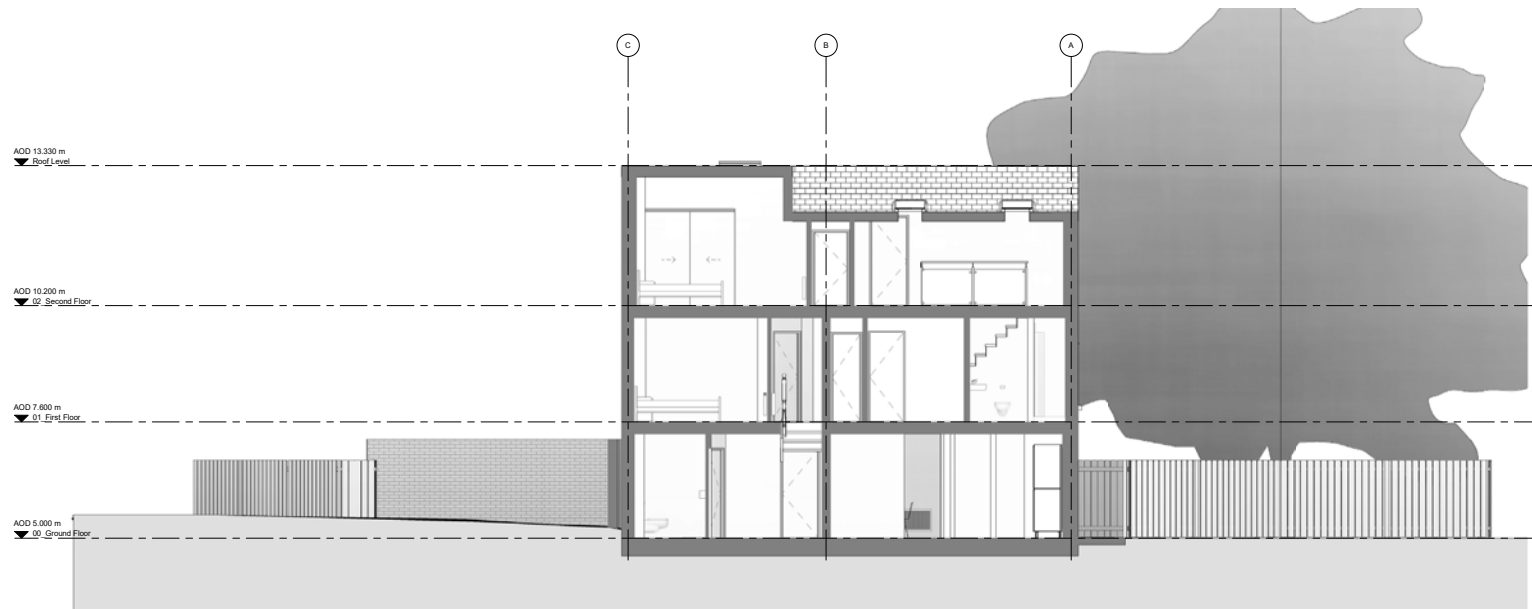
Proposed West Elevation



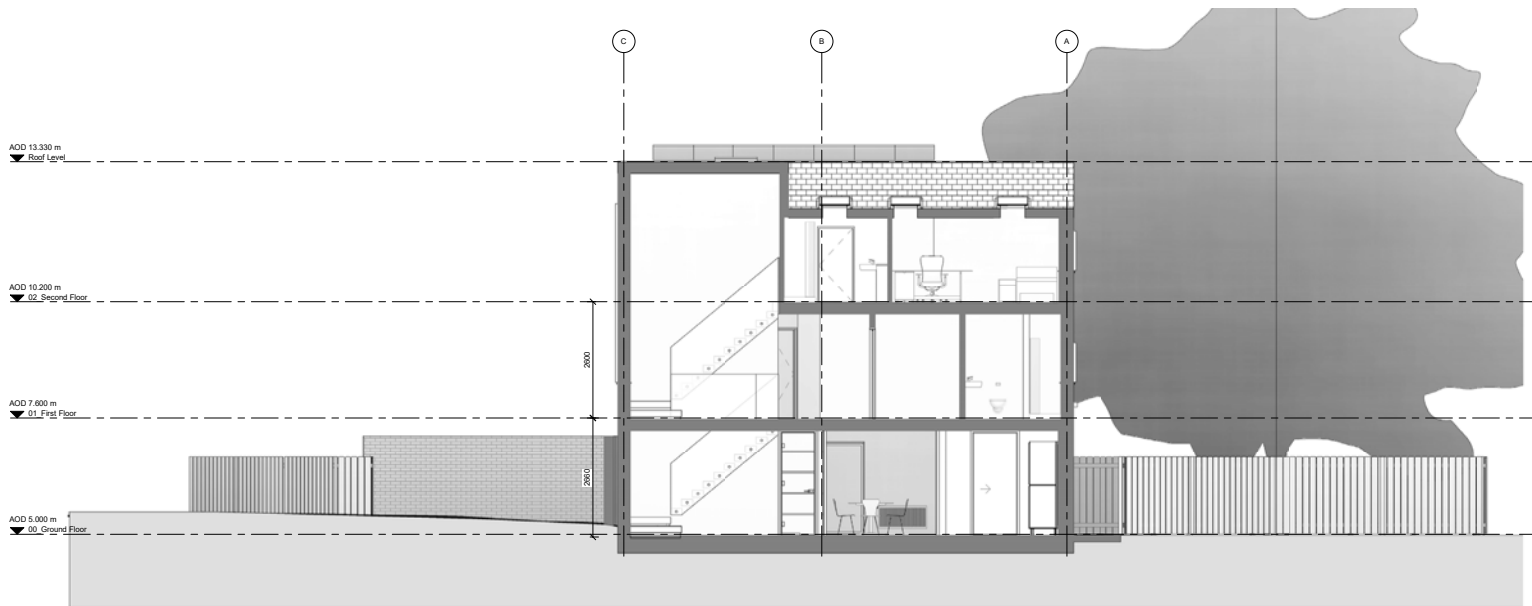
Existing Section A-A



Proposed Section A-A



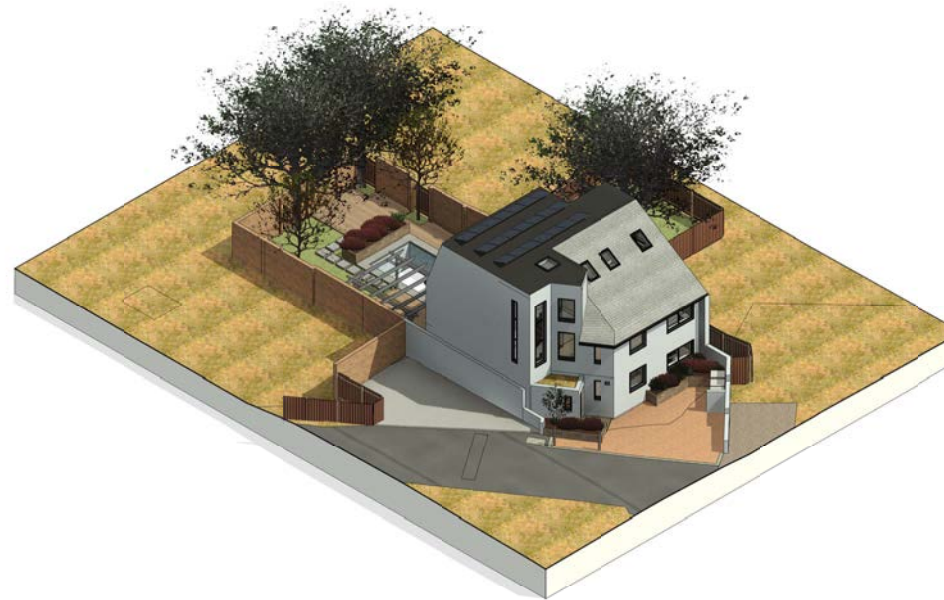
Existing Section B-B



Proposed Section B-B



Existing 3D Axo



Proposed 3D Axo

4.0 Conservation Area Statement

The proposed modification to the front facade has been strategically composed to ensure that it creates a single unified volume while maintaining a scale and materiality consistent with the front elevation. It adheres to the original height of the approved scheme, thereby preserving the visual integrity of the conservation area as viewed from public spaces. The inclusion of new solar panels in the flat part of the roof will have a minimal impact on the street-level view.

Due to the rotated position of the house, the new east window will have no impact on the surrounding gardens, and the impact on the surrounding gardens will be minimal, while the east frosted window will block any overlooking of number 28, which, in any case, has a closed facade.

The design of the proposed porch extension includes the addition of a wild green roof, displaying sensitivity toward both the conservation area and the local wildlife. Furthermore, the replacement of deteriorated elements in the front elevation, along with redesigned landscaped areas, will maintain the subservient nature of these additions in relation to the main building.

These modifications will subtly enhance the overall richness and variation of the existing architectural landscape, thereby sustaining the existing harmonious aesthetic in the conservation area.

5.0 Impact on Neighbours

Impact on Neighbours:

- The proposed works will have no significant negative impact on the neighbouring amenity.
- The proposed windows in the east elevation are designed as narrow strips that direct the views toward the street, while the new windows on the west have the both windows proposed as opaque glass and the upper window with restricted opening, facing a blank facade on number 30. As a result, the proposed application does not worsen the window-to-garden overlooking situation
- The size and placement of the new solar panels on the flat part of the roof will ensure that they are hidden from street view
- The modifications to the front landscaping are intended to enrich the area by introducing additional green spaces, while the new bollard will ensure a more careful driving in the unadopted road

6.0 Conclusion

In conclusion, the proposed works represent a meticulous and considerate response to the distinctive characteristics of the site and its area setting. The design takes into account the historical and architectural context, aiming to harmonize with the surrounding environment while introducing enhancements. This involves addressing the unappealing front facade design, with a new attractive and functional design.

By substantially greening the application site, the proposed works will contribute to the preservation and enhancement of the natural elements within the conservation area. The inclusion of green spaces and redesigned front and back gardens will not only enhance the visual appeal but also provide ecological benefits, fostering biodiversity and promoting a sustainable environment.

The introduction of the new feature stairs had been thoughtfully crafted to maintain a clear hierarchy, ensuring that it remains subservient to the main building. This approach showcases a sophisticated design sensibility that respects the existing architectural features while adding a touch of modernity and functionality and works seamlessly with the redesigned front elevation.

Moreover, the alterations on the front will result in the creation of an attractive, monolithic, and elegant volume. The chosen design elements and materials for this transformation will not only enhance the aesthetic appeal but also create a sense of architectural harmony, elevating the overall visual impact of the dwelling.

With the planned alterations, the rear garden and ground floor layout of the property will undergo a remarkable transformation, becoming an alluring and captivating space that accentuates the use of natural light and open space in a harmonious and cohesive overall appearance that elevates the property's curb appeal and contributes to the architectural fabric of Heathway.



Interior view towards back garden



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