

Heritage, Design & Access Statement

Proposals for Demolition, Extension and External Alterations at:
2 Church Lane, Cliftonwood, Bristol, BS8 4TX

Project Ref. H024 – January 2023



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Prepared on behalf of:

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01 Introduction

1.1 Overview

This Statement supports a Householder Planning application with proposals to demolish, extend and alter no. 2 Church Lane, a self-contained end of terrace residential dwelling.

The statement should be read in conjunction with the following:

- Application form and ownership certificate;
- Site location plan;
- CIL Form 1 – Additional Information;
- Existing plans and elevations; and
- Proposed plans and elevations.

The application has the following description of development: Demolition of existing rear extensions and outbuilding, and construction of a replacement two storey rear extension. Alterations to the front and side elevations.

The statement provides information on the building's background and historic development. It then assesses its relative importance within the context of the conservation area, describes the proposals and then provides an overview assessment. It is intended to address paragraph 189 of the National Planning Policy Framework which requires applicants:

"... to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance".

1.2 Location

The site is located approximately 1km west of Bristol city centre within the Cliftonwood residential neighbourhood (figure 1). It is centred on Ordnance Survey National Grid Reference ST 57506 72534.

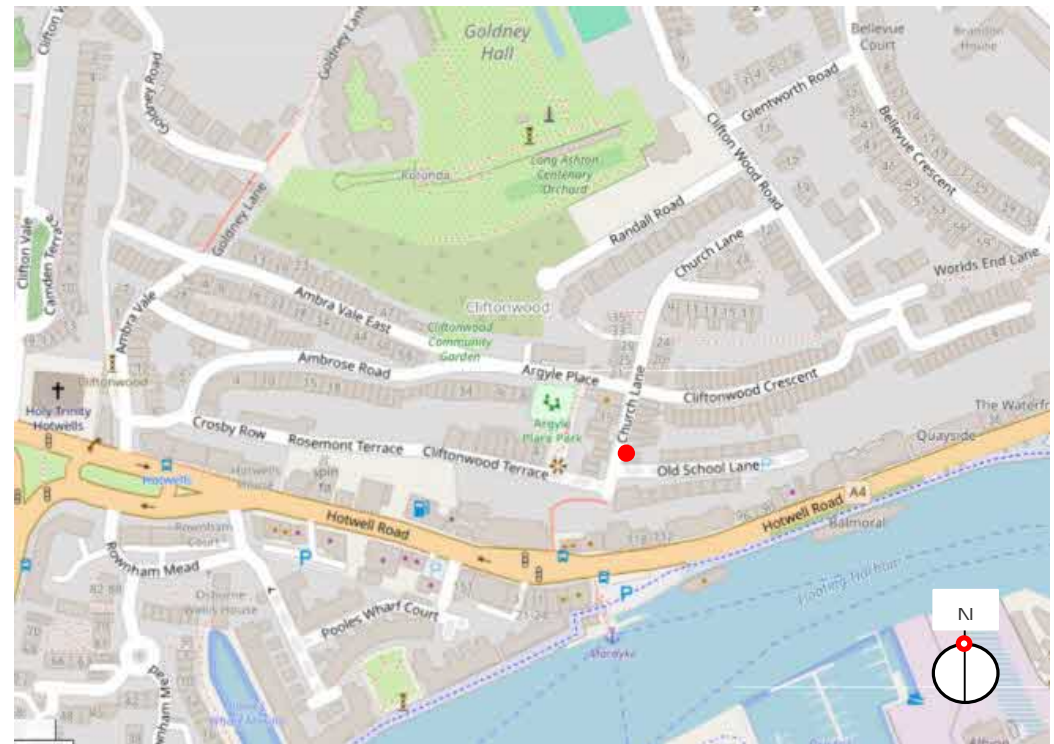


Figure 1. The location in Church Lane.

02

The Site & Context

2.1 2 Church Lane

No. 2 Church Lane is an extended 2-storey Victorian townhouse that dates from the latter half of the 19th century. It sits at the southern end of a terrace of similar buildings on the east side of the street, at its bottom end.

The building is faced in painted render that has a ruled-ashlar stone appearance. Parapets hide the tiled pitched roof that has a central valley gutter.

The front elevation contains single ground and first floor windows metal framed single glazed units that are centrally positioned. To the left is the stepped entrance with its modern door, fanlight and brick surround.

The southern side elevation is also rendered and is black. It sits on the site's boundary adjacent to an emergency escape route within the adjoining modern residential development Old School Lane.

The building's rear elevation contains a couple of traditional windows and projecting from one side is a two storey wing with windows in the southern elevation. This has been extended with a single storey addition and small outbuildings.

At the rear is a small area of external space that is stepped due to the hillside location and tapers towards its higher eastern end where there are views over the southern boundary wall towards the Dundry Hills.

Historic mapping shown as figures 2-5 illustrates the evolution of the property over time.

Internally, the ground floor has two reception rooms at within the rear wing a kitchen and bathroom. The first floor has two bedrooms and a second bathroom.

The property is occupied by the applicant but it is in need of major renovation.

The appearance of the front elevation with its modern interventions is at odds with the original appearance of the property and the adjoining houses that have retained their original character.

A series of photos that show the exterior of the property and its immediate context are provided on pages

2.2 Planning Policy Context

In terms of planning policy, the site is located within the defined urban area.

The quality of the local townscape and landscape setting has enduring qualities which produce a strong sense of place. It is these attributes that have evidently merited the area's inclusion within Clifton & Hotwells Conservation Area where the site lies towards the southern edge.

The council's 2008 Conservation Area Character Appraisal and Management Plan identifies it as being within Character Area 7: Clifton Wood Slopes. This area is described as 'a little backwater full of cranky corners and wide vistas. Close packed, rubble and stuccoed terraces hug the contours of the steep slopes above the Harbour.' It is noted as being a '...remarkably homogenous area for architectural style.'

According to the Government's Flood Map for Planning, the site is within Flood Zone 1 where there is a low probability of flooding.

The Coal Authority mapping does not identify the site being within a Development High Risk Area.



Figure 2. Ashmead's Town Plan of 1874 showing the site developed with the existing house.

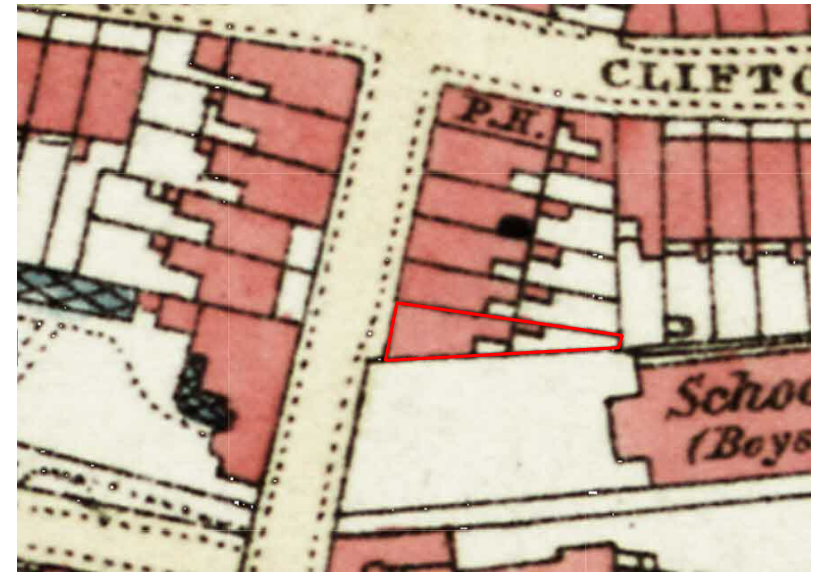


Figure 4. First edition of the Ordnance Survey c. 1884 showing the site.



Figure 3. 1879-1888 Town Plan showing the developed site, the additions to the rear and rear external space.



Figure 5. The current edition of the Ordnance Survey showing the site extended and the modern development on Old School Lane.



Photo 1. View of no. 2 Church Lane on the eastern side of the street towards its lower southern end.



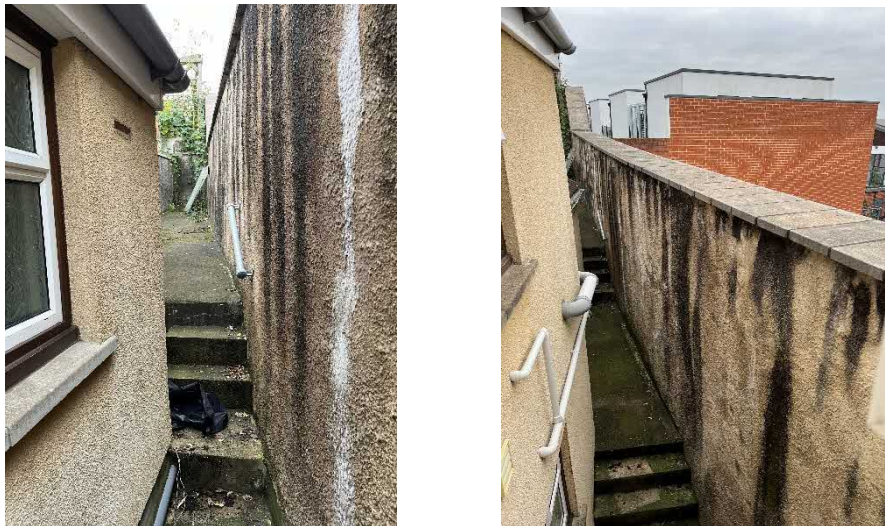
Photo 2. The altered front elevation with its modern windows and door.



Photos 3-5. The altered front elevation and blank side elevation.



Photos 6-9. The rear of the property, shows its two storey window and single storey additions along with the small area of external space. The southern boundary wall is also seen in the images.



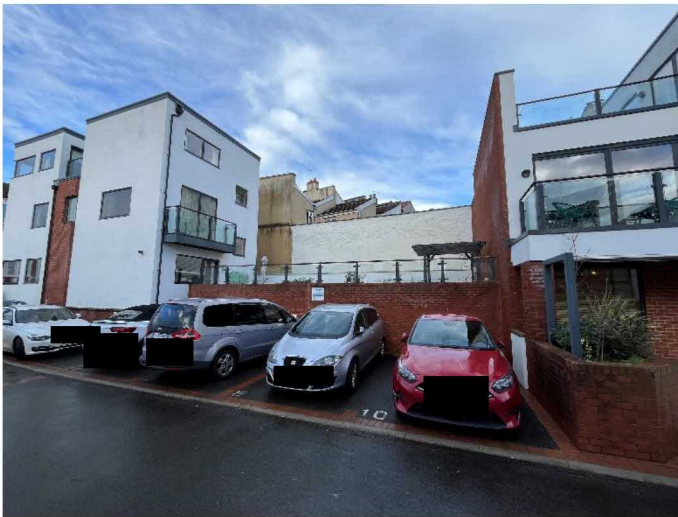
Photos 10-11. The rear of the property and view of terms leading up to the rear space and of the southern boundary wall.



Photo 12. The rear of the property, northern boundary wall shared with no. and view towards the infill extension built at the rear of no. 4 Church Lane (PP ref. 18/04726/H).



Photo 13. View over the southern boundary wall towards No. 1 Old School Lane and other houses within the development.



Photos 14-15. View Old School Lane with the rear of no. 2 Church Lane glimpsed behind its southern boundary wall.

03 The Proposals

3.1 Demolition and Development

The applicant intends to undertake a major renovation of his property to update the accommodation and improve the buildings thermal performance. As part of this, he is applying for permission to demolish the rear wing and extensions, replacing them with a new two storey extension.

The extension will span the width of the property and the revised layout will create a new kitchen/ dining area that will open out in a remodelled rear amenity space.

The extension is designed with a contemporary-modern style and will be clad with handmade brick on its lower half and in slate grey metal sheeting with standing seams above the ground floor. Doors will be composite Velfac timber/metal framed. The roof will be a single ply membrane, colour dark grey.

On the first floor new ensuite bathrooms will be created along with a new master bedroom. This will have a small terrace across the rear elevation. To avoid overlooking of adjacent properties, atop each boundary wall will be timber screens.

The existing floor area (90.5sqm) will be increased to 96sqm. This reflects 18.5 sqm of the existing extensions being demolished and the new build floor area being 24sqm.

A key aspect of the proposal is to restore the original appearance of the front elevation. Along with the elevation being re-rendered and painted in a complimentary colour to the adjoining houses, new timber sash windows and an entrance door will be inserted, all with new stone surrounds. The details will match the adjacent period properties that have retained their original features.

To provide additional natural daylight into the habitable rooms and first floor landing it is proposed to install single, fixed windows within the side elevation.

Computer generated images of the proposed scheme are provided on the following page.



Photo 16. View of the restored front elevation with new painted timber sash windows, door and stone surrounds. The proposed windows on the side elevation can also be glimpsed in the narrow space between the application property and no. 1 Old School Lane.



Photo 17. View over the southern boundary wall showing the proposed contemporary-style extension that shares similarities with the one approved at no. 6 Church Lane.



Photo 18. View of the new rear extension with the lower section clad in handmade bricks and the upper in metal. The balustrade for the first floor balcony is opaque glass.

04 Planning Review

4.1 Overview

In preparing the proposals, the relevant policies within Bristol Development Framework documents have been considered. These collectively advocate that new development should deliver high quality urban design that contributes positively to an area's character and identity, be of a high quality and respect the scale, form, proportions and the overall design and character of the host building. They also seek to ensure that the scale of development is appropriate to its context and to protect living conditions and the amenity of existing neighbours.

These policies are backed by generic guidance set out in SPD2 'A Guide for Designing House Alterations and Extensions' (2005) which has also been followed.

In terms of the front elevation, the proposed alterations and new fenestration will recreate its original appearance. This will represent a significant conservation gain that will enhance the character and appearance of the conservation area.

The side elevation windows will have negligible visual impact and will not result in any harmful amenity impacts.

The modern appearance of the rear extension is of high quality and will introduce design interest. It will appear as a subservient addition and will have a limited visual impact on surrounding properties.

In terms of the potential impact on near neighbours, the careful design, scale and form of the extension, positioning of the doors and screen will ensure there is no resulting harm.

The proposals are consistent with the aims and objective of policies and guidance the council promotes in its Development Framework, but also the National Planning Policy Framework which requires at paragraph 127 that developments, amongst other matters, are sympathetic to local character and establish or maintain a strong sense of place.

The level of detail submitted with the application should be appropriate and proportionate to the importance of the building and proposed works.

Overall, the proposals will enhance the appearance of the building as well as the contribution it makes to the conservation area. On this basis the scheme complies with the conservation test set out under Section 72 of the Planning (Listed Buildings and Conservation Areas Act 1990).

Given the nature of the proposals the applicant hopes the planning officer will look favourably upon the application and following a site visit to confirm the relevant facts, grant planning permission without delay.