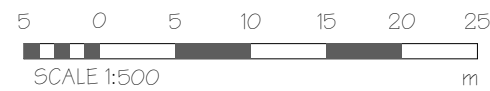
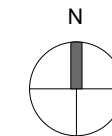
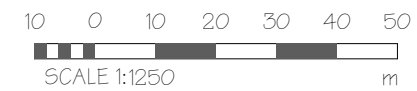




2 Proposed Block Plan
SCALE: 1:500



1 Existing Location Plan
SCALE: 1:1250



CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
LOCATION PLANS

SCALE: As indicated

DATE: 23/12/2023

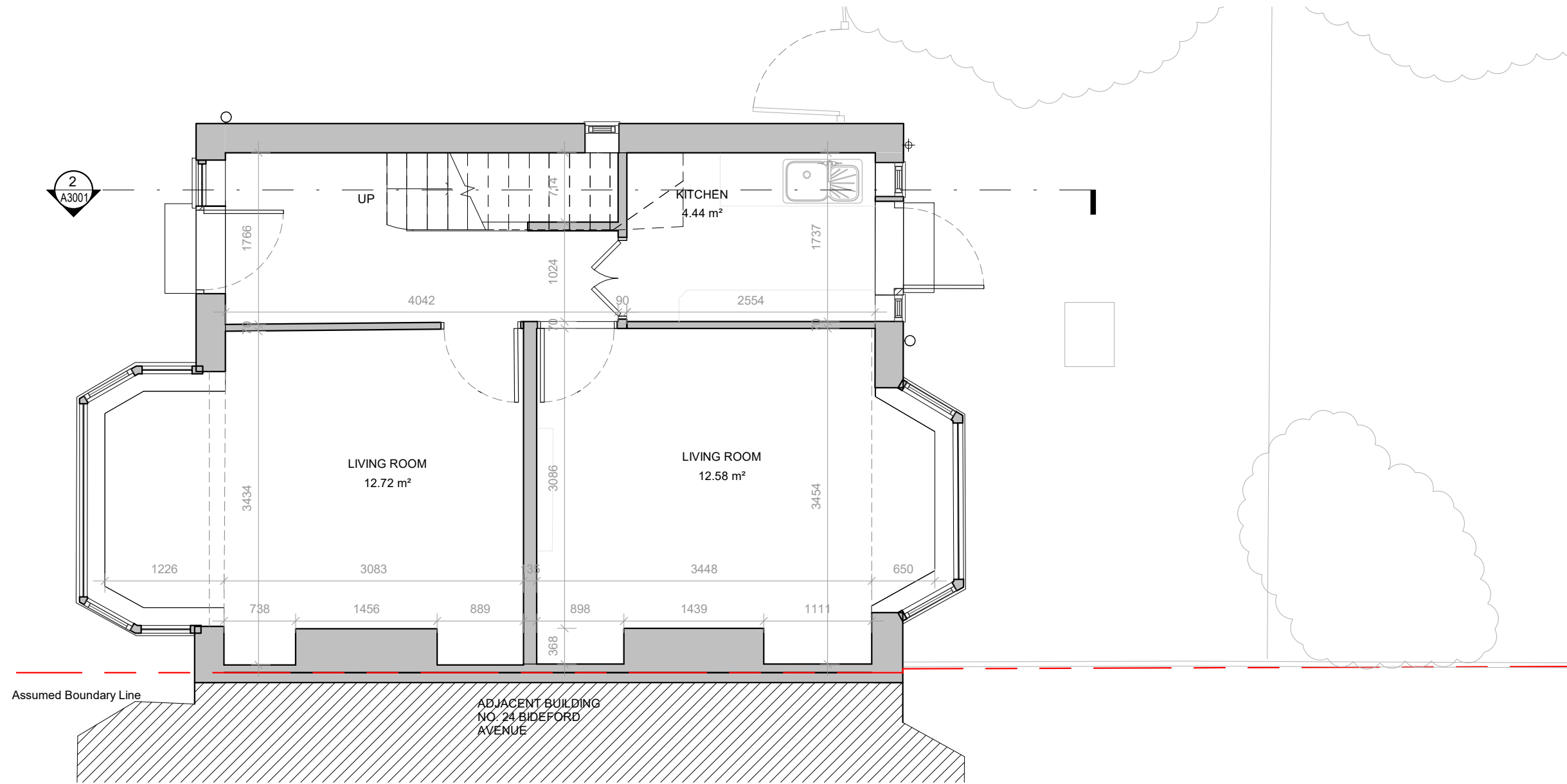
WD ARCHITECTURE
216 South Ealing road
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Mob 0044 7749466992
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DRWG. NO. A0001

REV.

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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
GROUND FLOOR PLAN - EXISTING

SCALE: 1:50

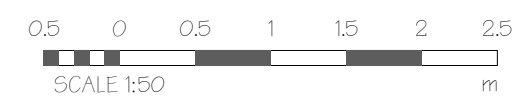
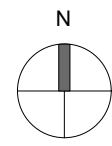
DATE: 23/12/2023

WD ARCHITECTURE
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London, W5 4rl
Mob 0044 7749466992
Email info@waadddarzi.com

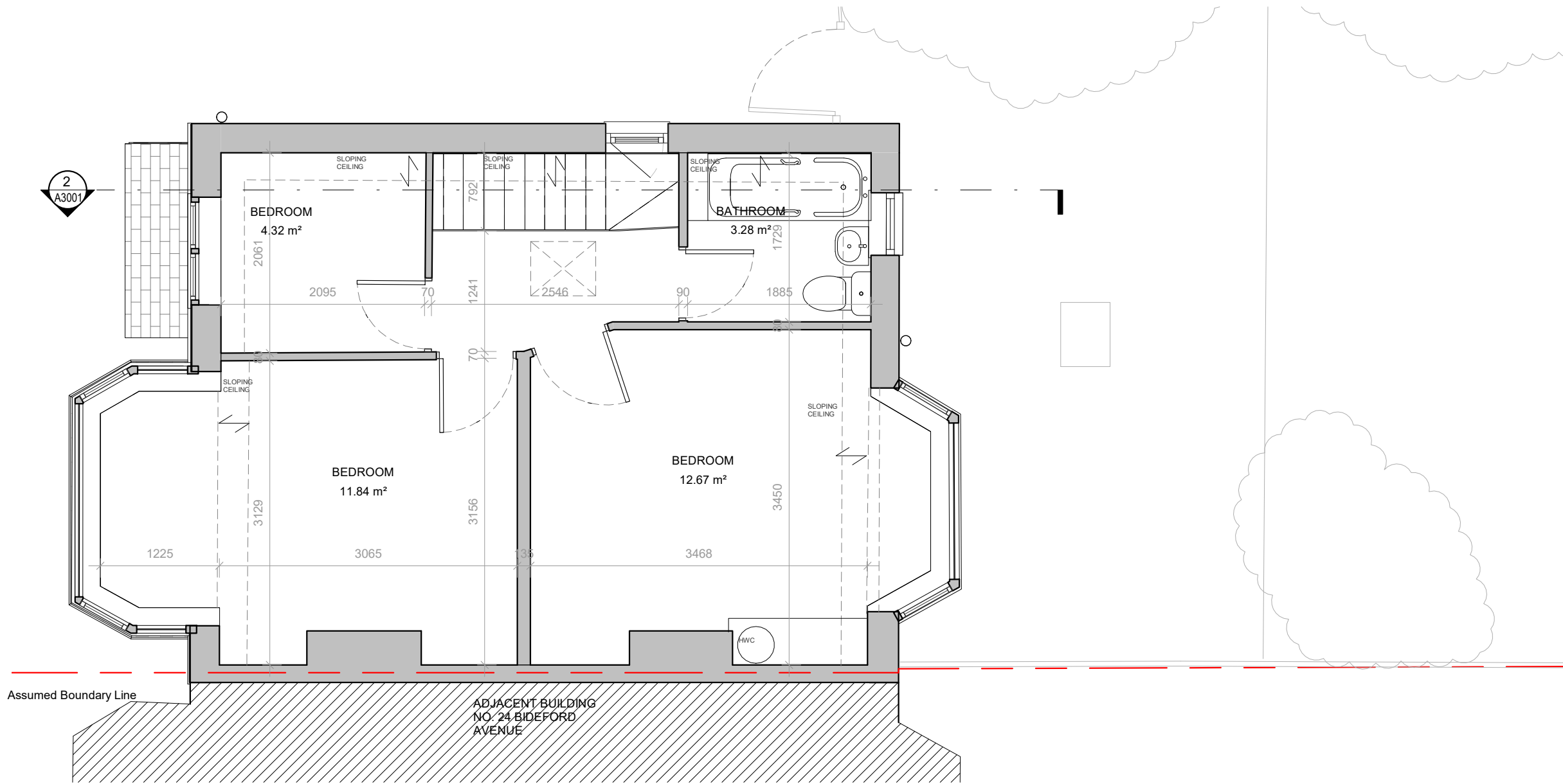


DRWG. NO. A1001

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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
FIRST FLOOR PLAN - EXISTING

SCALE: 1:50

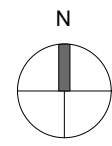
DATE: 23/12/2023

WD ARCHITECTURE
216 South Ealing road
London, W5 4rl
Mob 0044 7749466992
Email info@waadarchitecture.com

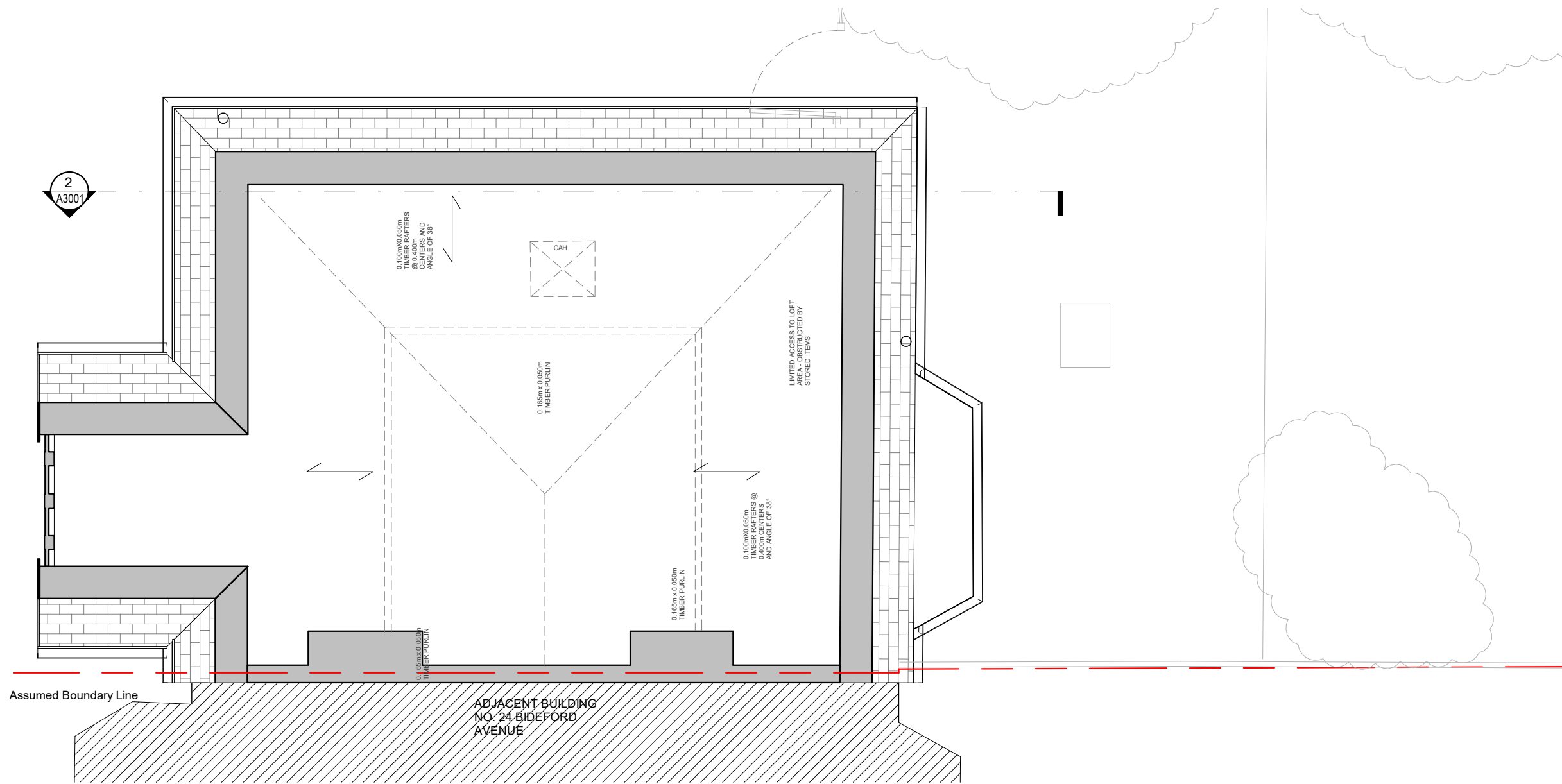
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DRWG. NO. A1002

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2
A3001

0.100m x 0.050m
TIMBER RAFTERS
@ 0.400m CENTERS
AND ANGLE OF 38°

CAH

0.165m x 0.050m
TIMBER PURLIN

LIMITED ACCESS TO LOFT
AREA - OBSTRUCTED BY
STORED ITEMS

0.100m x 0.050m
TIMBER RAFTERS
@ 0.400m CENTERS
AND ANGLE OF 38°

0.165m x 0.050m
TIMBER PURLIN

0.165m x 0.050m
TIMBER PURLIN

Assumed Boundary Line

ADJACENT BUILDING
NO. 24 BIDEFORD
AVENUE

CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE PROJECT NO.
WD2302.

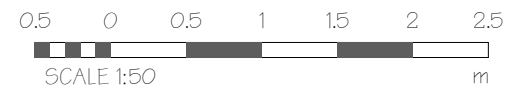
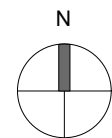
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SCALE: 1:50 DATE: 23/12/2023

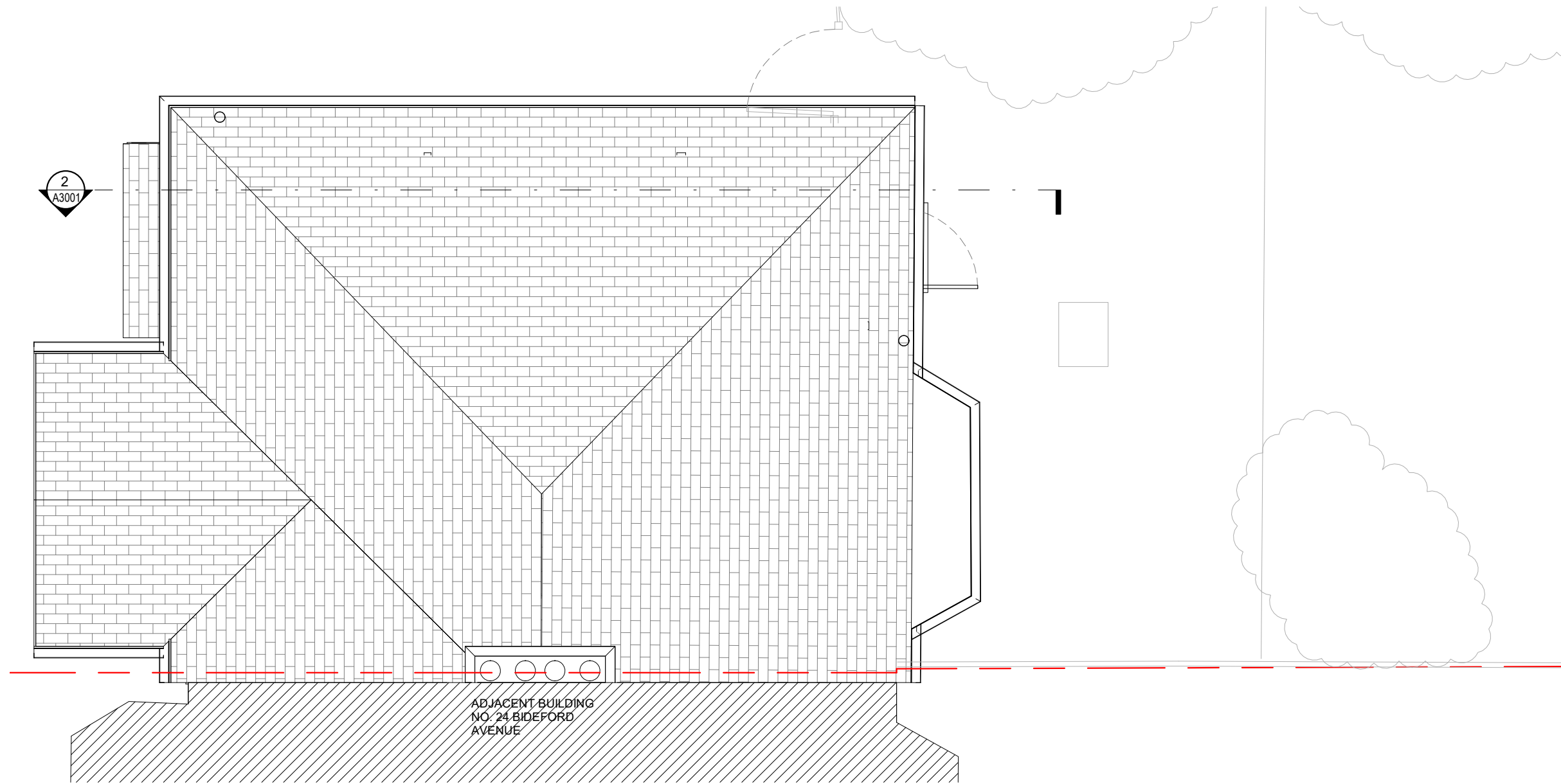
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DRWG. NO. A1003 REV.



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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
SITE PLAN - EXISTING

SCALE: 1:50

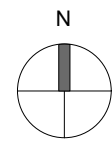
DATE: 23/12/2023

WD ARCHITECTURE
216 South Ealing road
London, W5 4rl
Mob 0044 7749466992
Email info@waaddarzz.com



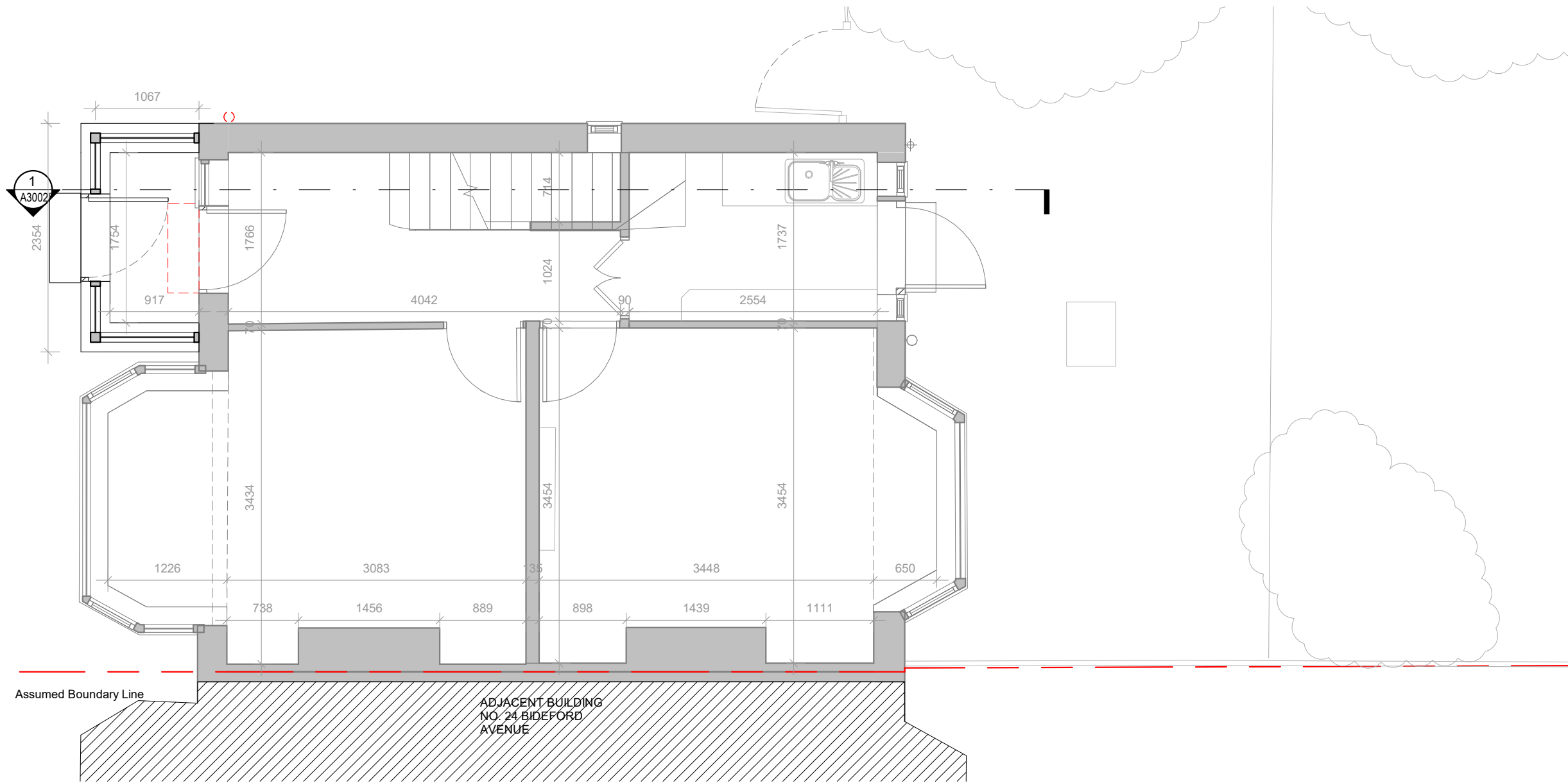
DRWG. NO. A1004

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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE

PROJECT NO.
 WD2302.

DRWG. TITLE:
 GROUND FLOOR PLAN -
 PROPOSED

SCALE: 1:50

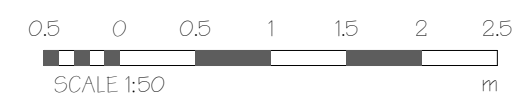
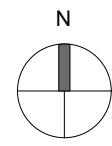
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 Mob 0044 7749466992
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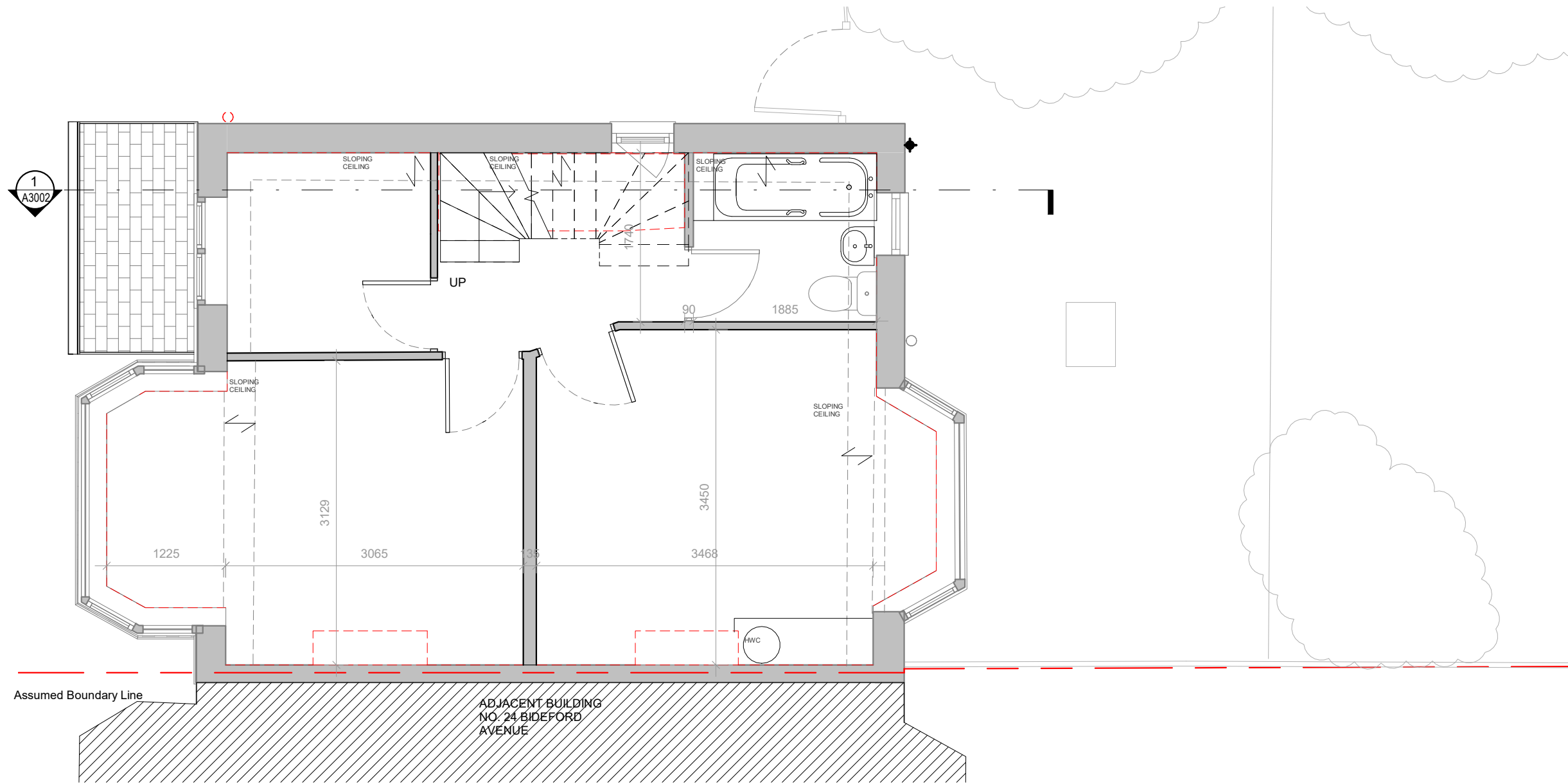
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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
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PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE

PROJECT NO.
 WD2302.

DRWG. TITLE:
 FIRST FLOOR PLAN - PROPOSED

SCALE: 1:50

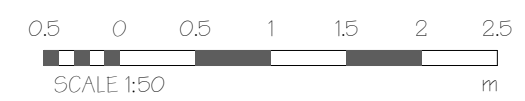
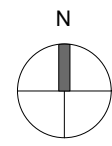
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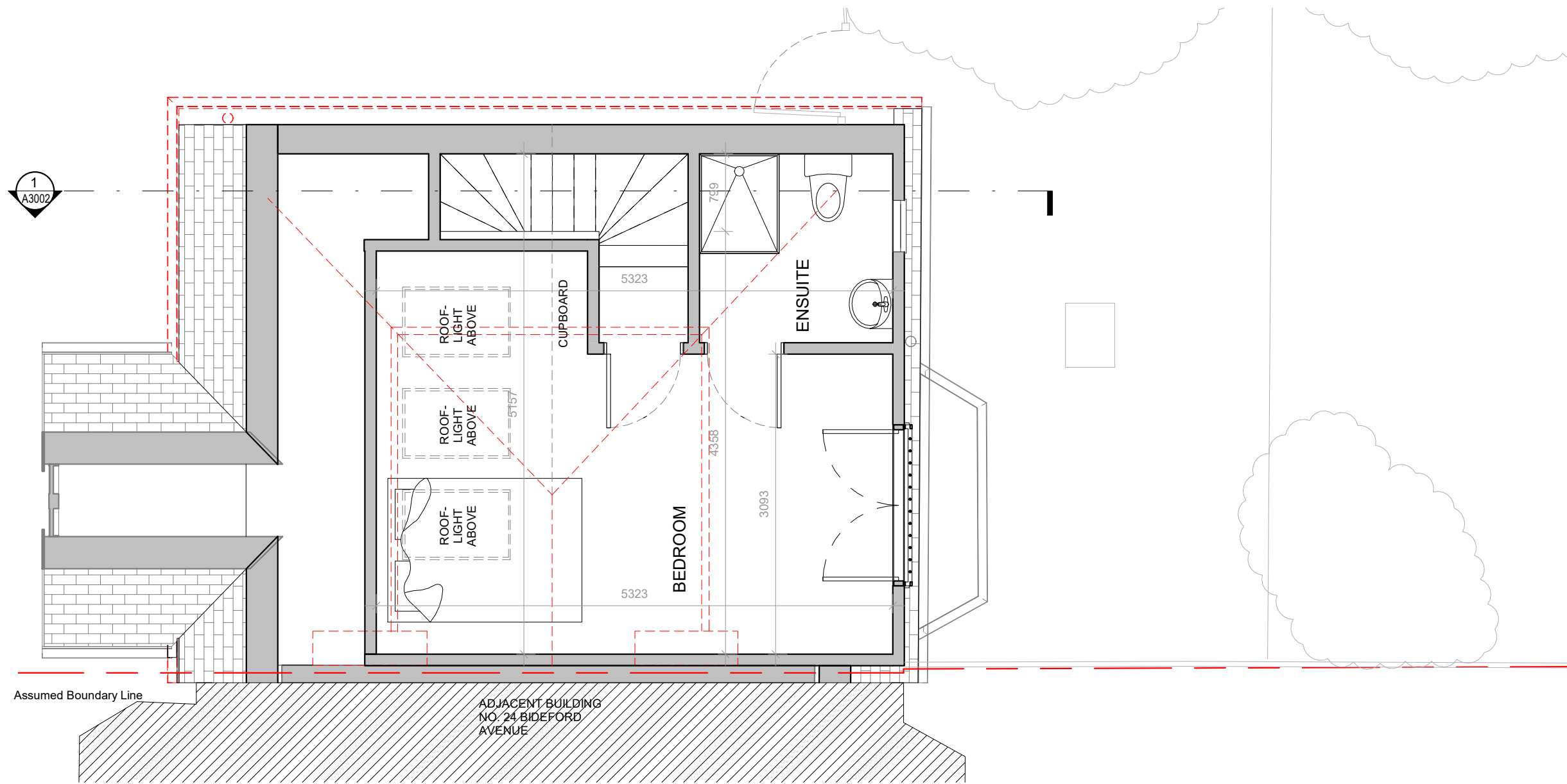
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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE

PROJECT NO.
 WD2302.

DRWG. TITLE:
 LOFT FLOOR PLAN - PROPOSED

SCALE: 1:50

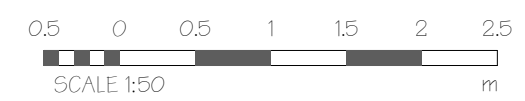
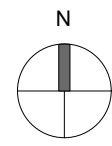
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WD

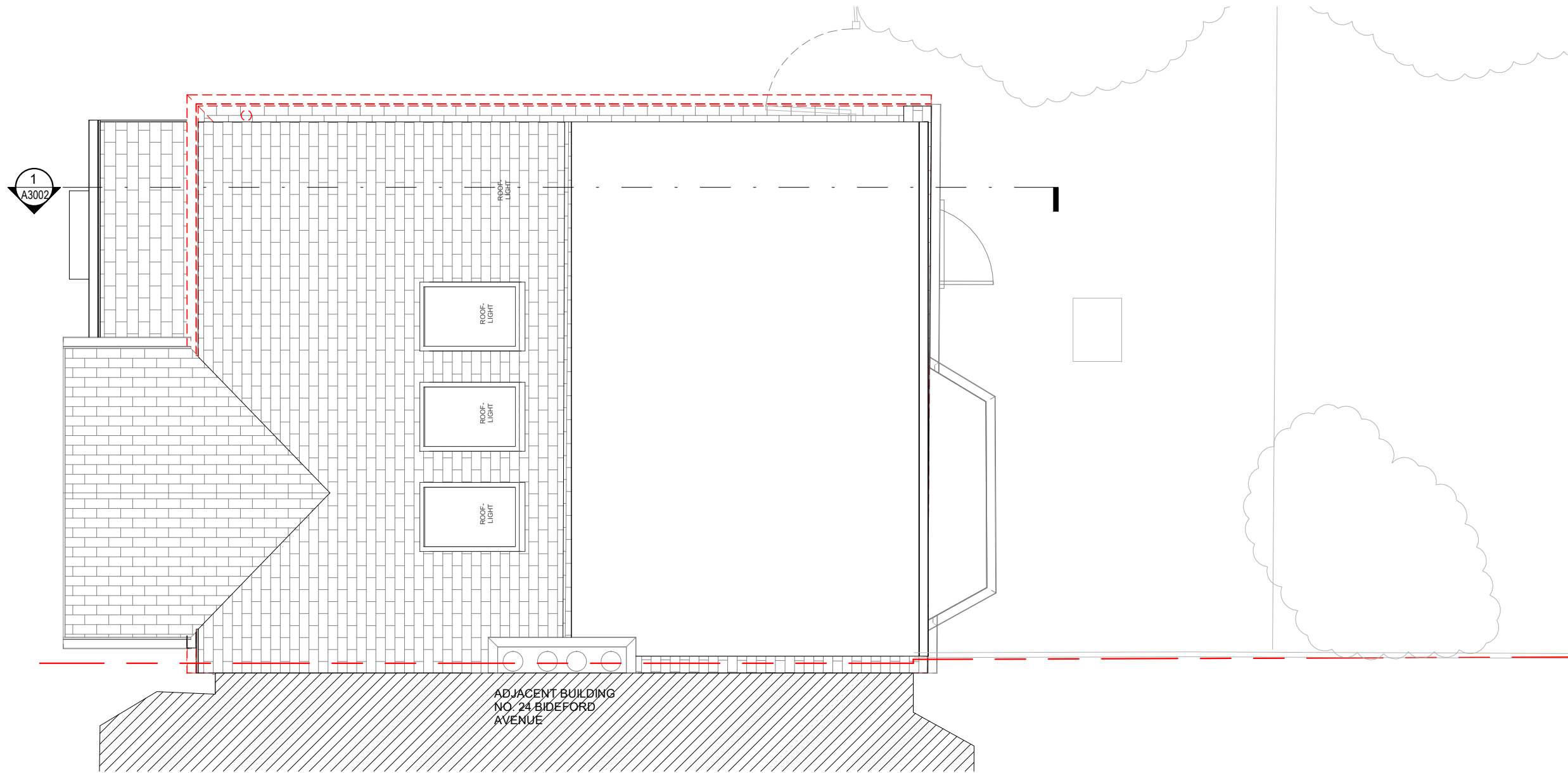
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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE PROJECT NO.
 WD2302.

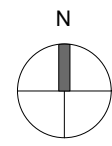
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SCALE: 1:50 DATE: 23/12/2023

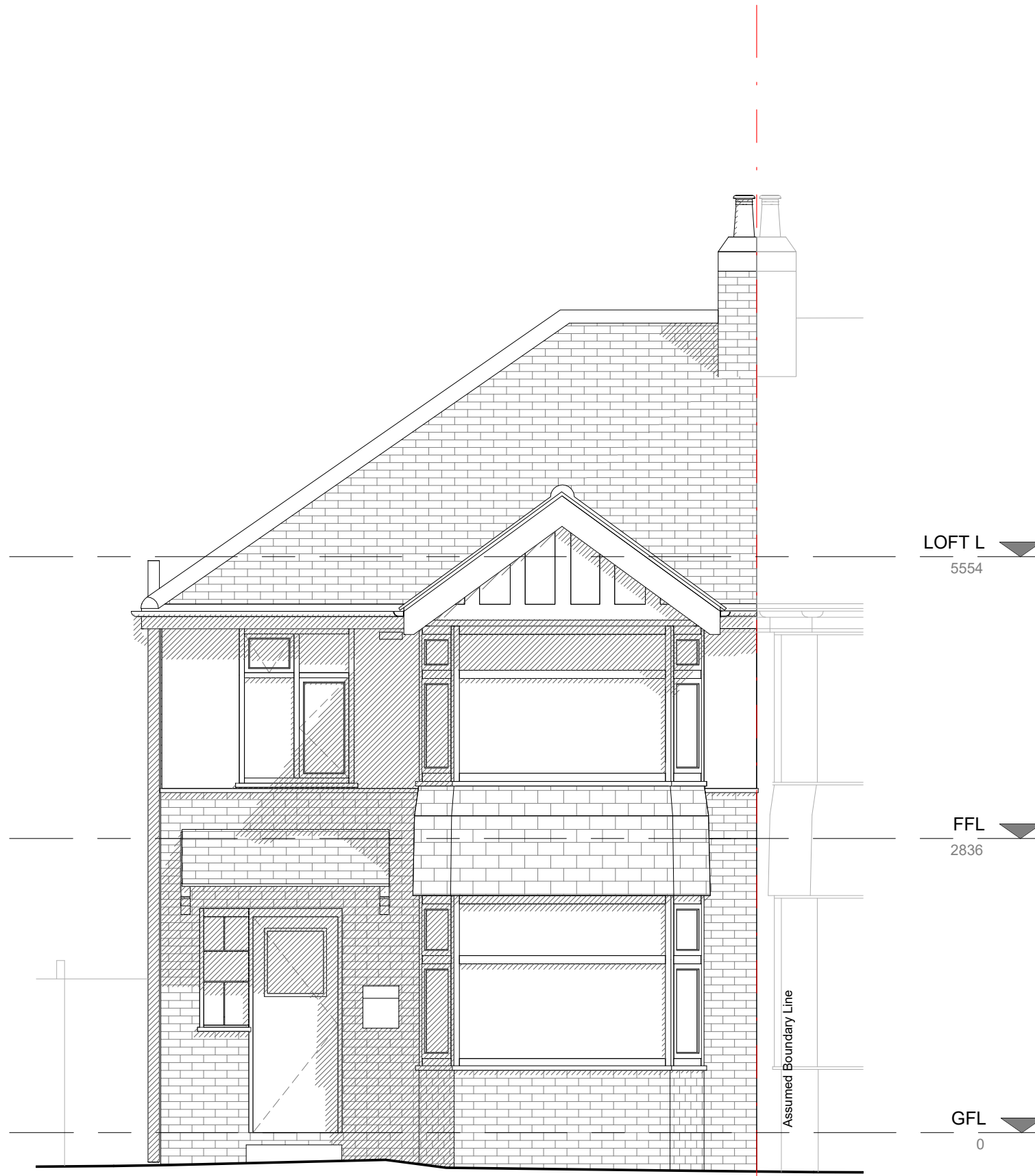
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DRWG. NO. A1008 REV.



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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
FRONT ELEVATION - EXISTING

SCALE: 1:50

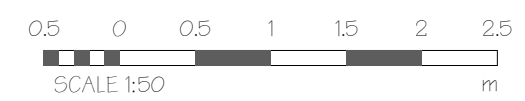
DATE: 23/12/2023

WD ARCHITECTURE
216 South Ealing road
London, W5 4rl
Mob 0044 7749466992
Email info@waadddarz.com

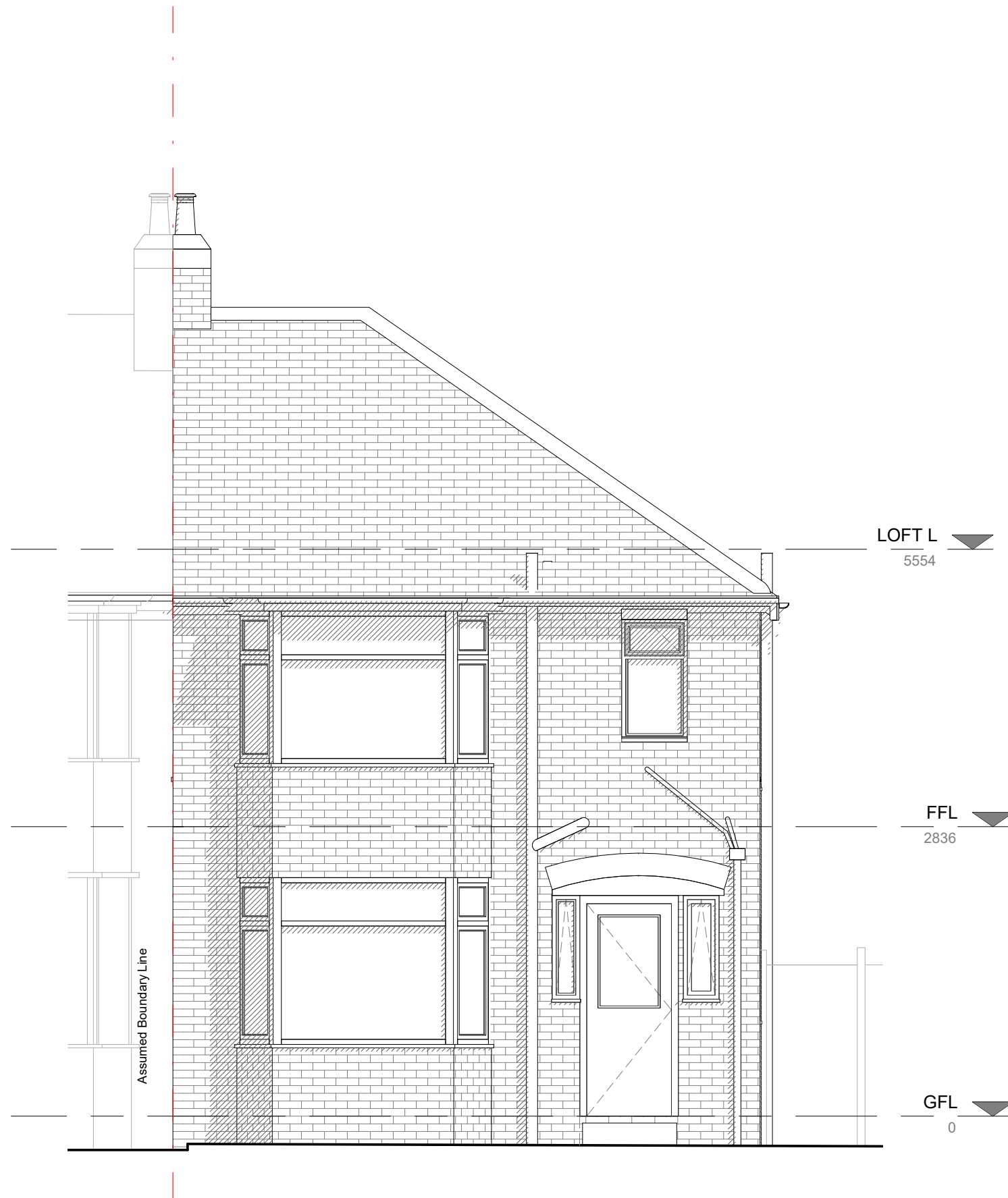


DRWG. NO. A2001

REV.



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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
REAR ELEVATION - EXISTING

SCALE: 1:50

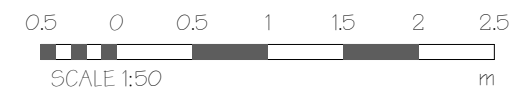
DATE: 23/12/2023

WD ARCHITECTURE
216 South Ealing road
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Mob 0044 7749466992
Email info@waadddarz.com

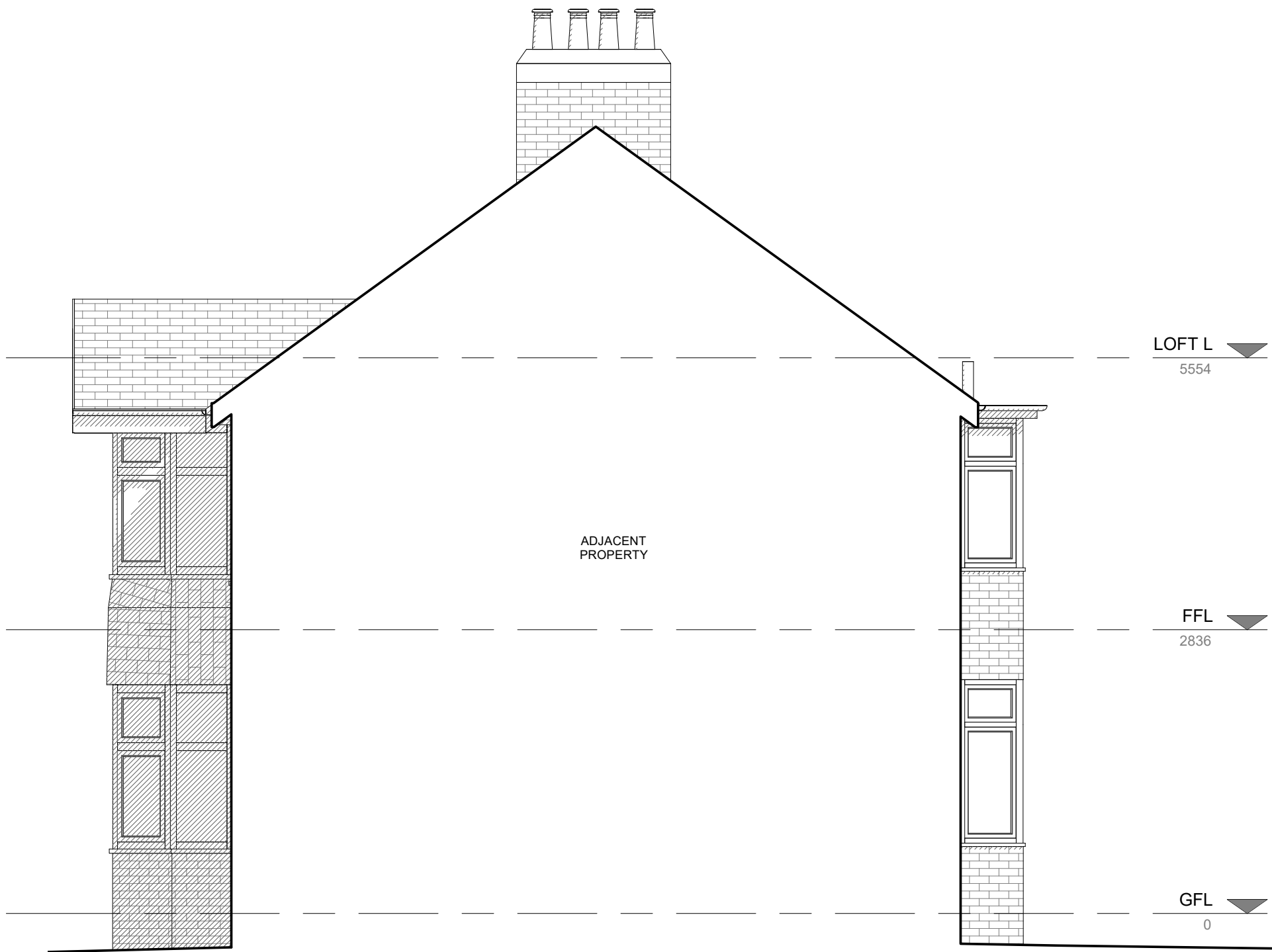


DRWG. NO. A2002

REV.



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LOFT L
5554

FFL
2836

GFL
0

ADJACENT
PROPERTY

CLIENT:
N / A

PROJECT:	26 Bideford Avenue Perivale, Greenford, W3 7RE	PROJECT NO.	WD2302.
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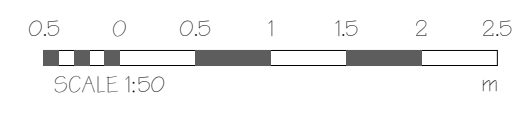
DRWG. TITLE:
RIGHT ELEVATION - EXISTING

SCALE:	1:50	DATE:	23/12/2023
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DRWG. NO.	A2003	REV.	
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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
LEFT ELEVATION - EXISTING

SCALE: 1:50

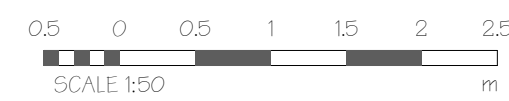
DATE: 23/12/2023

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DRWG. NO. A2004

REV.



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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE PROJECT NO.
 WD2302.

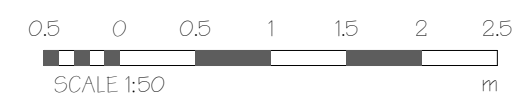
DRWG. TITLE:
 FRONT ELEVATION - PROPOSED

SCALE: 1:50 DATE: 23/12/2023

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DRWG. NO. A2005 REV.

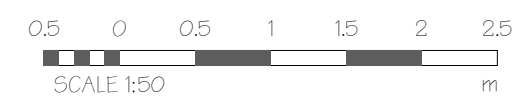


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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey

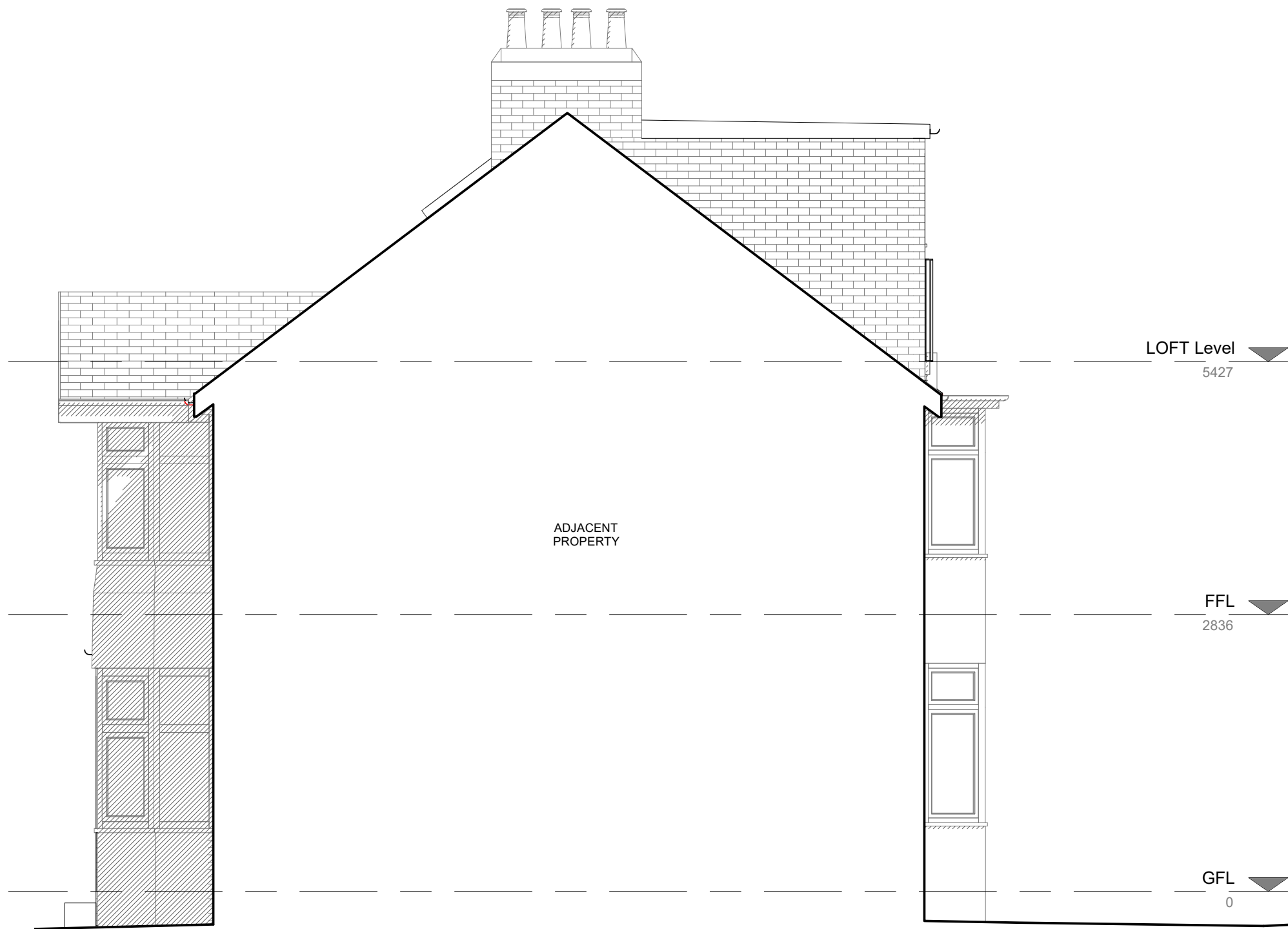


CLIENT:	
N / A	
PROJECT:	PROJECT NO.
26 Bideford Avenue Perivale, Greenford, W3 7RE	WD2302.
DRWG. TITLE:	
REAR ELEVATION - PROPOSED	
SCALE:	DATE:
1:50	23/12/2023
WD ARCHITECTURE	
216 South Ealing road London, W5 4rl Mob: 0044 7749466992 Email: info@waadarchitecture.com	
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A2006	



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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE

PROJECT NO.
 WD2302.

DRWG. TITLE:
 RIGHT ELEVATION- PROPOSED

SCALE: 1:50

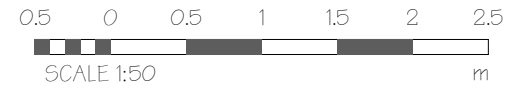
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WD ARCHITECTURE
 216 South Ealing road
 London, W5 4rl
 Mob 0044 7749466992
 Email info@waadddarzz.com



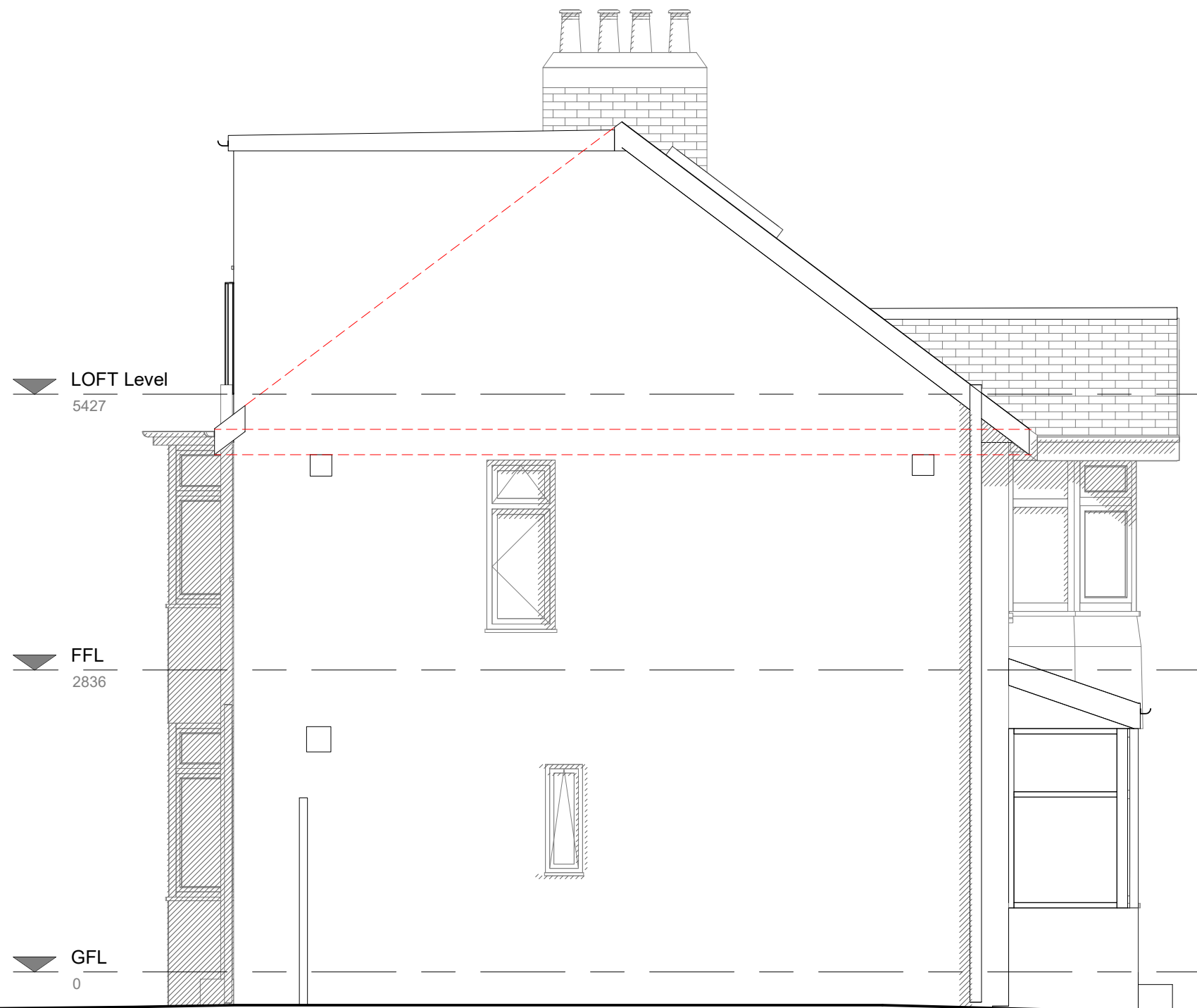
DRWG. NO. A2007

REV.



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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE

PROJECT NO.
 WD2302.

DRWG. TITLE:
 LEFT ELEVATION - PROPOSED

SCALE: 1:50

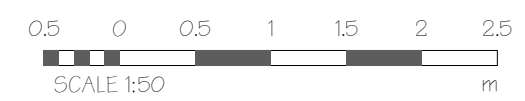
DATE: 23/12/2023

WD ARCHITECTURE
 216 South Ealing road
 London, W5 4rl
 Mob 0044 7749466992
 Email info@waadddarz.com

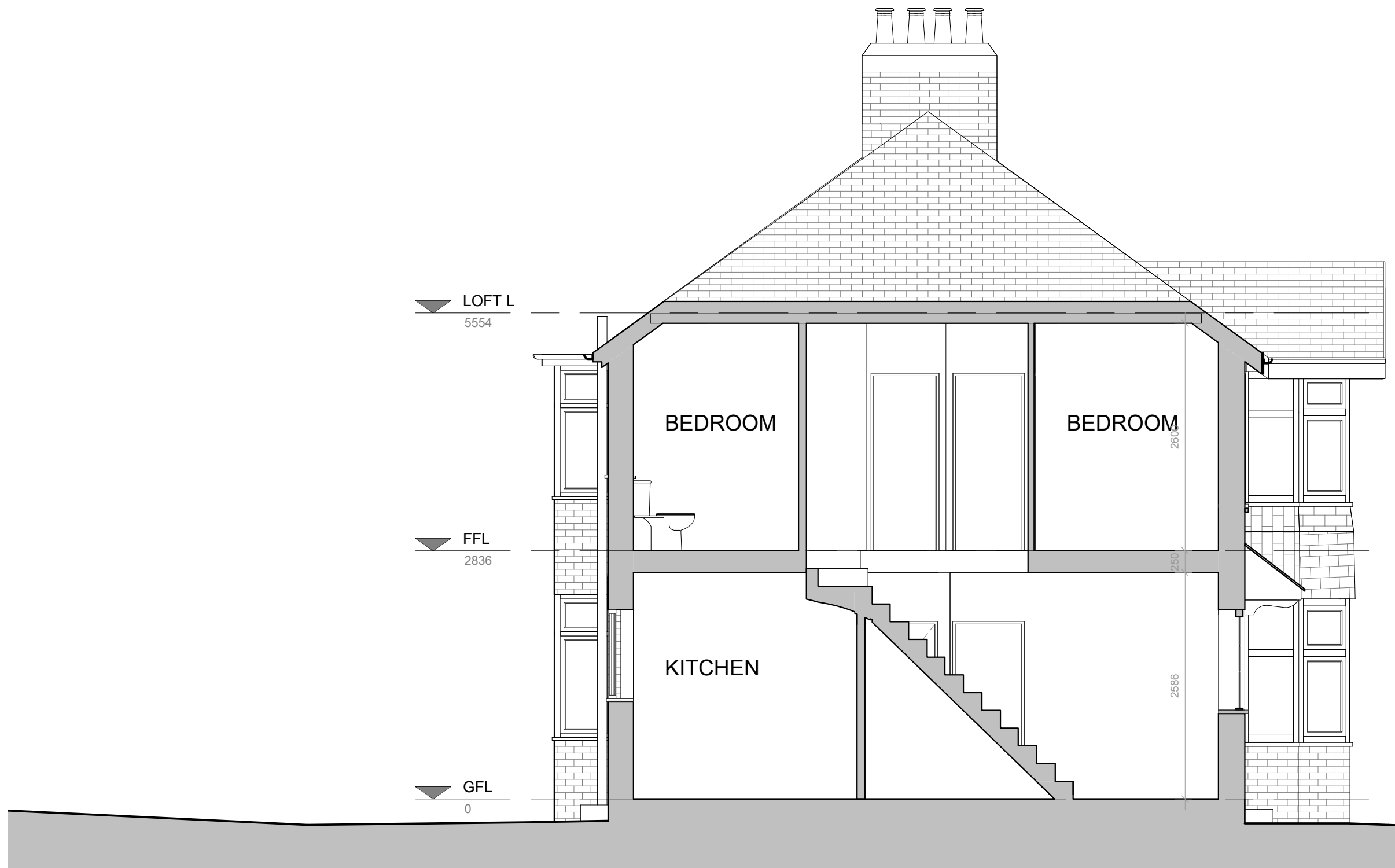


DRWG. NO. A2008

REV.



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CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
SECTION - EXISTING

SCALE: 1:50

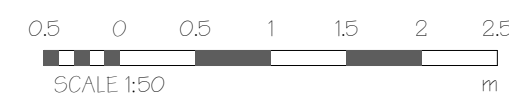
DATE: 23/12/2023

WD ARCHITECTURE
216 South Ealing road
London, W5 4rl
Mob 0044 7749466992
Email info@waadarrz.com



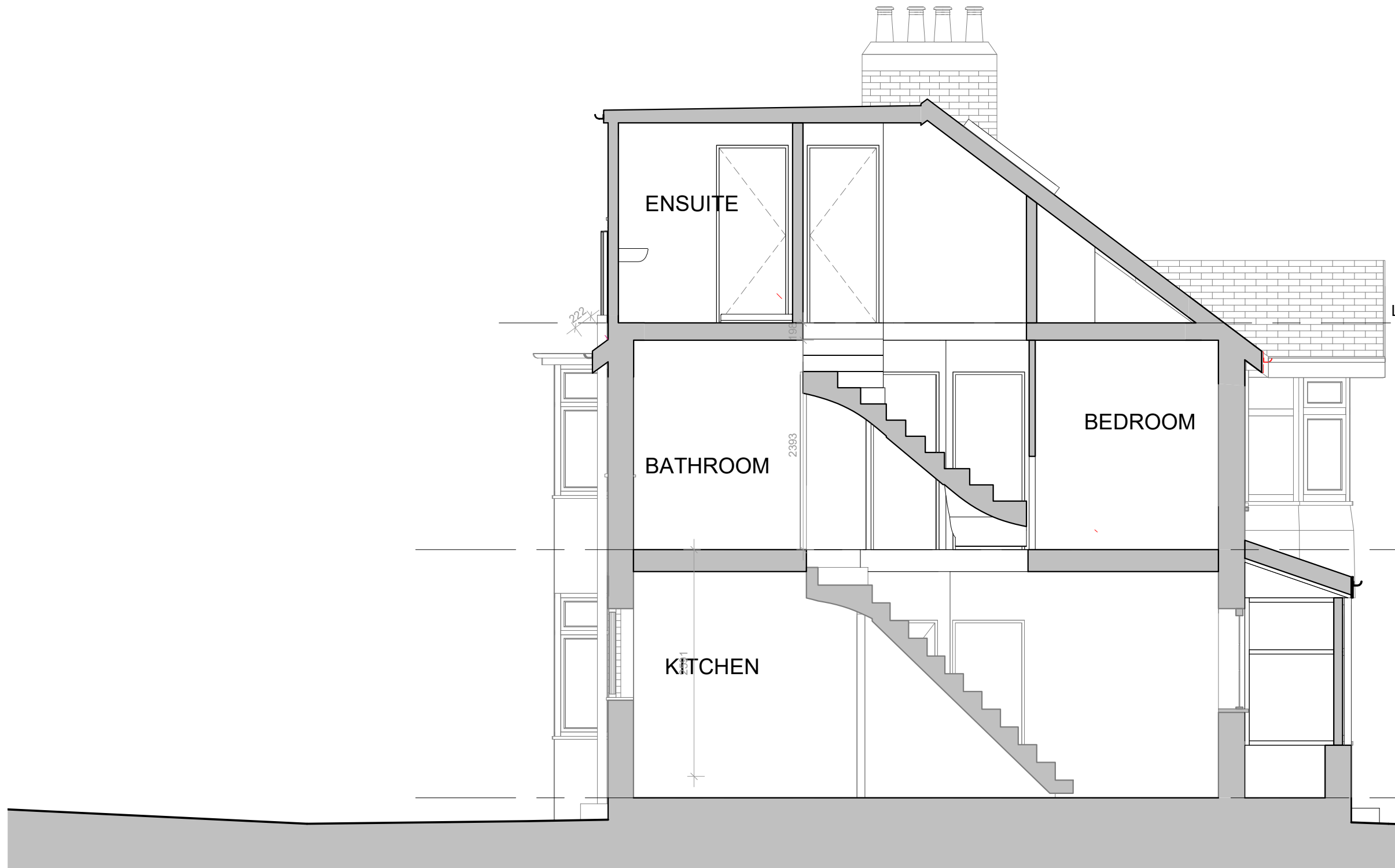
DRWG. NO. A3001

REV.



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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



LOFT Level
5427

FFL
2836

N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE

PROJECT NO.
WD2302.

DRWG. TITLE:
SECTION - PROPOSED

SCALE:
GFL 1:50

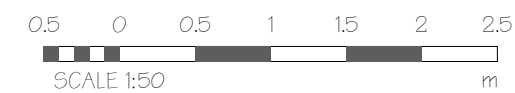
DATE: 23/12/2023

WD ARCHITECTURE
 216 South Ealing road
 London, W5 4rl
 Mob 0044 7749466992
 Email info@waadarrz.com

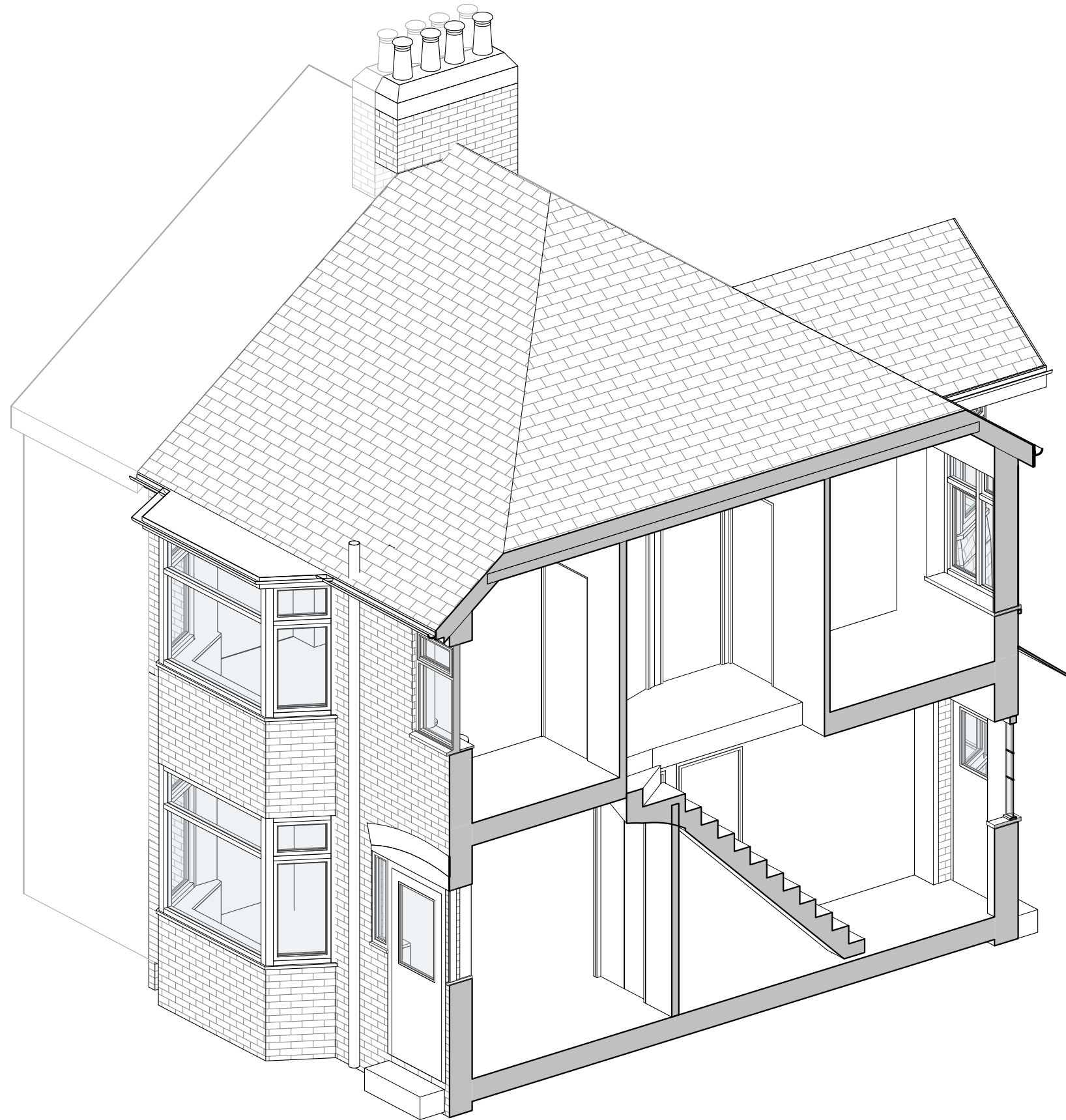


DRWG. NO.
A3002

REV.



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CLIENT:

N / A

PROJECT:	26 Bideford Avenue Perivale, Greenford, W3 7RE	PROJECT NO.	WD2302.
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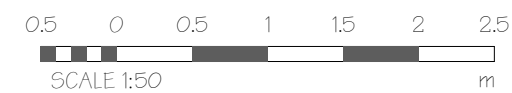
DRWG. TITLE:
3D SECTION - EXISTING

SCALE:	DATE:	23/12/2023
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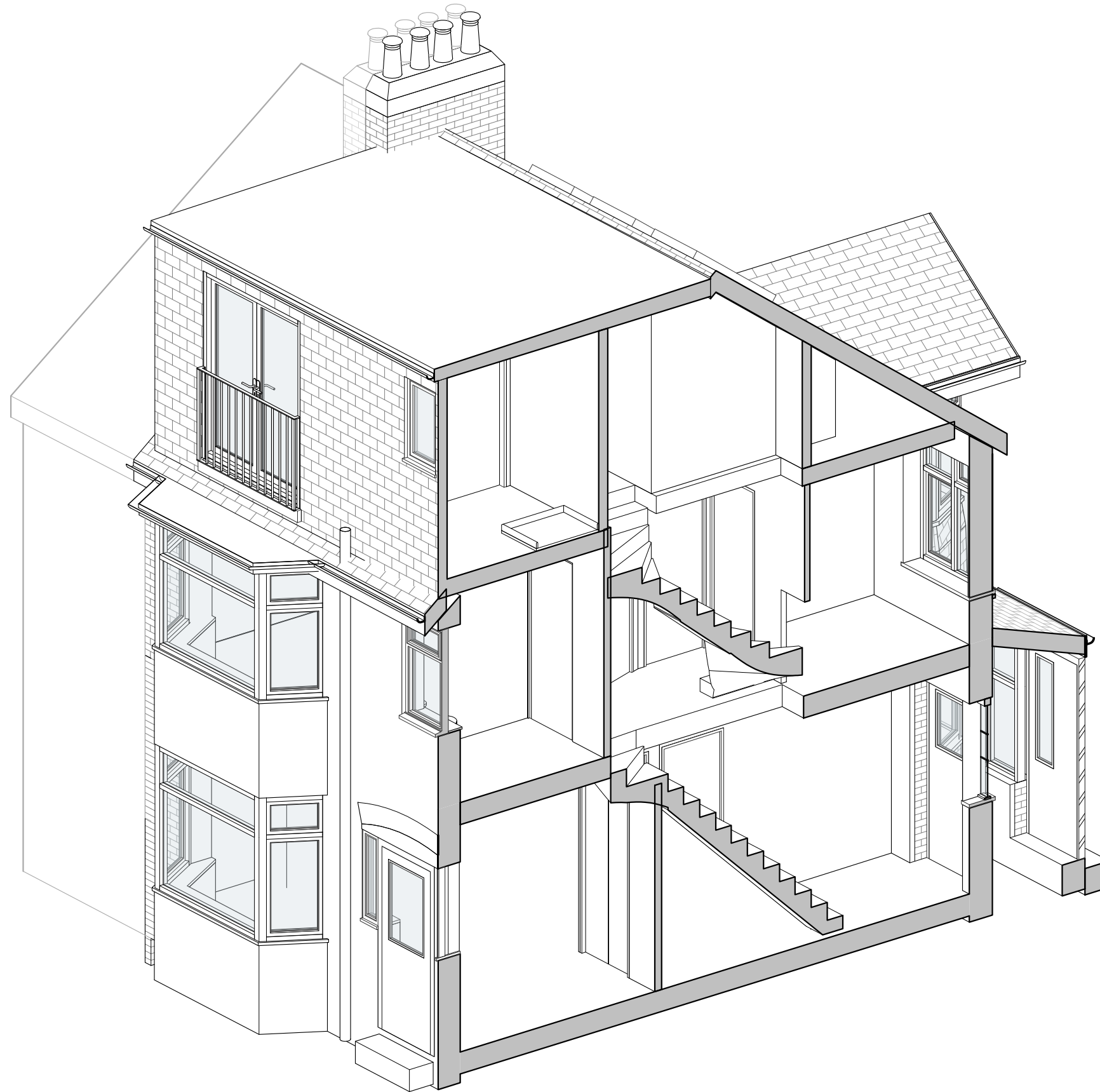
WD ARCHITECTURE
216 South Ealing road
London, W5 4rl
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DRWG. NO.	A3003	REV.	
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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey

CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE PROJECT NO.
 WD2302.

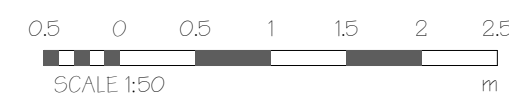
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 3D SECTION - PROPOSED

SCALE: 1:50 DATE: 23/12/2023

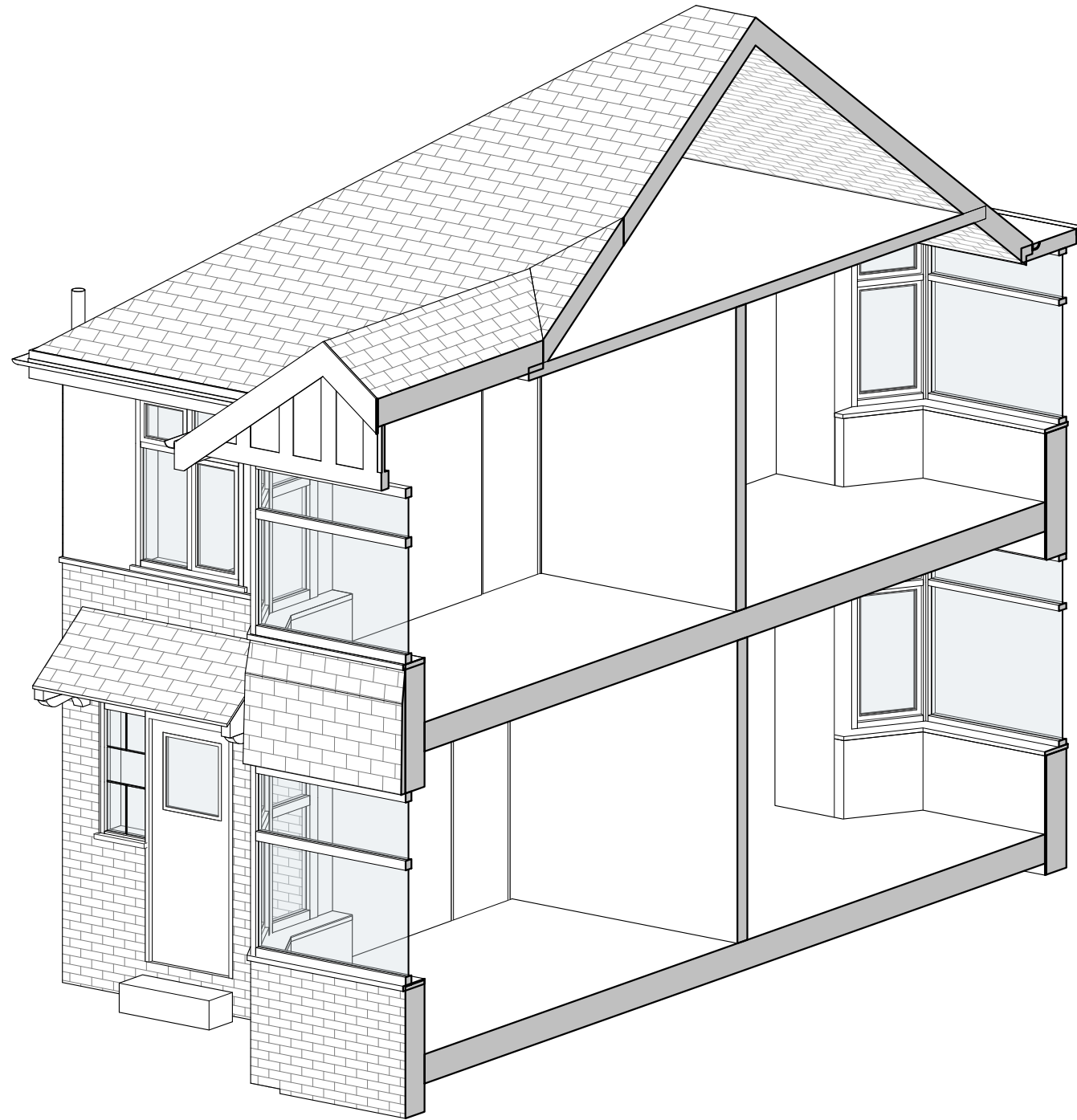
WD ARCHITECTURE
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DRWG. NO. A3004 REV.



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CLIENT:
N / A

PROJECT:	26 Bideford Avenue Perivale, Greenford, W3 7RE	PROJECT NO.	WD2302.
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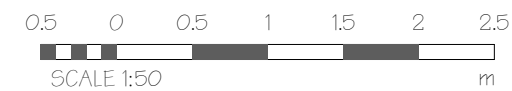
DRWG. TITLE:
3D SECTION - EXISTING

SCALE:	DATE:	23/12/2023
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WD ARCHITECTURE
216 South Ealing road
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Email info@waadddarzz.com

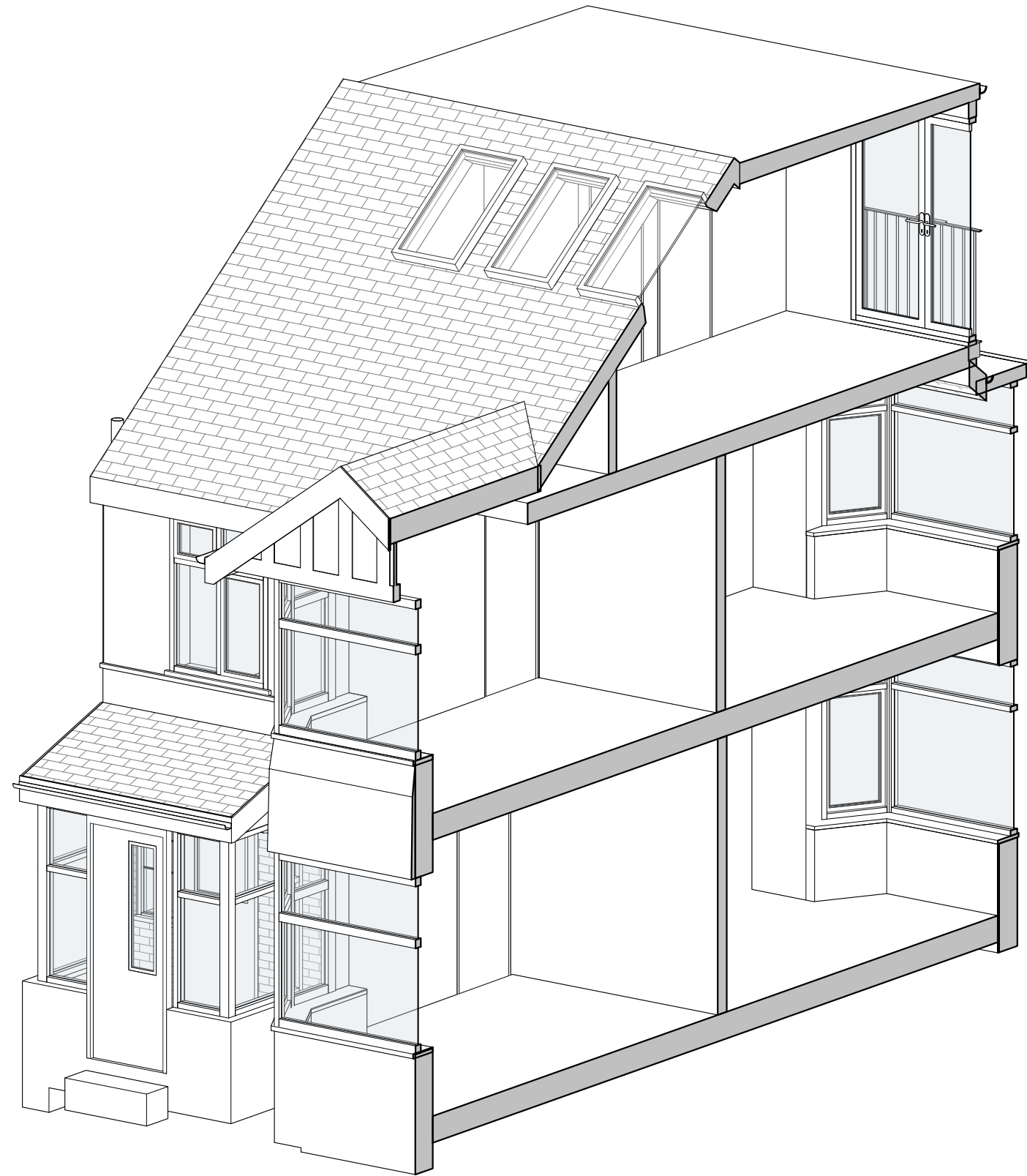


DRWG. NO.	A3005	REV.	
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Materials:
 All new windows/door to match existing colour
 All new rainwater good to be black PVC to match existing.
 All External elevations to be render finish in grey



CLIENT:
 N / A

PROJECT: 26 Bideford Avenue
 Perivale, Greenford,
 W3 7RE PROJECT NO.
 WD2302.

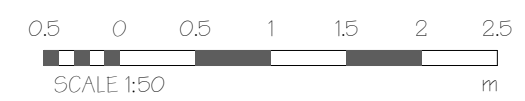
DRWG. TITLE:
 3D SECTION - PROPOSED

SCALE: 1:50 DATE: 23/12/2023

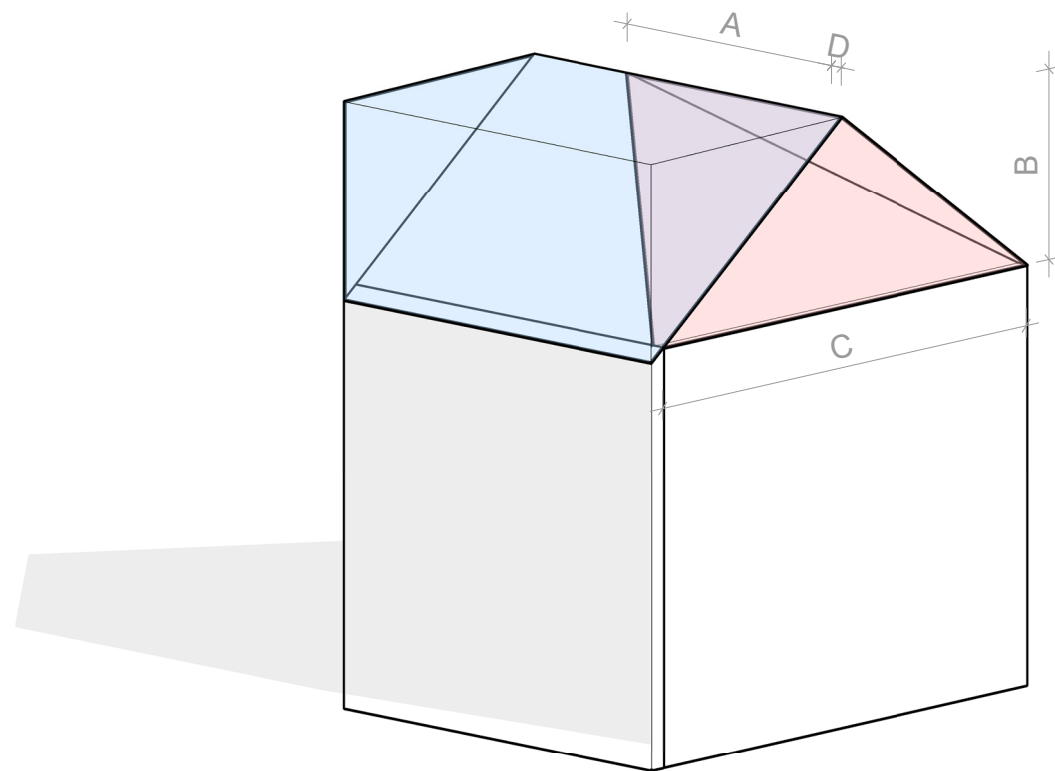
WD ARCHITECTURE
 216 South Ealing road
 London, W5 4rl
 Mob 0044 7749466992
 Email info@waadarchitecture.com



DRWG. NO. A3006 REV.



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$$\text{Hip to gable} = ((A) 3.72 \times (B) 2.58 \times (C) 6.99 / 6) + ((D) 0.18 \times (B) 2.58 \times (C) 6.99) / 2 = 11.18 + 1.62 = 12.80 \text{ m}^3$$

$$\text{Rear dormer} = (\text{length } 3.65 \times \text{height } 2.70) \times \text{depth } 5.58 / 2 = 27.49 \text{ m}^3$$

Total Volume

$$12.80 + 27.49 = 40.29 \text{ m}^3$$

CLIENT:
N / A

PROJECT:	26 Bideford Avenue Perivale, Greenford, W3 7RE	PROJECT NO.	WD2302.
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DRWG. TITLE:
LOFT CONVERSION VOLUME
CALCULATION

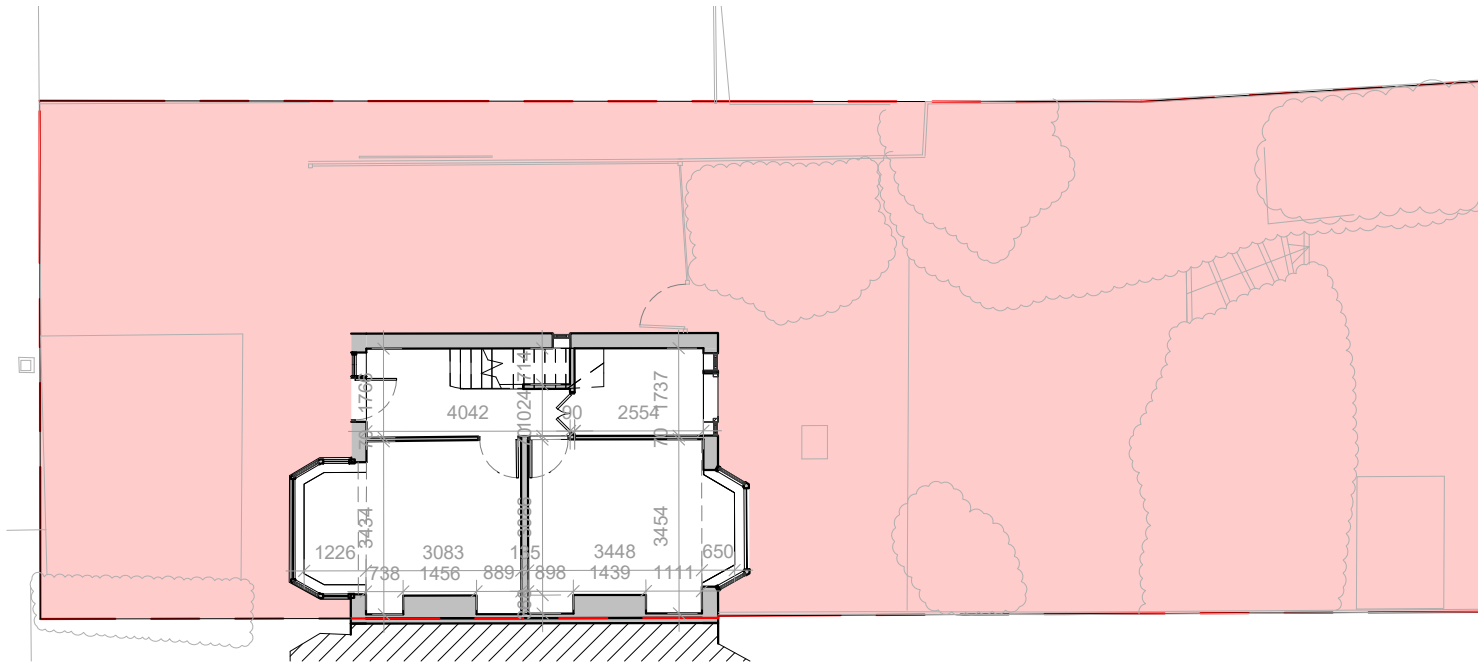
SCALE:	DATE:	23/12/2023
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WD ARCHITECTURE
216 South Ealing road
London, W5 4rl
Mob 0044 7749466992
Email info@waaddarz.com

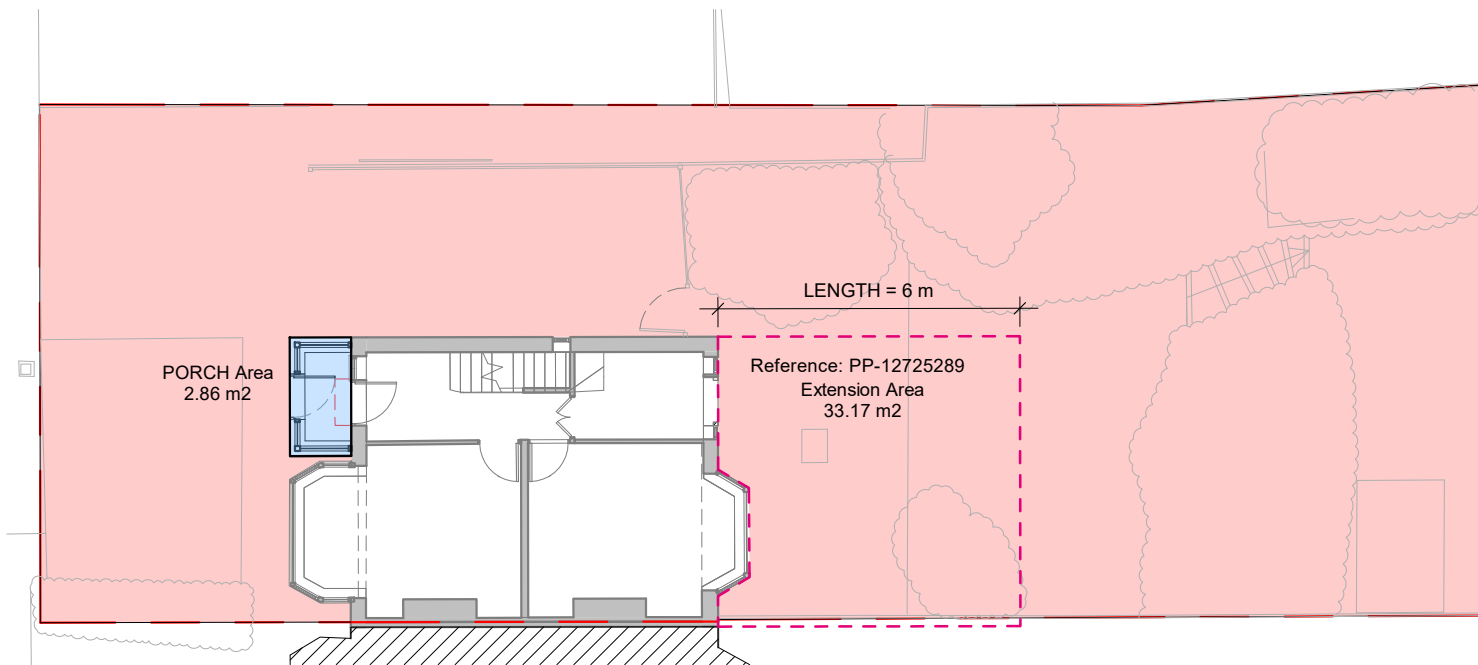


DRWG. NO.	A4001	REV.	
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Existing Site Area = 249.61 m2



Proposed Site Area (Porch) = 249.61 - 2.86 = 246.75 m2
 Proposed Site Area (Porch + Rear Extension) = 249.61 - 2.86 - 33.17 = 213.58 m2

CLIENT:
N / A

PROJECT: 26 Bideford Avenue
Perivale, Greenford,
W3 7RE PROJECT NO.
WD2302.

DRWG. TITLE:
GROUND FLOOR PROPOSED
AREA

SCALE: 1:150 DATE: 23/12/2023

WD ARCHITECTURE
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DRWG. NO. A4002 REV.

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