

**CLASS B: ROOF WORKS**  
REAR EXTENSION ROOF DETACHED FROM EXISTING ROOF. DOES NOT CONSTITUTE TO INCREASE IN ROOF VOLUME.

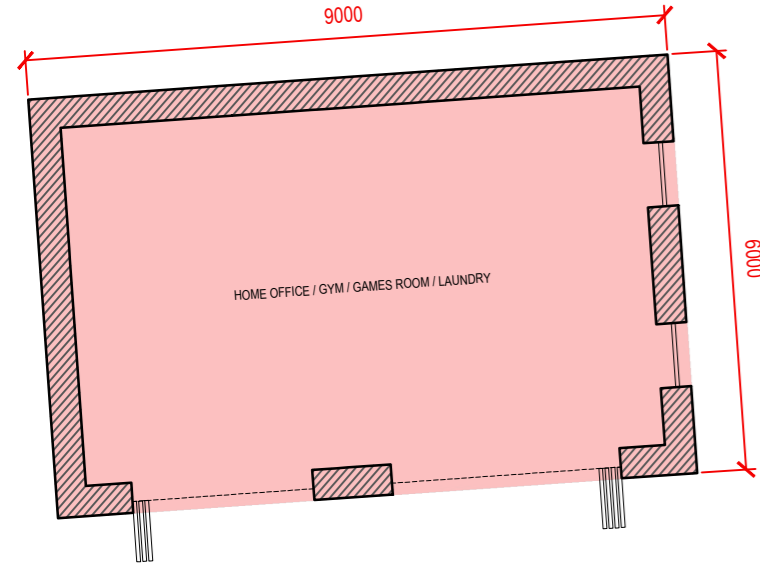
**CLASS B: ROOF WORKS**  
NOTE: ALL ROOF LIGHTS ARE LOCATED ABOVE 1.7m ABOVE FFL AND ARE THEREFORE NOT REQUIRED TO BE OBSCURED OR FIXED.

**CLASS B: ROOF WORKS**  
FLAT ROOF DORMER - DOES NOT EXCEED HEIGHT OF RIDGE. MAX VOLUME (INCL. ROOF CONVERSION) 50CU.M

**CLASS B: ROOF WORKS**  
REAR EXTENSION ROOF DETACHED FROM EXISTING ROOF. DOES NOT CONSTITUTE TO INCREASE IN ROOF VOLUME.

**CLASS B: ROOF WORKS**  
REAR EXTENSION ROOF STEPPED DOWN & DETACHED FROM EXISTING ROOF. DOES NOT CONSTITUTE TO INCREASE IN ROOF VOLUME.

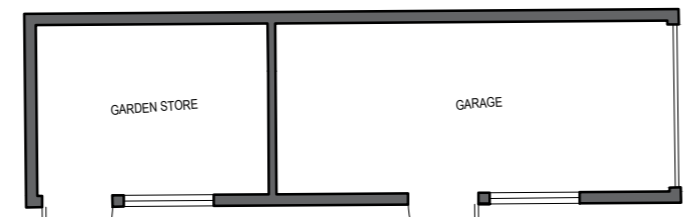
**Proposed First Floor Plan**  
Scale 1 : 100



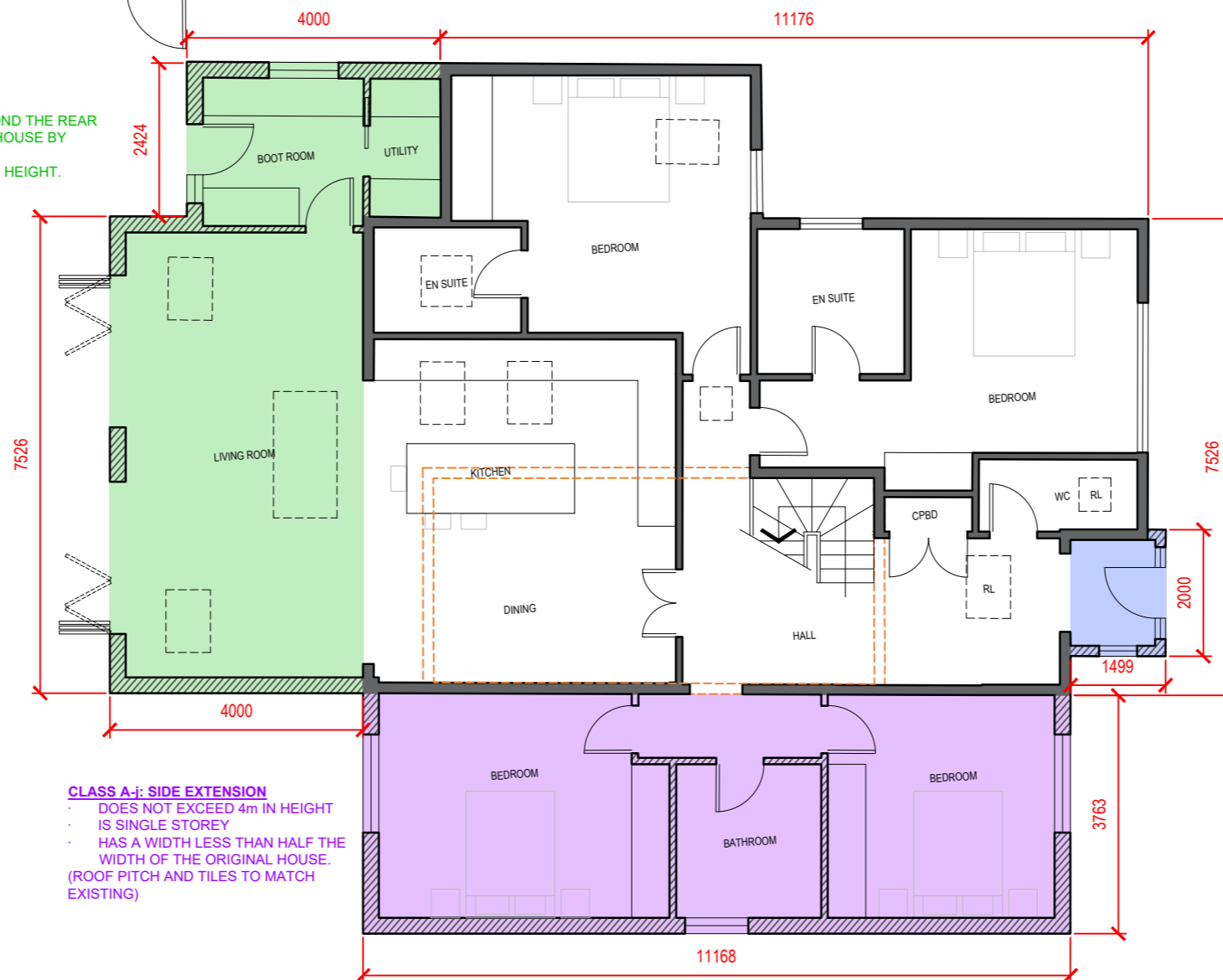
**CLASS E: BUILDINGS**

- E1
- (b) the total area of ground covered by buildings, enclosures and containers within the curtilage (other than the original dwellinghouse) would exceed 50% of the total area of the curtilage (excluding the ground area of the original dwellinghouse)
  - (c) any part of the building, enclosure, pool or container would be situated on land forward of a wall forming the principal elevation of the original dwellinghouse
  - (d) the building would have more than a single storey
  - (e) THE HEIGHT OF THE BUILDING, ENCLOSURE OR CONTAINER WOULD EXCEED -
  - (i) 4 METRES IN THE CASE OF A BUILDING WITH A DUAL-PITCHED ROOF,
  - (ii) 2.5 METRES IN THE CASE OF A BUILDING, ENCLOSURE OR CONTAINER WITHIN 2 METRES OF THE BOUNDARY OF THE CURTLAGE OF THE DWELLINGHOUSE, OR
  - (iii) 3 METRES IN ANY OTHER CASE
  - (f) the height of the eaves of the building would exceed 2.5 metres

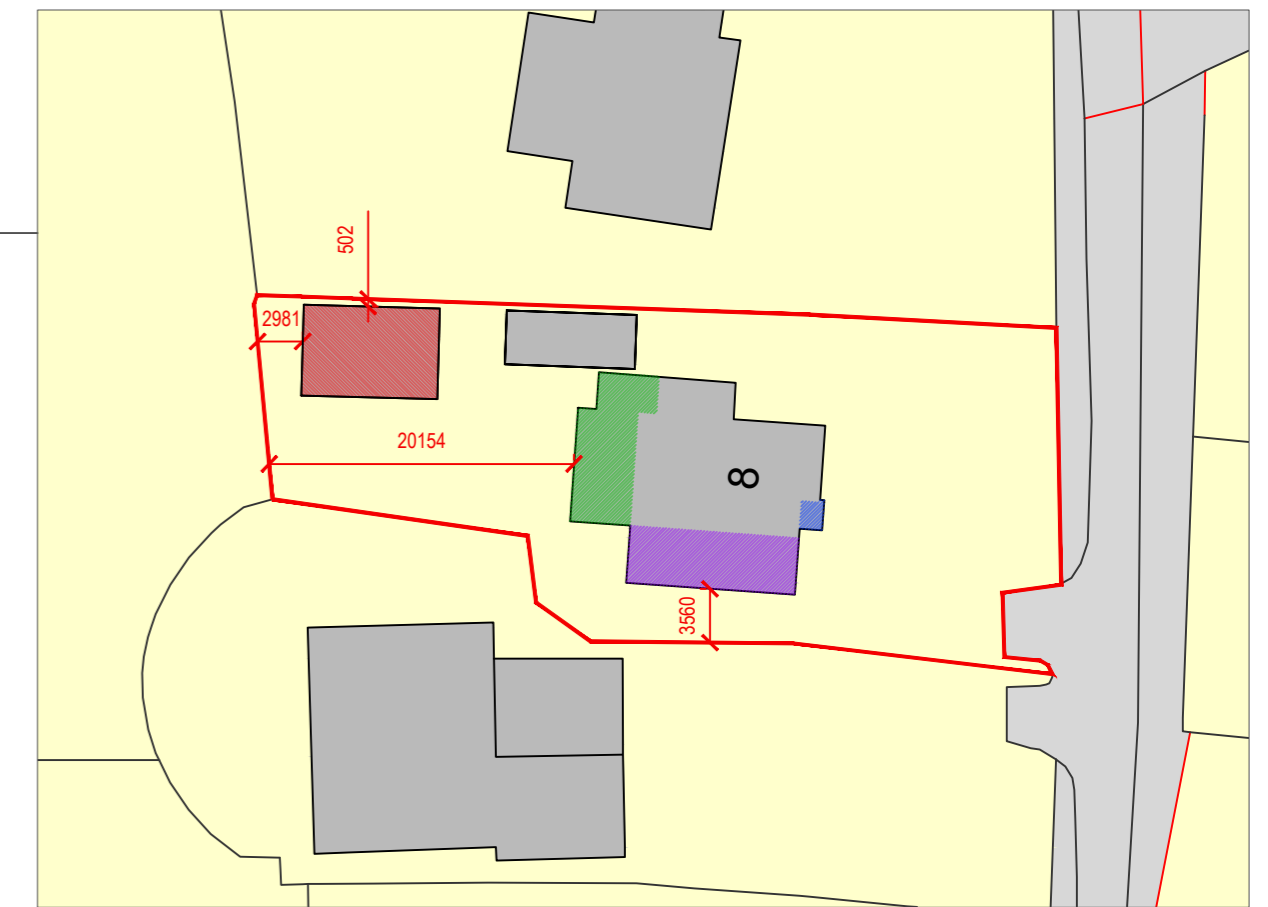
**Proposed Ground Floor Plan**  
Scale 1 : 100



**CLASS A-f: REAR EXTENSION**  
DOES NOT EXTEND BEYOND THE REAR WALL OF THE ORIGINAL HOUSE BY MORE THAN 4m.  
DOES NOT EXCEED 4m IN HEIGHT.



**CLASS A-i: SIDE EXTENSION**  
DOES NOT EXCEED 4m IN HEIGHT  
IS SINGLE STOREY  
HAS A WIDTH LESS THAN HALF THE WIDTH OF THE ORIGINAL HOUSE.  
(ROOF PITCH AND TILES TO MATCH EXISTING)



**Proposed Block Plan**  
Scale 1 : 500

**CLASS D: PORCH**  
GROUND AREA (MEASURED EXTERNALLY) DOES NOT EXCEED 3SQM.  
NO PART OF THE STRUCTURE EXCEEDS 3m ABOVE GROUND LEVEL.  
NOT WITHIN 2m OF THE BOUNDARY.  
(FINISHED IN TIMBER BOARDING WITH TILED ROOF ALL TO MATCH EXISTING)

**Harris McCormack ARCHITECTS**

Project  
**8 Reves Lane Wing Oakham**

Drawing title  
**Proposed Plans**

Project No. **23-1256** Drawing No. **002** Revision **D**  
Scale: **1:VRS @A2**

**HA** 01780 433 334  
architects@harrismccormack.co.uk  
ArchHaus, Peterborough Road, Wansford, PE8 6JN