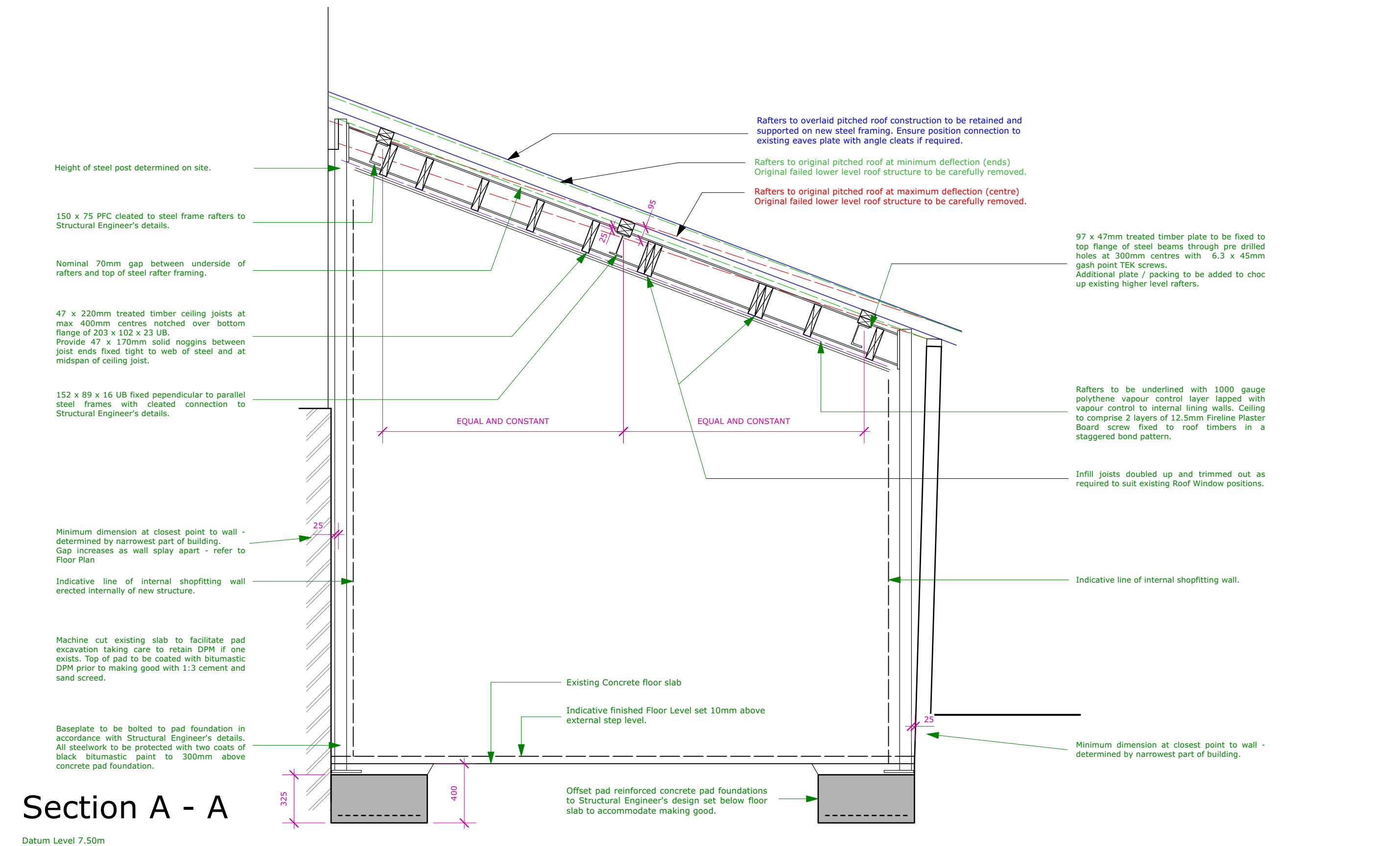


Proposed Ground Floor Plan

Schedule of Works	
1	<p>New partitions to comprise Ex 50 x 100 regularised treated timber studwork comprising studs and maximum 400mm centres fixed between sole and headplates with additional noggins at max. 1200mm centres.</p> <p>Soleplate to have minimum 150mm Hyload DPC fixed to underside and secured to concrete floor with 8mm Ø x 120mm long sleeved anchor fixings at maximum 800mm centres. Head plate to be screwed into underside of existing beam and floor joist as appropriate.</p> <p>Form new doorway to suit 838mm wide x 1981mm door with double studs to both sides. Stud corner post to provide support to existing floor joist/beam to Structural Engineer's details.</p> <p>All voids between studs to be insulated with 75mm thick mineral fibre batts carefully cut to friction fit between all timbers. Studwork to be lined both sides with 12.5mm plasterboard screwed to framing at maximum 200mm centres and finished with a skim plaster coat.</p>
2	<p>Excavate new concrete strip footing on centre line of vertically aligned timber frame wall to match depth of existing pad foundation and to a practical width, minimum 300mm. Existing soleplate to be inspected for decay and retained where possible or replaced in matching section of treated timber softwood plate as required. If in reasonably sound condition a second soleplate may be added to the underside. New 150mm Hyload DPC fixed to underside of soleplate.</p> <p>Rebuild plinth brickwork in 215mm selected facing brick laid Flemish Bond in a 1:1:6 cement, lime and sand mortar. Brick work to be raised to nominally 25mm below underside of soleplate and gap between pinned up with mortar and slate slips. Temporary supports to floor above to be retained in situ for min. 48 hrs before removal.</p> <p>All existing lath and plaster finishes to be retained in situ and protected with new independent shop fitting lining wall</p>



Section A - A

Contractor is responsible for all setting out and must check dimensions on site before work is put in hand.

Written dimensions only to be taken, this drawing must not be scaled.

JAP Architects to be immediately notified of suspected omissions or discrepancies.

Revisions	
A	Drawing updated to accommodate Client and Structural Engineer comments. 29.09.22

Revisions	

J.A.P. Architects

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J.A.P. Architects

Project	Works to existing Shop and Dwelling at 3 High Street, Clare for Mr & Mrs Harris		
Title	WORKING DRAWING : GROUND FLOOR PLAN & REAR LEAN-TO SECTION		
Scale	1 : 25, 50 @ A1 page size	Date	Sept 2022
Drawing No.	21029-05	Revision	A