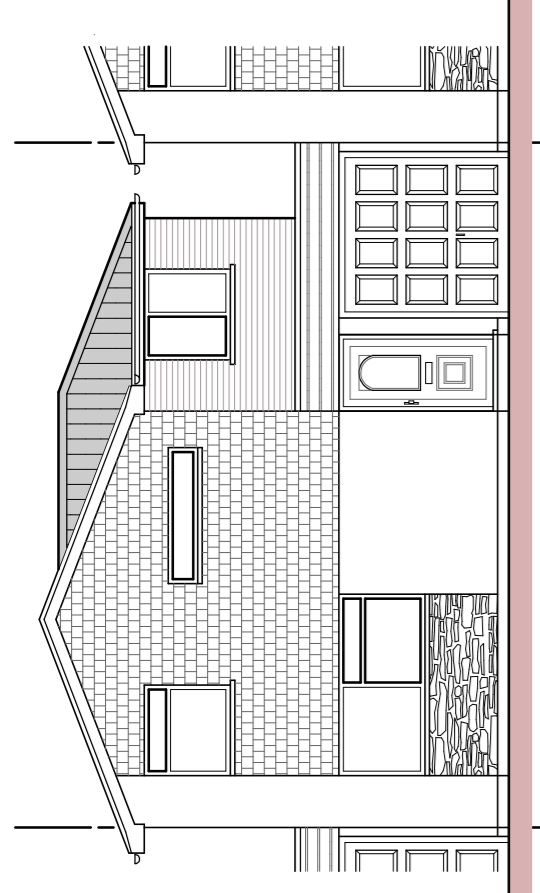
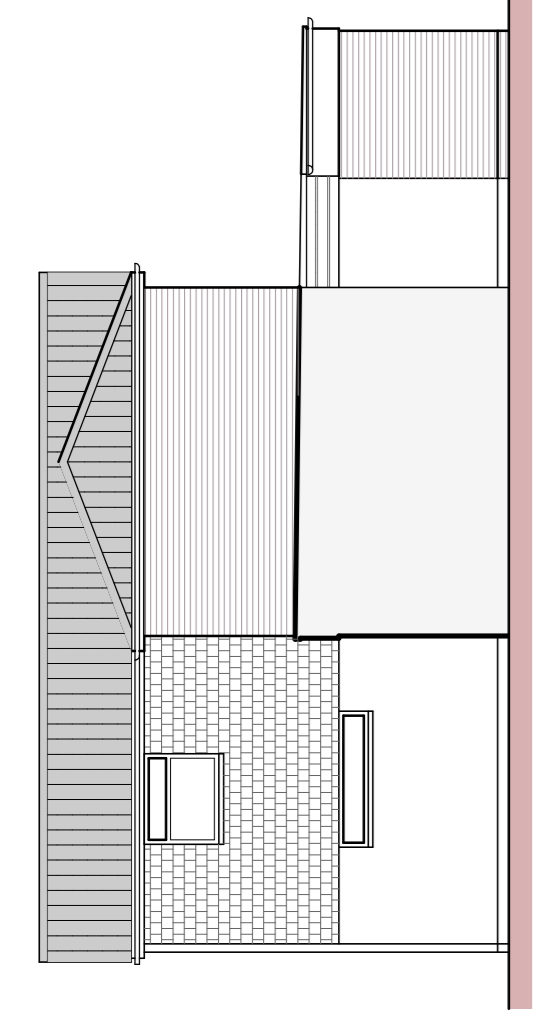


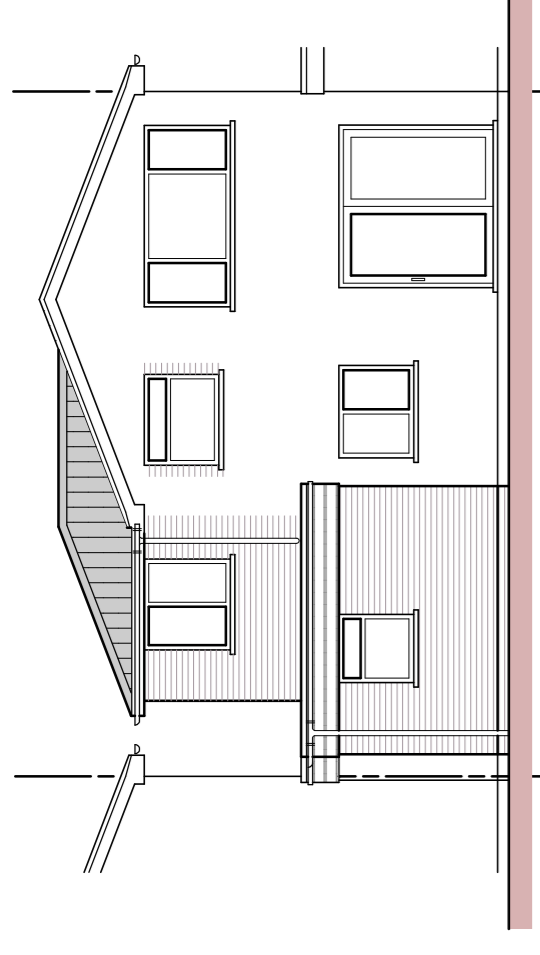
Side Elevation



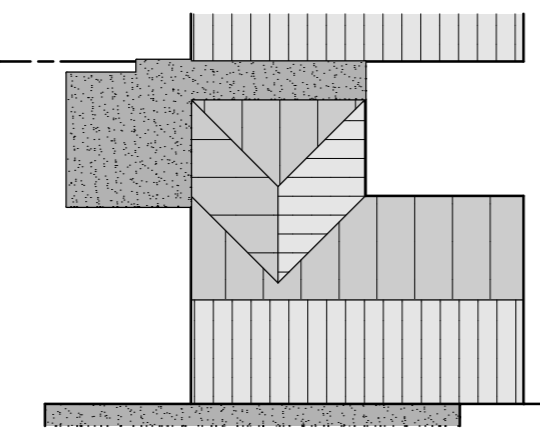
Front Elevation



Side Elevation



Rear Elevation



Proposed Roof Plan  
1 : 200

THESE DRAWINGS ARE FOR THE PURPOSES OF OBTAINING LOCAL AUTHORITY CONSENTS FOR ANY CONSTRUCTION OF THE BUILDING. THESE PLANS WERE PREPARED ON THE BASIS OF A NON-INTRUSIVE SURVEY - SHOULD ANY HIDDEN BEAMS BE FOUND OR THE DIRECTION OF ANY JOISTS, ETC BE DIFFERENT TO THE PLANS, THE DESIGNER SHOULD BE NOTIFIED.

BUILDER TO ENSURE ALL WORK TO ACCORDS WITH THE ACCREDITED CONSTRUCTION DETAILS FOR PART L OF THE BUILDING REGULATIONS.

THE BUILDER MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO ORDERING ANY FACTORY MADE UNITS, TRUSSES OR STAIRS.

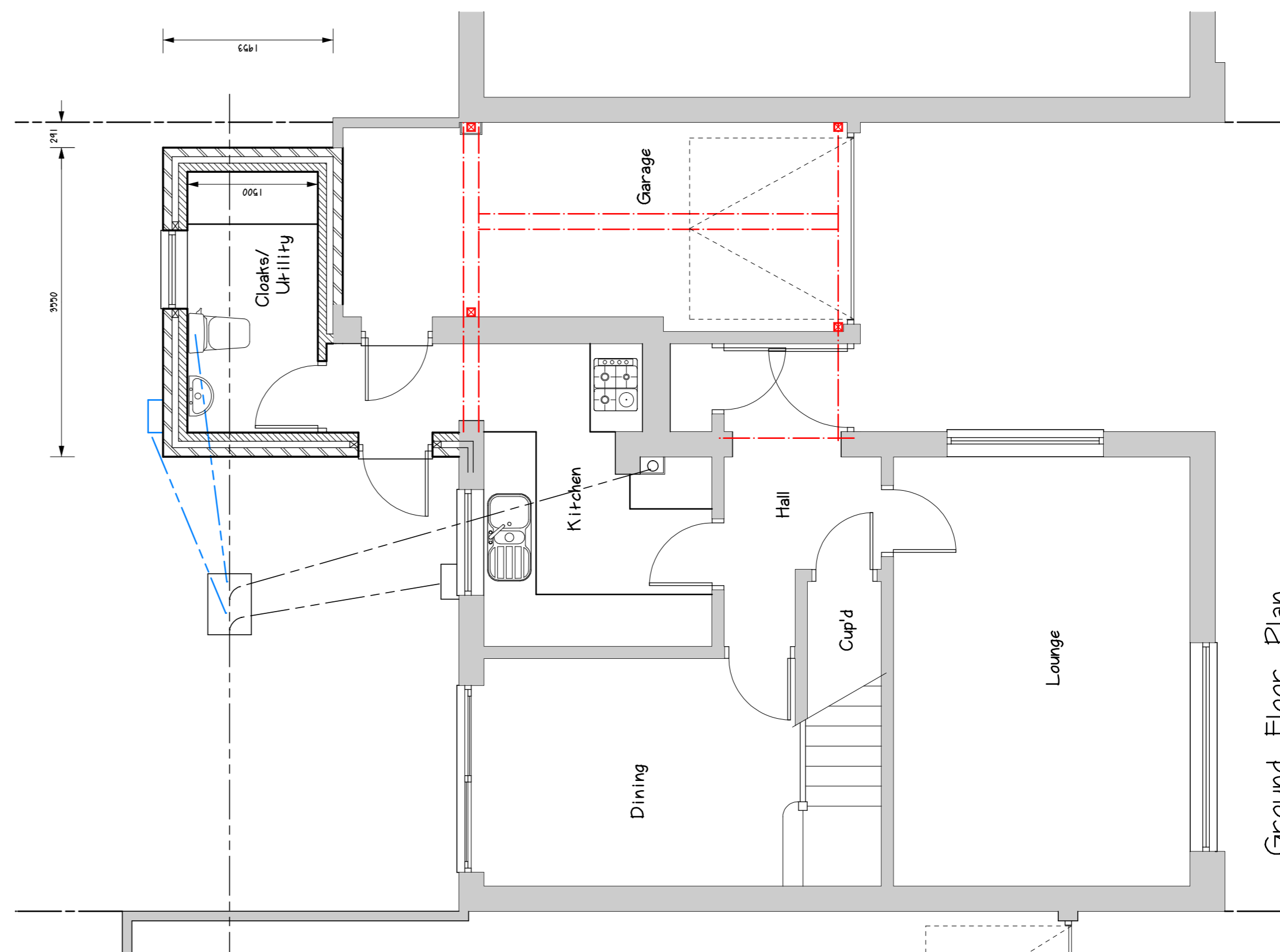
WHERE MARRYING WITH EXISTING ROOF, PITCHABLE OF NEW ROOF IS TO MATCH EXISTING, WHICH IS TO BE CHECKED ON SITE AND NOT SCALED FROM PLAN.

THE BUILDER MUST ALSO CHECK ON SITE FOR ALL OVERFLOW PIPES, MANS PIPES, ETC. WHICH ARE NOT SHOWN IN THE SPECIFICATION WHICH WOULD IMPACT ON THE PROPOSED CONSTRUCTION.

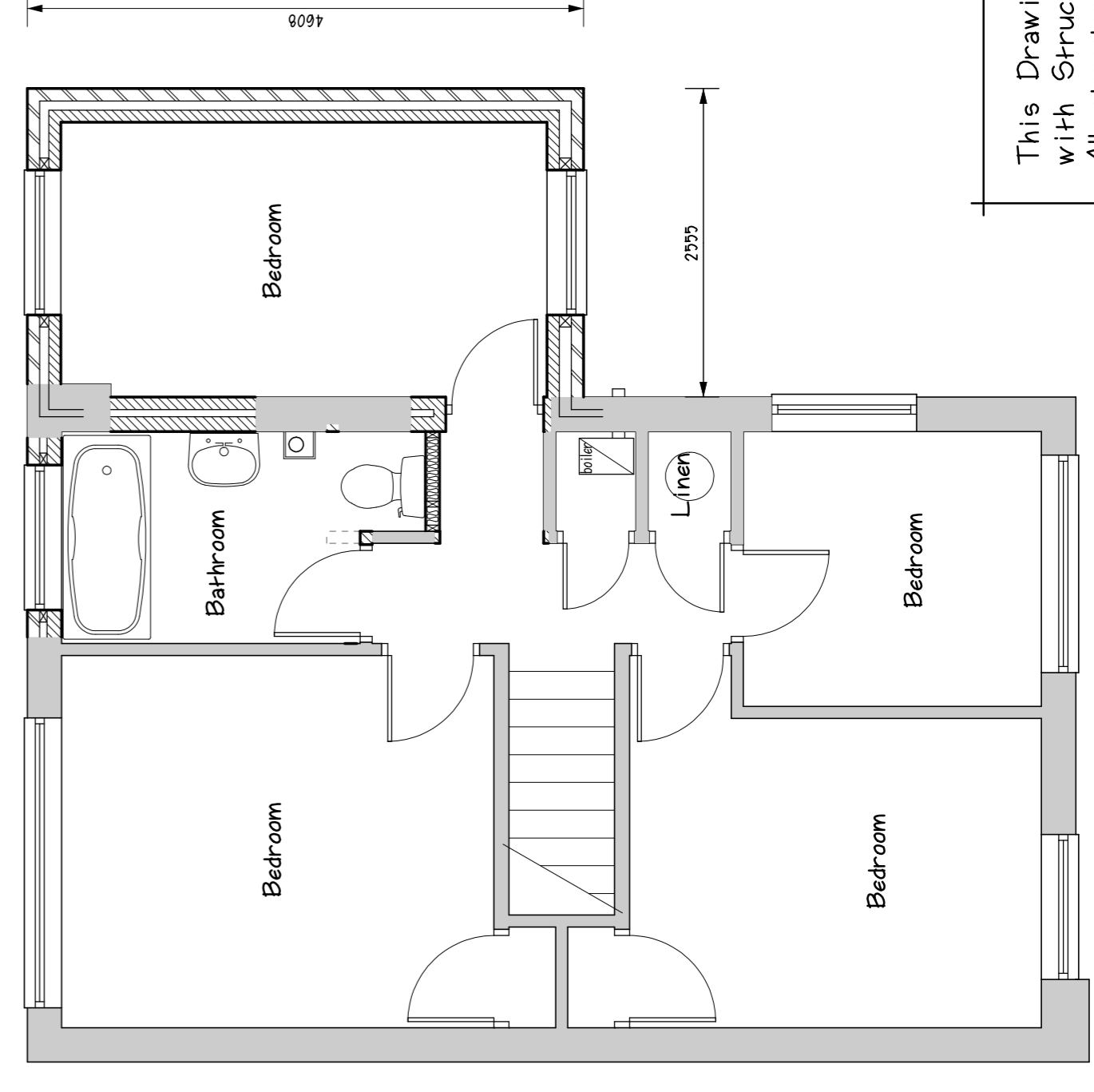
THE OWNER/CUSTOMER MUST, PRIOR TO COMMENCEMENT OF WORK, ENSURE ALL COSMETIC DESIGN FEATURES, ELECTRICS AND HEATING REQUIREMENTS ARE AGREED WITH HIS CHOSEN CONTRACTOR.

THIS PROJECT INVOLVES WORK WHICH IS GOVERNED BY THE PARTY WALL ACT 1996, AS SUCH THE OWNER IS ADVISED TO SERVE THE REGULATE NOTICE ON THE ADJOINING NEIGHBOUR AND EMPLOY THE SERVICES OF A PARTY WALL SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY OPERATIONS ON SITE.

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Ground Floor Plan  
1 : 50



First Floor Plan  
1 : 50

**VENTILATION.**  
All rooms to have min. 1/20th floor area of the room in ventilation openings. For windows frames with 6000mm in clear height, the ventilation area shall be 1000mm<sup>2</sup>.  
Upright & Bathroom to be fitted with mechanical extract fans capable of extracting 30 l/sec to Upright & 15 l/sec to bathroom.  
All doors to have 10mm air gap at bottom.

All external glazing to doors and windows to be double-glazed with 16mm air gap between panes of glass and be toughened safety glass.  
Windows to have a maximum U-value of 1.6 W/m<sup>2</sup>K and doors a maximum U-value of 1.8 W/m<sup>2</sup>K.  
Doors and window frames to be set back to overlap insulated cavity closer by a minimum of 30mm.

Any glazing to internal doors to be toughened safety glass to BS6206 Class B.

**ELECTRICS.**  
All new electric points and lighting to be provided to client's specification.

All wiring and electrical work will be designed, installed, inspected and tested in accordance with BS7671:2018 (IET Wiring Regulations Part P (electrical safety) by a competent person registered with an electrical self-certification scheme authorised by the Secretary of State.

AND  
The competent person is to send to the local authority a self-certification certificate within 30 days of the electrical works completion. The client must retain with a copy of the self-certification certificate and a BS1671 Electrical Installation Test Certificate.

**FIRE PRECAUTIONS.**  
All external doors to be self-closing, windows having a minimum clear opening of 750mm high and 450mm wide. The bottom of the window opening is to be between 800mm and 1100mm above the finished floor level.

Fully linked mains operated smoke alarms with battery back-up to be provided to ground floor hall and first floor Landing areas, all in accordance with BS 5839-6:2004.

**LIGHTING.**  
Under all low energy light fittings capable of taking only lamps of low efficiency, there shall be 45 lumens per circuit watt and a total output greater than 400 lamp lumens.

All downlights to be used in new work to be FLAMEGUARD Fire and Acoustic Rated LED Downlights.

When used with insulation around, downlights to have insulation support box over.

**GROUND FLOOR.**  
82mm sand/cement screed reinforced with chicken wire on 500mm square grid to be laid on 100mm concrete. 100mm concrete to be laid on 120mm sub-base. DPM on 150mm concrete over screed reinforced with B1765 mesh on sand bedding on ground cleared of all vegetable matter.  
22mm long Arcon Stratix RT2 General purpose stainless steel wall ties @ 750mm horiz. & 450mm vert. centres.  
Vapour proofing to be applied to all walls & up to top of existing walls.  
NOTE: For walls exceeding 6,000mm in length movement joints to be inserted into brick and block walls in accordance with NIBC Technical Guidance 6.1/26.

Cavity linings with perforated base & filled with insulation all to meet manufacturer's specifications on new openings.  
175mm mineral wool insulation to be used in all cavities.  
C670/100 lintels over openings upto 2400mm.

Any existing lintels taking additional loads to be exposed for inspection & if necessary, replaced with suitable lintels/beams.

Roofs & 1st floor joists strapped to walls using 30 x 25mm m/s straps @ 1800mm centres to provide linear restraint.

Internal walls to be in 100 x 50mm S.W. studwork infilled with sound blocker quilt SR02 and faced with 100mm sound insulating plasterboard & set coat both sides.

Wall separating house & garage to be in cavity wall construction as above taken up to underside of roof covering & fire-stopped.

**STEELWORK.**  
As per plan & calc, painted with 2 coats red oxide primer & protected with zinc binding @ 100mm strips, 2 layers plasterboard & set coat to give 1/2 hour fire resistance. If not possible to encase steel beams then they are to be coated with intumescent paint to give 1/2 hour fire resistance.

All pairs of beams to be bolted together using 12mm diameter bolts with spacer tubes at 650mm centres.

**HEATING.**  
Provide new radiators adequately sized for rooms to client's specification. All new radiators in property to have thermostatic radiator valves fitted.

Provide new condensing sub-atmospheric gas fired boiler fitted strictly in accordance with the manufacturer's instructions. Boiler to be installed and registered with the Gas Safe Registered Competent Persons Scheme. A commissioning certificate is to be provided to the Building Control Body prior to completion of works on site.

Ensure all rooms with open fires or woodburners have 225 x 225mm ducts sized to extract air to provide permanent ventilation. All ductwork to be installed in accordance with the manufacturer's instructions. If room with open fire/woodburner is open to room with extract fan (ie kitchen) then a spillage test is to be carried out and verified by a qualified HETAS engineer to ascertain required area of combustion air to maintain safe use of fire.

**WALLS.**  
120mm facing bricks, to match existing.  
The party wall with existing Gable Slab 32" insulation to be replaced with specific insulation.  
100mm Thermalite Turbo blocks with 12mm plasterboard on abs OR 100mm Thomas Armering Airtec XL blocks plastered internally.  
22mm long Arcon Stratix RT2 General purpose stainless steel wall ties @ 750mm horiz. & 450mm vert. centres.  
Vapour proofing to be applied to all walls & up to top of existing walls.  
NOTE: For walls exceeding 6,000mm in length movement joints to be inserted into brick and block walls in accordance with NIBC Technical Guidance 6.1/26.

Cavity linings with perforated base & filled with insulation all to meet manufacturer's specifications on new openings.  
175mm mineral wool insulation to be used in all cavities.  
C670/100 lintels over openings upto 2400mm.

Any existing lintels taking additional loads to be exposed for inspection & if necessary, replaced with suitable lintels/beams.

Roofs & 1st floor joists strapped to walls using 30 x 25mm m/s straps @ 1800mm centres to provide linear restraint.

Internal walls to be in 100 x 50mm S.W. studwork infilled with sound blocker quilt SR02 and faced with 100mm sound insulating plasterboard & set coat both sides.

Wall separating house & garage to be in cavity wall construction as above taken up to underside of roof covering & fire-stopped.

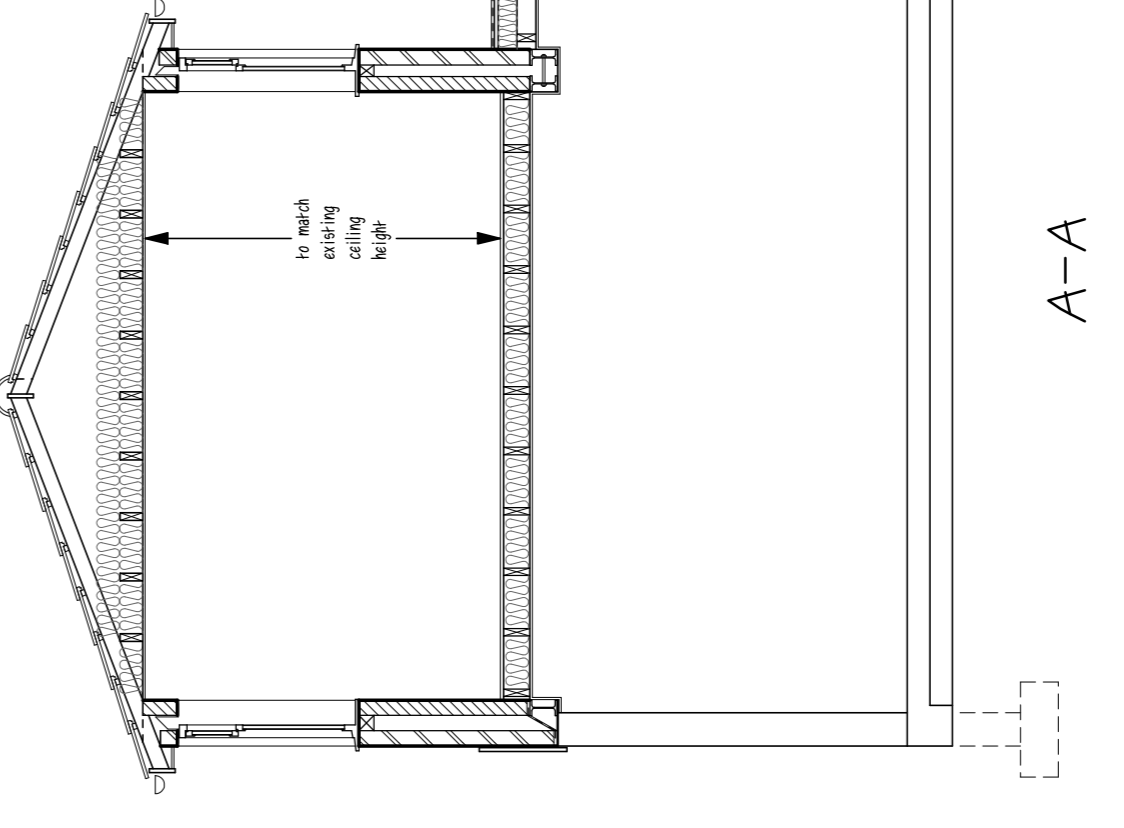
**FOUNDATIONS.**  
600mm wide x 250mm deep concrete strip foundations to cavity walls. Concrete to be BS411/512 grade to BS2020-2.

Depth of foundations to be to suitable load-bearing strata to suit sub-soil conditions so as not to be affected by any tree roots or their removal, and to pass below any adjacent drain coverings and manholes. Foundations to be designed in accordance with BS8103-1:2011 and NIBC Technical Standards 4.2 and 4.4.

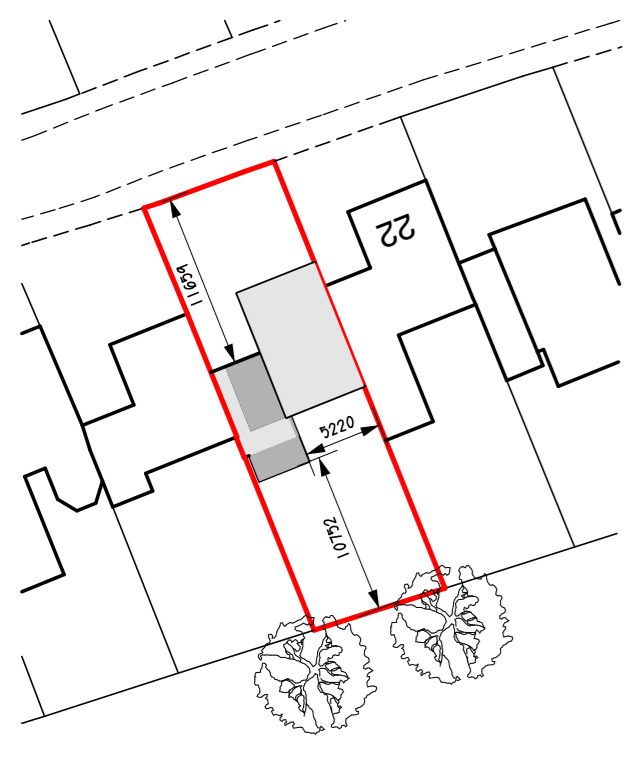
All existing foundations taking increased loadings to be exposed for inspection by Local Authority Building Inspector & if necessary, underpinned to a suitable load-bearing strata.

**ROOFING.**  
115mm HR extruder gashers, 69mm dia. downpipes, connecting via new 100mm dia. 105MM UPVC drain laid & bedded on par-slope to new soakaway min. 5,000mm from buildings. Any existing soakaway found within 5,000mm of new extension to be moved to 5,000mm away. Soakaway to be designed in accordance with BRE Digest 365 and sizes determined by percolation test on site.

ALL ROOF TIMBERS TO BE MIN. C24 GRADE AND TANKED.



Section A-A



Proposed Site Plan  
1 : 500

**Milburns Designs**

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Email : milburndesigns@btinternet.com

CLIENT  
Mr & Mrs B Funnell

SCALE  
1:50 1:100

DRAWING NO.  
20/21 / 093 / 2

REV  
D

CONTRACT  
Proposed Extension at  
20 Ravenstone Road  
Camberley  
GU15 1SN

DRAWINGS  
**IMPLEMENTED PLANNING PLANS**

Sheet size A1

Scale Bar 1:50  
0 1m 2m 3m

Scale Bar 1:100  
0 2m 4m 6m

Scale Bar 1:500  
0 10m 20m 30m

Scale Bar 1:1250  
0 25m 50m

Column against party wall detail

This Drawing to be read in conjunction with Structural Engineers drawing. All structural elements to accord to Engineers design and calculations.