



Hapton Hall Farm, Lyndale  
Road, Hapton, Burnley BB11 5RD

# Heritage Statement

Prior Notification for  
Proposed Agricultural  
Unit

Prepared by NE  
Checked by MC

Dec 2023  
v1

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**HERITAGE STATEMENT FOR:**

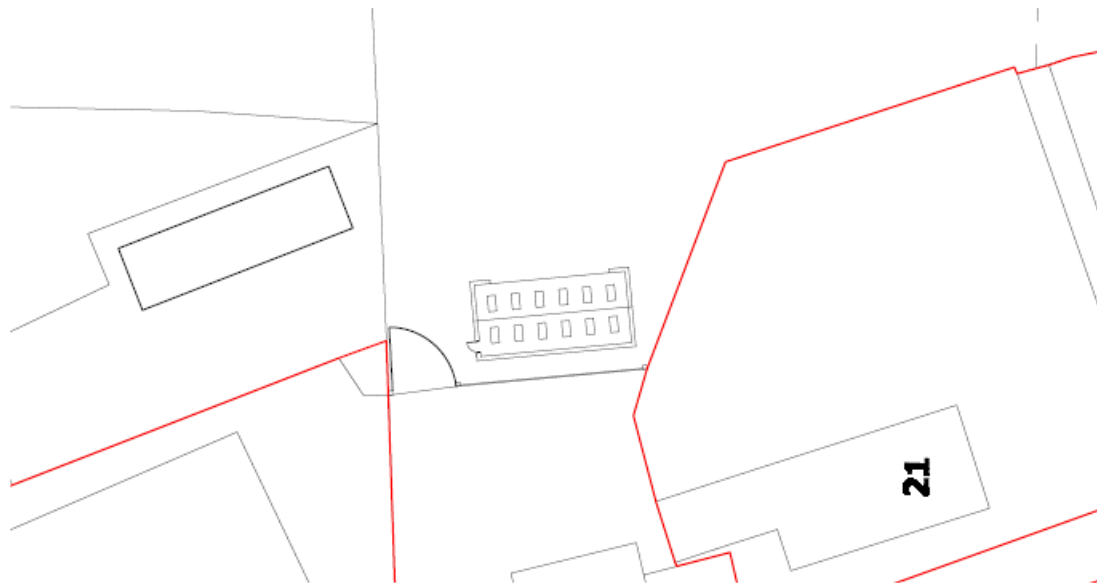
Hapton Hall Farm, Lyndale Road, Hapton, Burnley, BB11 5RD



*Figure 1: Hapton Hall Farmhouse, Nov 2023*

**CONCERNING:**

Agricultural building to be used as storage for farming vehicles and other ancillary equipment.



*Figure 2: Proposed Location, HAD & Co*

## 1. INTRODUCTION

- 1.1 This Heritage Statement will evaluate the Heritage Asset at Hapton Hall Farm and consider the effects of the proposed agricultural unit. It will go through the considerations that have been made regarding the design aspects of the building following the client's brief, local planning policies and how this will affect the heritage significance of the Listed Building.

## 2. HISTORY

- 2.1 Hapton Hall Farmhouse holds a Grade II listing, List Entry Number: 1237623 on Historic England. It was first listed 12<sup>th</sup> February 1985. The official list entry is as per the below, taken from the web address:  
<https://historicengland.org.uk/listing/the-list/list-entry/1237623?section=official-list-entry>, 11<sup>th</sup> December 2023.

### ***“Summary***

*An early C18 farmhouse with later additions and alterations including a cottage.*

### ***Reasons for Designation***

*Hapton Hall Farmhouse, an early C18 building with later additions is listed for the following principal reasons: \* Date: Hapton Hall Farmhouse is a largely intact early C18 farmhouse; \* Degree of survival: the building's early internal layout is clearly legible and remains relatively unchanged.*

### ***History***

*A farmhouse built on the site of an earlier house in 1710 and altered in the mid/late C18. It is possible that the farmhouse originally had a single-storey rear lean-to that was demolished at an unknown date, after which the rear wall of the farmhouse was extended outwards to the footprint of the former lean-to and extended upwards to full height to form a double-depth plan.*

*A cottage was added to the left (south) of the farmhouse at an unspecified date and this cottage was later extended to the rear by the mid to late-C19. At the time of the original listing survey in 1984 the cottage extension was derelict. Since then there have been alterations to the cottage and its extension including complete rebuilding of the cottage's south wall and insertion of a new door and windows, partial rebuilding of the cottage extension's walls, the insertion of new windows, the blocking of the cottage extension's original door in its north wall and the insertion of a new door and porch in its south wall. The interior of the cottage and its extension have been modernised since the 1984 listing survey; a new staircase and fire surround have been added to the cottage, the former derelict extension has been converted into a kitchen and new floors inserted throughout. A rear porch was added to the rear of the farmhouse at about the same time.*

## Details

A three bay two-storey farmhouse of double-depth built in 1710 with later additions, architect unknown. It is built of thin sandstone rubble partially rendered beneath pitched slate roofs and is linear in plan with a rear extension to the later addition and a late C20 porch addition to the rear of the farmhouse. There are ridge and gable chimneys.

Exterior: the farmhouse's front (east) elevation is symmetrical with a central doorway, a window above it and two pairs of coupled windows on each floor. All openings have plain square surrounds, and all glazing is altered. The attached cottage extension's east elevation is of slobbered rubble with quoins. The south gable return of the cottage is rebuilt and has an offset door with coupled windows to both floors and a narrow light beneath the gable apex. All openings have plain stone surrounds apart from the narrow light which has chamfered surrounds. The cottage extension's south elevation has a modern lean-to entrance porch with side window and coupled windows to both floors with plain stone surrounds. The extension's partly rebuilt gable wall has a single window to each floor with plain stone surrounds. The farmhouse's rear wall is rendered. It has a central modern pitched roof porch. There is a coupled window to the left, a small oblong window to the right and four windows above, most now top hung casements with glazing bars. The double pile north gable has a later lean-to addition attached to the rear and part of the front pile. There are single windows to each floor of the front pile, all with plain stone surrounds.

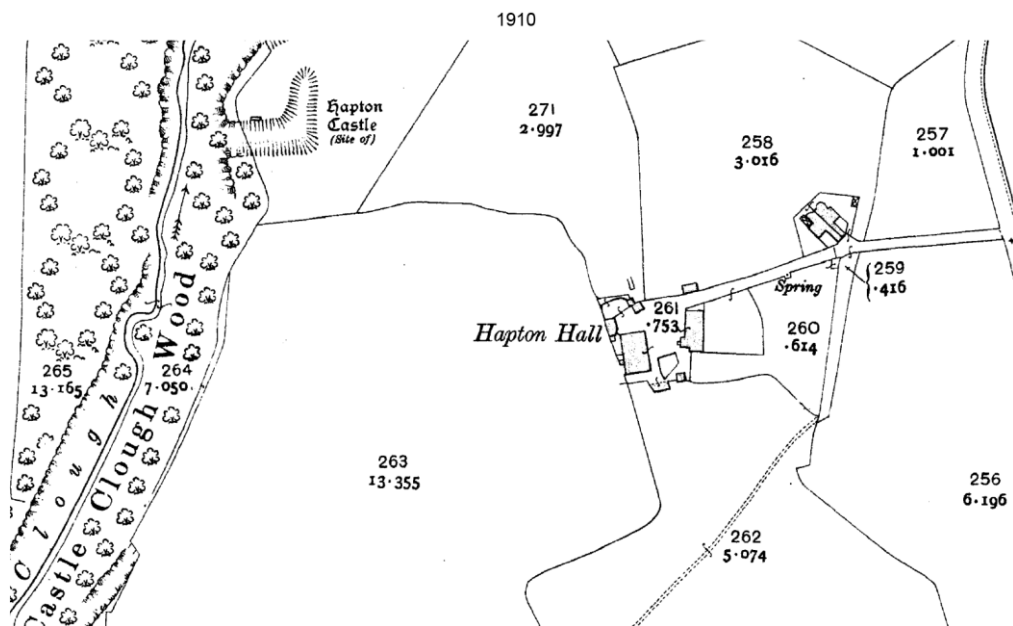
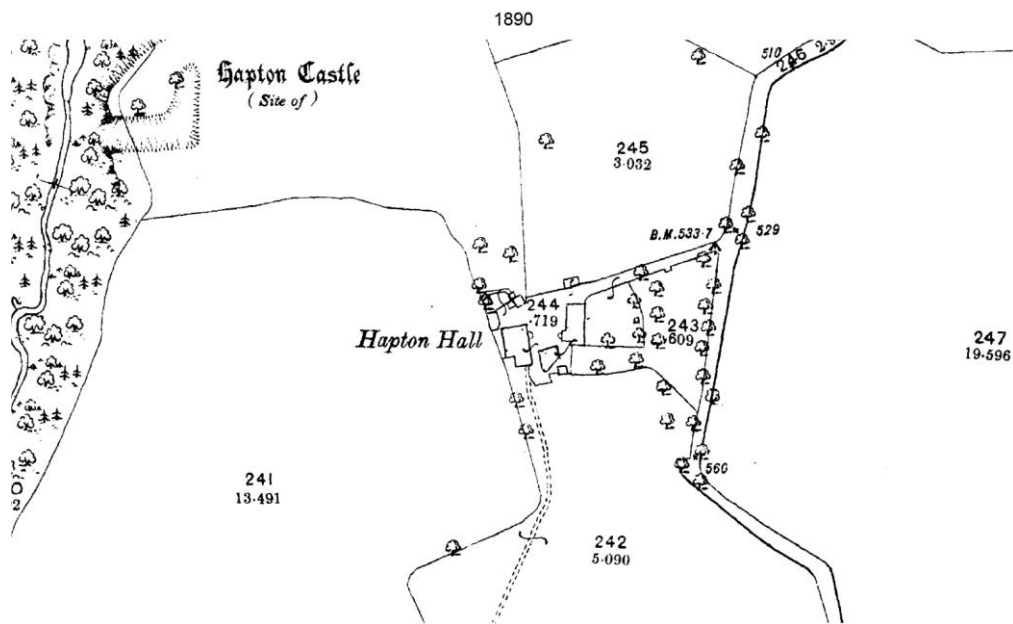
Interior: Access to the farmhouse via the front door leads into a through hallway. The left front room has a later polished marble fire surround, a panelled door, and large chamfered beams with cyma stops in the centre and mortices in the soffit. The right front room's internal area has been reduced and its rear wall rebuilt during a kitchen extension. It has a panelled door, timber beams and an early timber and tile fire surround but glass-fronted wall cupboards are modern additions. The rear kitchen has been enlarged and modernised but retains a stone fire surround at one end. On the opposite side of the hallway there is a small pantry with an early door. The farmhouse has an early rear door and early wall-mounted coat hooks. A stone staircase with stick balusters and an elegant slim handrail ramped at the bottom rises from the hallway. The upper floor has two modernised bathrooms, small bedrooms to the rear and above the hallway, and two larger bedrooms to the front. Three of the bedrooms have a ceiling beam.

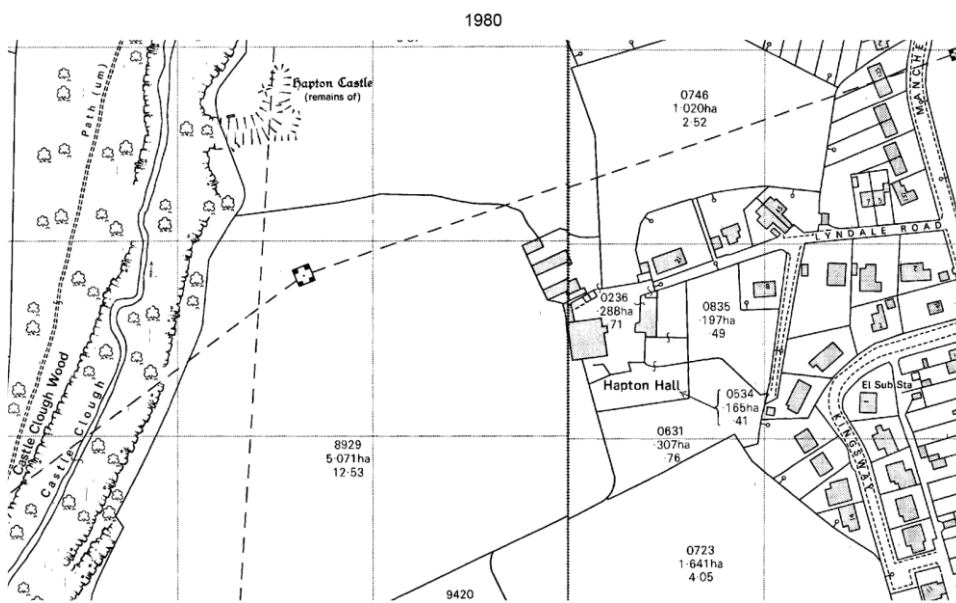
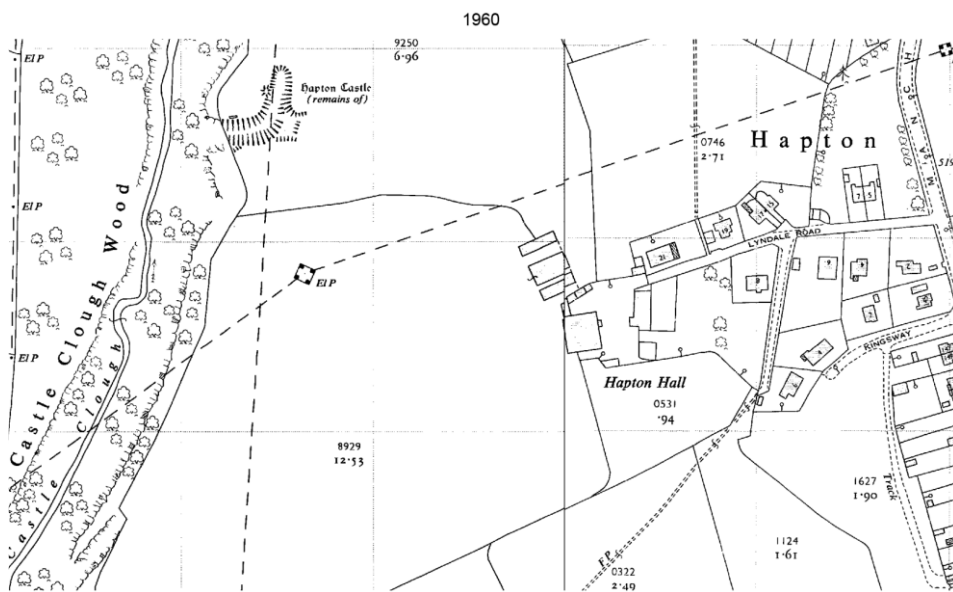
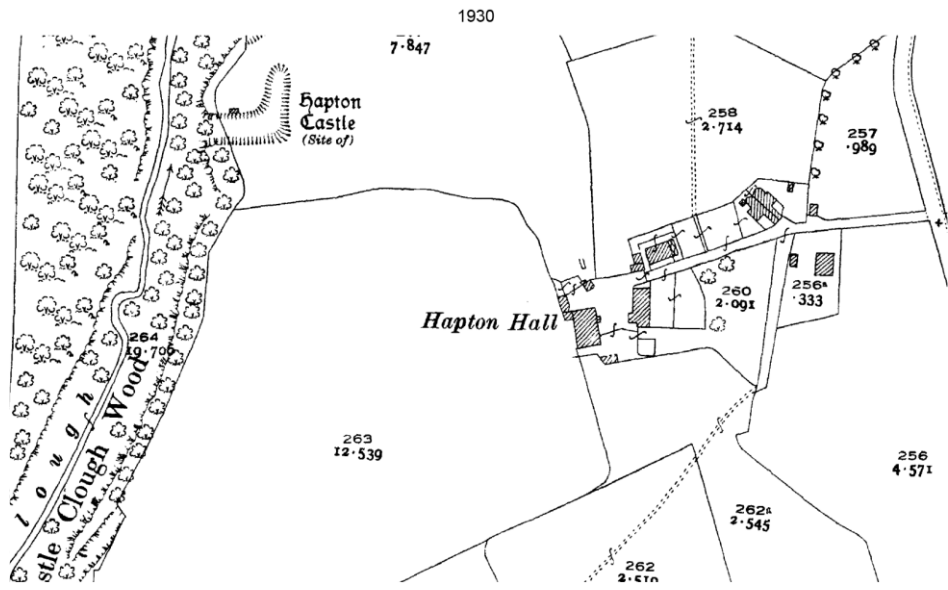
The interior of the cottage and its extension has been extensively modernised. Surviving early features include some ceiling beams to the living room, kitchen and main bedroom and a wall cupboard at the top of the staircase.

Pursuant to s.1 (5A) of the Planning (Listed Buildings and Conservation Areas) Act 1990 ('the Act') it is declared that the farmhouse's rear porch and the porch to the cottage extension are not of special architectural or historic interest."

2.2 The building has been given Listed status due to its architectural or historical interest. There have been multiple additions and changes to the building over the years since its construction in 1710 to adapt it to changes in lifestyle and the living needs of the residents at the time, however it has always been used as a farmhouse attached to land used for agricultural purposes.

2.3 The surroundings have also altered over the years whereby additional various buildings have been erected near-to the main farmhouse which can be seen on the historical maps that show the increasing number of buildings occurring over time. These buildings include garages and workshops used for the farmhouse and other residential dwellings along Lyndale Road leading up to the farmhouse location. This also shows how the site has been adapted to suit the living needs of changing times.





### 3. SITE

- 3.1 The site currently hosts two large double storey detached farmhouses, a small workshop and three small garage-like structures used for storage. Further north of the site there is a piggery shed used by Hapton Hall Farm for raising pigs, and just before this a small pitch of kennels for the dogs of the second farmhouse. This second farmhouse to the west is under different ownership and also owns some of the smaller structures around the site. The garage and workshop that run alongside the main entrance to the site from Lyndale Road belong to Hapton Hall Farm, as does the southern store and northern piggery shed.



Figure 3: Aerial view of site, arrow showing proposed location of unit, Google Maps

- 3.2 The two farmhouses are living accommodation, and the other structures are used for working and storage. The residents of the houses live and work here, and few other people need access to this site. The only access is from Lyndale Road up to the entrance of the private land owned by the residents of Hapton Hall. There is also access from the site to the surrounding fields. This is also private.



Figure 4: Garage and workshop on site, Nov 2023



- 3.3 The existing garages on site face the main access and will be utilised for the personal vehicles of the residents. The main farming work occurs north of the site whilst the south area is for living quarters and similar activities.
- 3.4 The majority of the buildings use slate tiles for the roof and local sandstone for the walling materials. Where possible, the newer buildings have used reclaimed stone to match as closely as possible whilst also being the more sustainable option. The scale and design of these secondary structures, also follow the original farmhouse build to stay in keeping with the vernacular.



Figure 5: Site as existing for unit location, Nov 2023

#### 4. PROPOSAL

- 4.1 The client's brief is to erect a small portal frame building to house the vehicles and associated equipment for the current farming activities involved around the piggery.

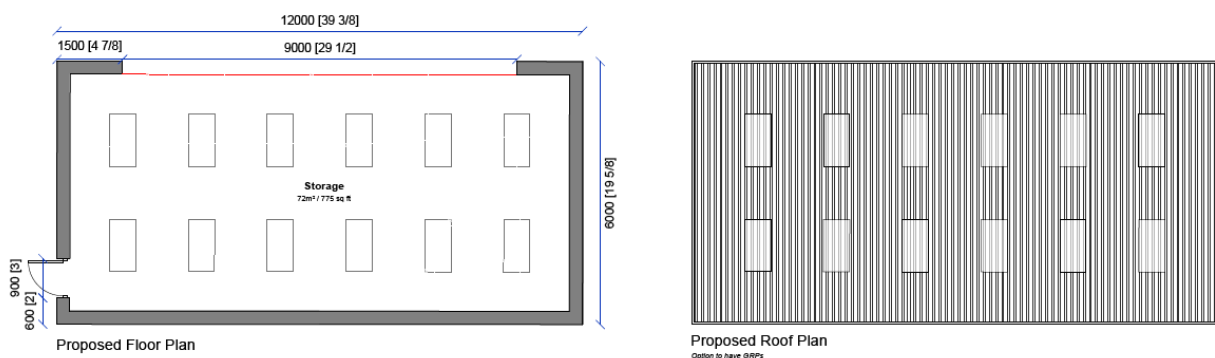


Figure 6: Proposed plans, HAD & Co

- 4.2 This would include storing farming vehicles and trailers used to move food-stores to and from the piggery shed. As well as storage the equipment needed for the rearing of the pigs including items like hay, straw and any welfare items to keep the pigs happy and healthy.

- 4.3 The orientation and location of the existing garages are not suitable for these activities as they are used in a more residential capacity with the accesses facing away from the shed and situated around the access from the adopted Highway.
- 4.4 To keep the farming processes separate from the home life of the farming residents, the proposed storage unit will be located nearer to the piggery shed and hidden behind the existing garage and workshop to avoid being too intrusive on the eye and the surroundings and providing better access to the main farming area.
- 4.5 Externally the portal frame will be made of a dwarf sandstone wall to match the surrounding buildings, and profile sheeting to the upper walls so it is identifiable as an agricultural storage building. There will be a large opening to allow for different sized vehicles to enter and be stored with the option for it to be closed with a simple addition of a barn door. A smaller side pedestrian door is also proposed as a safer and easier option for general day-to-day access.

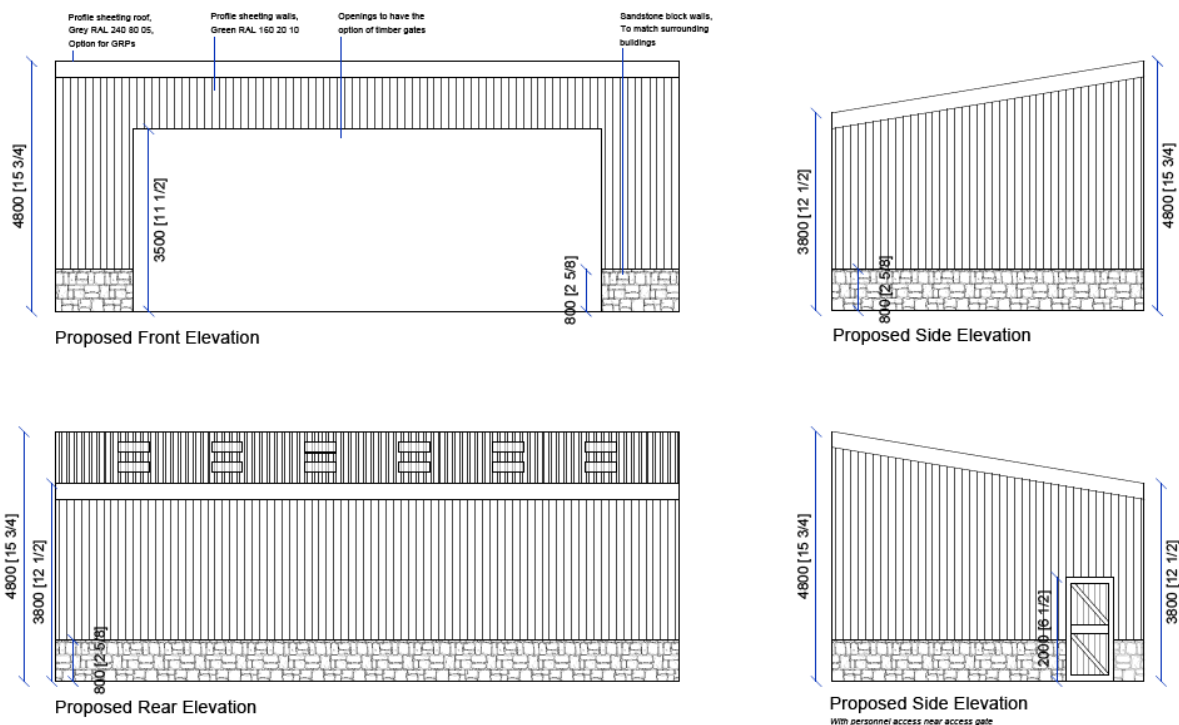


Figure 7: Proposed elevations, HAD & Co

- 4.6 The roof will also be profile sheeting, coloured grey to match the slate tiles of the existing buildings and will have the option for GRP skylights to save energy and money on artificial lighting.
- 4.7 The proportions and size of the agricultural unit will comply with the relevant limits for the Prior Notification scheme, as the width will measure 6m, the length will be 12m, creating a floorspace of 72m<sup>2</sup> and the maximum height of the ridge will be 4.8m with a maximum eaves' height of 3.8m.

- 4.8 The position of the unit will have its large open access facing north to provide easy access to the piggery shed and will be shielded to the rear by the existing leylandii trees. The location will not impact anyone else's out-look or right to light and will not overshadow other land or buildings.

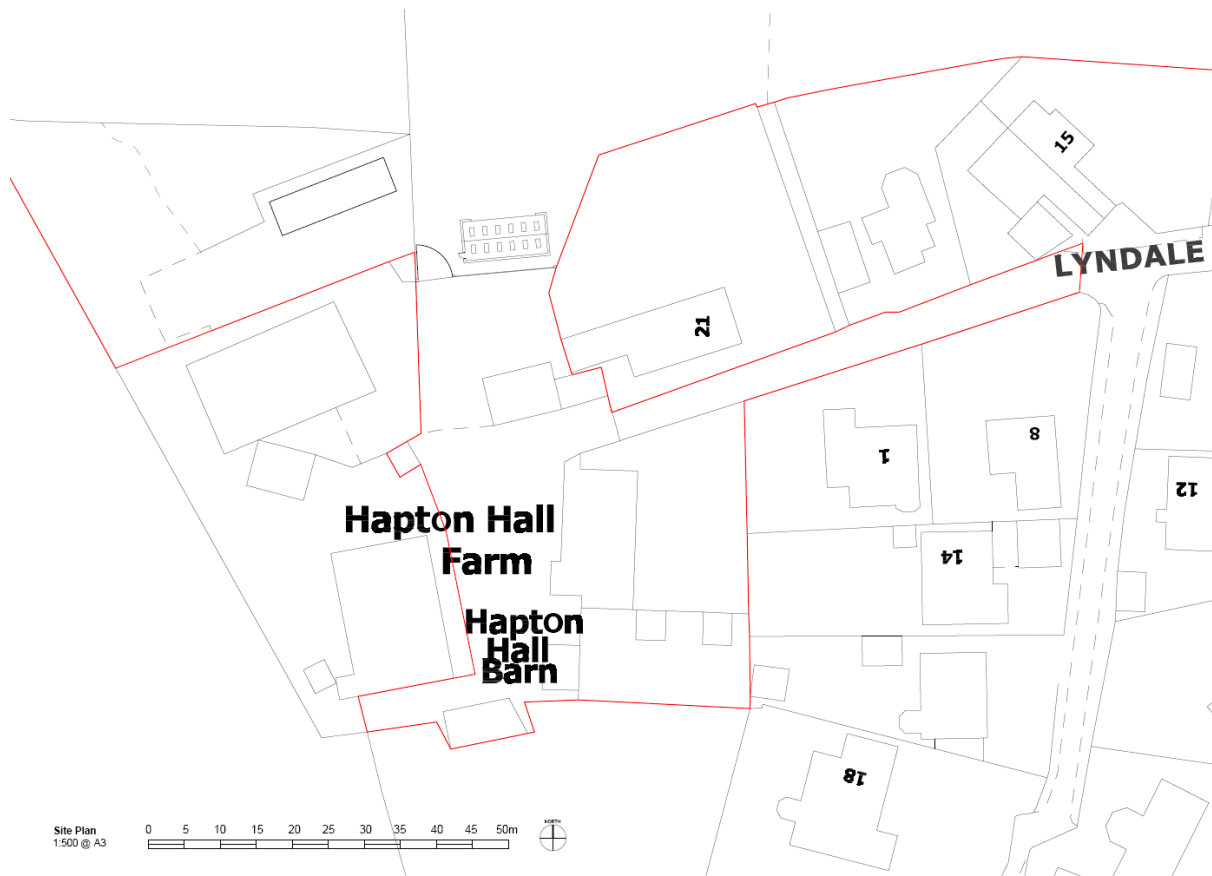


Figure 8: Proposed site plan, HAD & Co

## 5. SIGNIFICANCES

- 5.1 The Listing description gives the reasons as to why Hapton Hall Farmhouse holds significant heritage interests and describes its architectural and historical meaning of the importance of the building.
- 5.2 Using the 'Conservation Principles Policies and Guidance' provided by Historic England, we have listed the significances of the Heritage Asset of which this proposed development relates, and then identify how the new agricultural unit would impact these values, if it would have any affect at all.

### 5.3.1 WHO VALUES THE PLACE AND WHY?

The residents of this place value the building as they call it their home and have lived at the site for a number of decades. The history it holds helps them to feel connected to its farming origins and history, especially as the farmhouse is still used as it was built and intended, as the dwelling for the farmers of the land it is connected to.

### **The effect of the proposal...**

The proposed agricultural unit will allow the farming activities to continue on the site, making the processes easier to manage as the residents of the farmhouse continue to use the land to farm, even decades later after first calling the site their home. It keeps these values relevant and has a positive impact on the heritage as it the farming activity associated with the original construction of the Listed building is maintained.

#### **5.3.2 HOW DO THESE VALUES RELATE TO THE FABRIC OF THE PLACE?**

The use of the site as a farm with connected residential premises means the activities that formed the need for the house to be built in the first place, is still retained to this day. The continuation of using this site for the same use can be identified by the access and evidence of farming equipment and gated access to the connected fields which gives the site its farming characteristics. The typical farmhouse construction of the buildings is reflected in its aesthetics which also helps the site look recognisable as a farm for which this Listed Building is considered historically important.

### **The effect of the proposal...**

The creation of a purpose-built agricultural unit will appear as a typical structure found on farms which establishes the use of the site as a working farm. It will help keep the farming identity of the heritage asset apparent.

#### **5.3.3 THE RELATIVE IMPORTANCE OF THESE VALUES?**

The heritage of farming and its progression through history shows how humans have evolved over time and how farming has changed to meet changes in human activity. Farming is still an important value to the success of humans as a species and by protecting farmhouses such as Hapton Hall, the story of its growth and advancements for farming teaches humans how to progress and improve for the better.

### **The effect of the proposal...**

The introduction of the proposed portal frame will add to Hapton Hall Farm's story in farming progress. The new storage area can be utilised for current farming activities, and its open space and simple form makes it available for alternative uses in the future providing further longevity to the site as a working farm.

#### **5.3.4 DO ASSOCIATED OBJECTS CONTRIBUTE TO THEM?**

The associated objects surrounding the main farmhouse are typically smaller structures that are commonplace on a farm. These structures all mimic the style and materials of the farmhouse which shows they are connected and belong to the same farm-hold. Certain styles of building and the age of materials used give signs of the date of construction- this then lets the viewer understand these were built after the farmhouse and can be seen through the evidential lesser weathering and finer pointing details. Due to these newer structures being built around the site, not only does this allow the onlooker to identify the site as a farm, but also adds to the story of the place by showing how it has grown over time and adding these additional storage spaces has enabled the owners and users of the farm to continue using the land as it was originally purposed.

### **The effect of the proposal...**

The new proposed agricultural unit also adds to this story of growth, and follows the typical pattern of positioning and orientation of the proposed store by way of following the existing boundaries of the land and being placed in a position to enable better access and use of the new space making the farming processes easier, rather than being placed in a grid or pattern formation when looking on plan or alongside existing structures for aesthetic purposes. The unit will be positioned for effective use and built for a specific purpose for the farm, provided a positive contribution to the place.

### **5.3.5 WHAT CONTRIBUTION IS MADE BY THE SETTING AND THE CONTEXT OF THE PLACE?**

Hapton is located on the outskirts of the main town of Burnley. This can be identified by the vast amount of green landscape and farmland here that surround the town and shows its origins as a town and how its population grew to what it is today. The green spaces and farming fields are still an integral part of Burnley, and the location of Hapton Hall is no exception. Banded on the east by the main route through Hapton village, there is green fields on both sides and to the north. Still used as a farm, it speaks highly as to how the farming industry still plays an important role in the success of humanity.

A short distance to the north-west, the remains of Hapton Castle can be found. As a Scheduled Monument, Hapton Castle is thought to have been in existence in 1328. Not only does this speak volumes about the heritage and importance of this place, but clearly shows that human activity was ongoing in the area since this date.

### **The effect of the proposal...**

The proposed setting of the new agricultural unit will not impact the remains of Hapton Castle, nor will it negatively affect the Listed Farmhouse. The position chosen is located due to the existing context of the surroundings and set for ease of use and purpose. It will also enable the land to be continually used as a successful farm.

### **5.3.6 HOW THE PLACE COMPARES WITH OTHERS SHARING SIMILAR VALUES?**

Through this understanding of the significance of Hapton Hall Farm, and its Listed status, the values held are:

- **Evidential;** physical elements telling of the past human activity that helped shape a place;
- **Aesthetic;** the forms, materials and appearance of the buildings help identify the place as a heritage asset and how it plays its part;
- **Historical;** seeping with historical evidence and providing a story of the growth of the area.

In total there are 7 other listed buildings in Hapton, 3 of which are Grade II Listed Farmhouses:

- Hapton Hall Farm
- Watson Laithe Farm
- New Barn Farm

These are all slightly different in location, size and style but all hold similar values in that they are clearly identifiable as working farmhouses and tell the history of the area and its importance to Hapton and Burnley and the farming history and importance as a successful place for human habitation. All three are also still used for farming to this day.

## **6. CONCLUSION**

### **6.1 The Significance of Hapton Hall Farmhouse:**

The evidential, aesthetic and historic values that Hapton Hall Farmhouse holds will remain intact as a result of this proposal. The new agricultural unit will not impact the building by way of connection or appearance. The use of the existing farm will remain in place and the proposed storage unit will enable the farm to function better by hosting a place to store vehicles and materials necessary to carry out day-to-day farming activities. This in turn could be considered an enhancement to the place, although it will not in itself carry any heritage merit.



*Figure 9: View of access to Hapton Hall Farm looking east, Nov 2023*

### **6.2 The Significance of the proposal:**

As the proposal will not physically or negatively impact the heritage asset, it can be said that the new agricultural will have less-than harmful effect on the Listed Building. The original use of the property and its land will remain and will be enhanced as a result of the additional building. The materials proposed will help identify the structure as a new addition, whilst also being in keeping with the materiality and scale of the site.

- 6.3 The proposed agricultural unit at Hapton Hall Farm compliments the following Conservation Principles Policies and Guidance of English Heritage/ Historic England:
- 6.4 **“131 - The nature of the work proposed is justified by compelling evidence of the evolution of the place and is executed in accordance with that evidence”.**
- 6.5 **“New work and alteration**  
138 - New work or alteration to a significant place should normally be acceptable if: ...  
a.  
there is sufficient information comprehensively to understand the impacts of the proposal on the significance of the place;  
b.  
**the proposal would not materially harm the values of the place**, which, where appropriate, would be reinforced or further revealed;”
- 6.6 **“153 - Impact on significance”**  
The assessment of the degree of harm to the significance of a place should consider the place as a whole and in its parts, its setting, and the likely consequences of doing nothing.
- 6.7 **“158 - Enabling development** is development that would deliver substantial benefit to a place”.