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DESIGN AND ACCESS / PLANNING STATEMENT

APPLICANT : TOWN PLANNING LAW ADVOCATES LTD

APPLICATION SITE : 45 LONGHOUSE ROAD
CHADWELL, ST MARY GRAYS
ESSEX
RM16 4RT

PROPOSAL : APPLICATION FOR A FIRE AND SAFETY DOOR

OUR REF : TPLA5096PP

DATE : 18TH JANUARY 2024

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ENCLOSURES

1. - Site Location Plan.
2. - Planning Application Form
3. - Proposed and Existing Plan

1.0 INTRODUCTION

- 1.1 This statement is submitted by **TOWN PLANNING LAW ADVOCATES LTD** in support of planning application for **INSERTION OF A FIRE SAFETY DOOR ON THE REAR ELEVATION OF THE OUTBUILDING.**

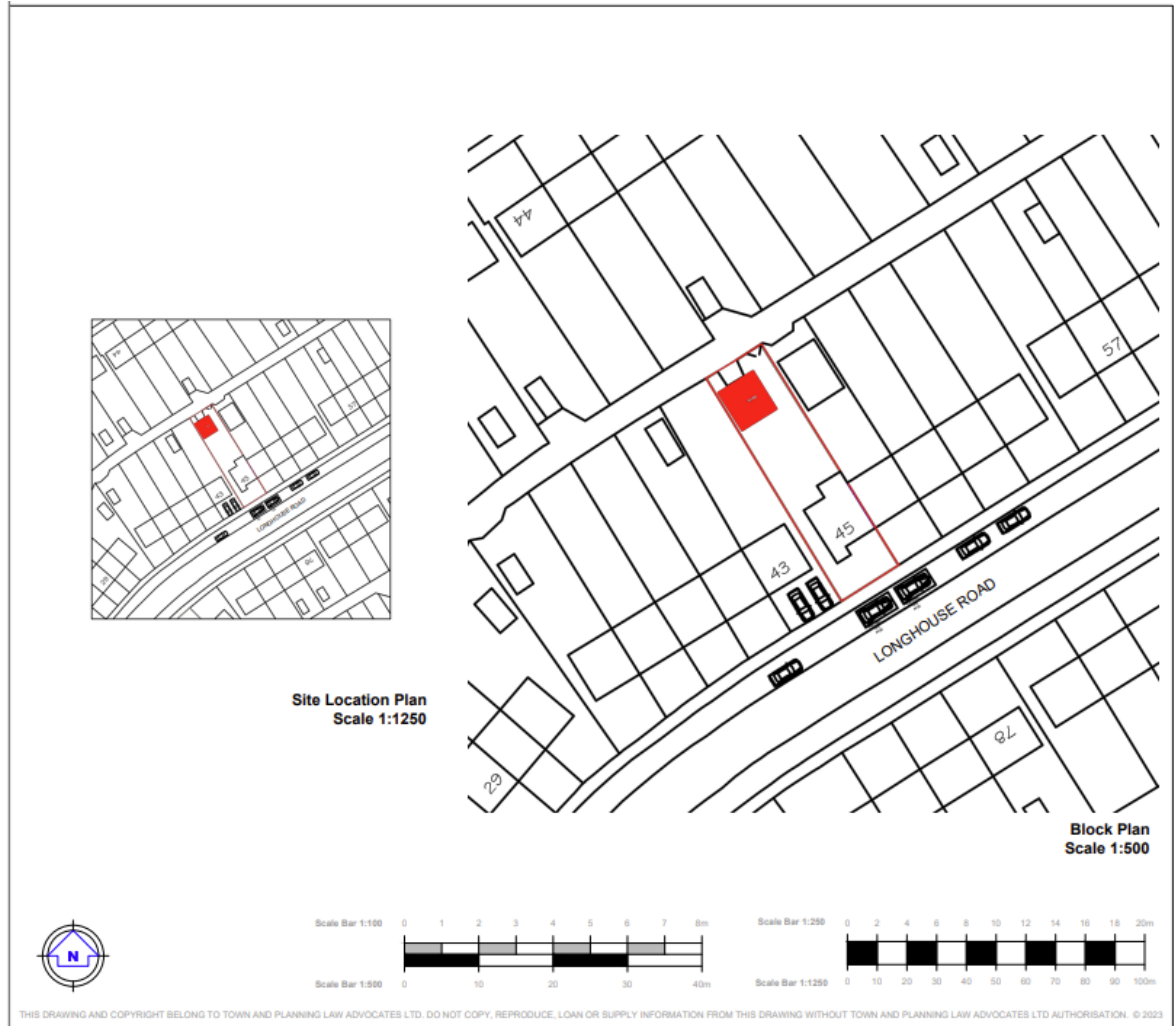
The statement provides a description of the site and its surroundings, the proposal, design & layout, policy and planning considerations.

This statement is written in accordance and in full conformity with the requirements set for planning applications as amended in the Town and Country Planning (general Development Procedure) Order 2006, and guidance on changes to the development control system, DCLG 2006

2.0 THE SITE LOCATION AND DESCRIPTION

- 2.1 The appeal site relates to a two storey end terraced property on the northern side of Longhouse Road.
- 2.2 The outbuilding in question is located to the rear of the site and accessed via the rear access way and service road running across the rear of the terrace.
- 2.3 The area located in a predominantly residential area characterised by rows of terrace, semi-detached and detached properties of various sizes.
The site has an existing vehicle access to the frontage, which is all converted to hardstanding and there is off street parking capacity for 3 cars accessed via a single width access.
- 2.4 The property is not listed, nor does it form part of a Conservation Area or other special designations.





THE HIGHLIGHTED AREA ON THE MAP AND THE ARROW ON THE PHOTO SHOWS THE SITE OF THE PROPOSED DEVELOPMENT

3.0 THE APPEAL PROPOSAL

- 3.1 The applicant seeks planning permission to install a fire safety door on the rear elevation of the outbuilding. Planning permission ref: 17/01064/FUL Conversion of garage into a selfcontained annexe with extensions to garage. A drop kerb proposed to front to accommodate new driveway to allow for use as a separate dwelling.

3.2 Copies of the planning application forms are enclosed in Appendix B. The existing and proposed layout plans are illustrated on the drawings attached.

4.0 DESIGN, ACCESS AND LAYOUT

4.1 DESIGN.

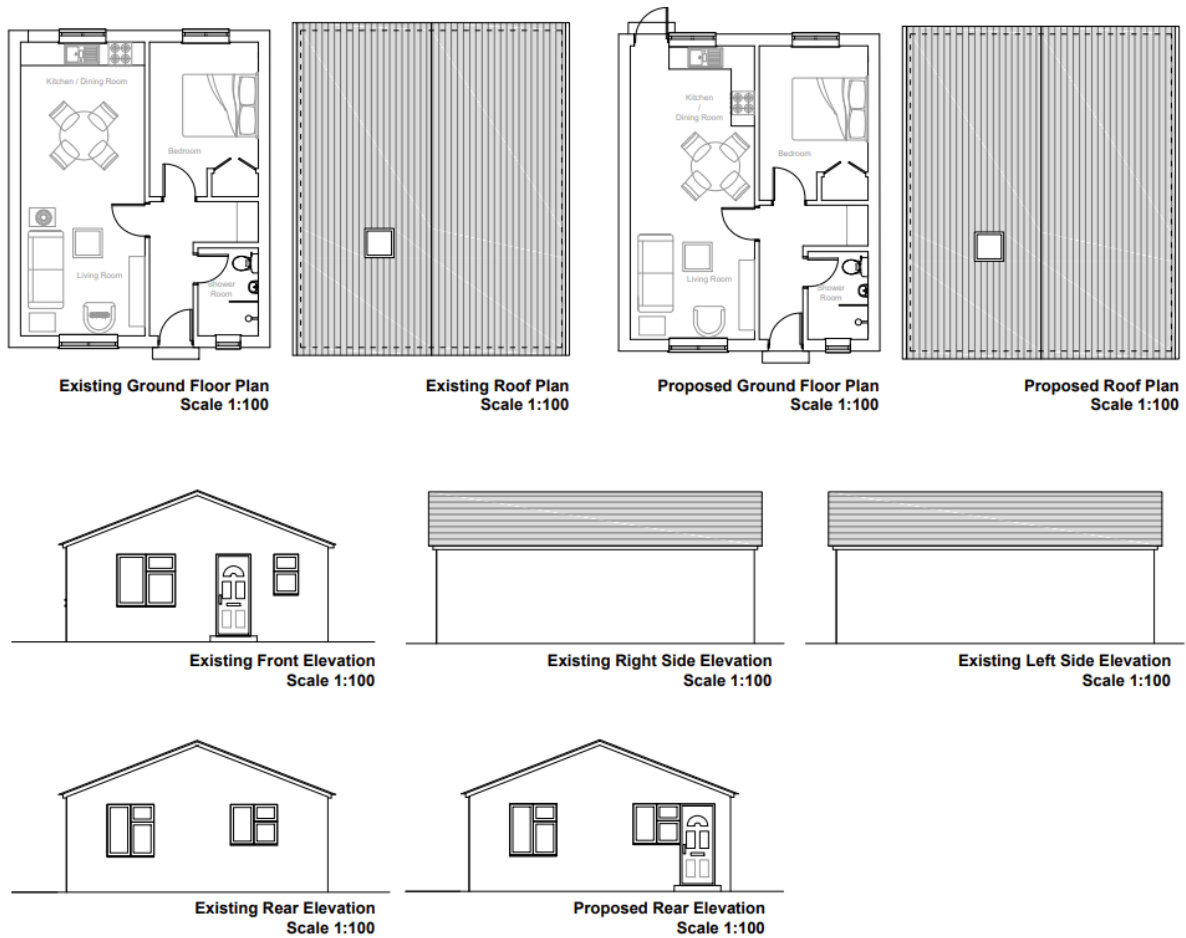
The design involves the insertion of a fire safety door on the rear elevation of the of the outbuilding. The door will be coated white to blend with the host dwelling. The door is designed as a fire escape exit, and it will be located close to the kitchen area.

4.2 ACCESS

The existing alleyway access via Longhouse Road and the rear driveway would be maintained.

4.3 LAYOUT

This statement should be read in conjunction with the following drawing:



The drawing shows the existing and the proposed floor plans and the elevations.

5.0 POLICY CONSIDERATIONS

5.1 National Planning Policy Framework 2023

5.2 The London Plan 2021

5.2 Thurrock Local Development Framework (as amended) 2015

CSTP23 (Thurrock Character and Distinctiveness)

5.3 Residential Alterations & Extensions SPD (RAE) (adopted September 2017)

5.0 PLANNING CONSIDERATIONS

5.1 This section considers the planning issues relating to this planning application and demonstrates – with reference to Development Plan policies and other material considerations - that permission should be granted.

- Under the provisions of S.38 (6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine planning applications in accordance with the policies of the Development Plan, provided they are up to date and relevant, unless material considerations indicate otherwise.

- The policies quoted in the decision notice in relation to the development plan provide only general guidance, each case is to be judged on its own individual merits, having regard to the circumstances at the site and the design of the proposal.

5.2 The main issue in this application relates to the following:

- 1- History of the site
- 2- Principle of the development
- 3- Design consideration (fire safety)

5.3 History of the site

The site history shows that planning permission refer: 17/01064/FUL was granted with conditions for Conversion of garage into a self-contained annexe with extensions to garage. A drop kerb proposed to front to accommodate new driveway.

5.4 Principle of development

Thurrock Council has no specific fire safety policy, in this case The London plan would be relevant as a policy reference point.

The principle of development is instigated by Policy D12 (Fire safety) of the London Plan 2021 which highlights that:

In the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety and ensure that they:

- 1) identify suitably positioned unobstructed outside space:
 - a) for fire appliances to be positioned on
 - b) appropriate for use as an evacuation assembly point
- 2) are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures
- 3) are constructed in an appropriate way to minimise the risk of fire spread
- 4) provide suitable and convenient means of escape, and associated evacuation strategy for all building users
- 5) develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in
- 6) provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.

- 5.5 In this case, the applicant considers the existing dwelling to be unsafe considering that it has only one fire exit and therefore to comply with fire safety regulations a fire exit is proposed within the kitchen area. It is considered that the proposed fire exit would ensure that the applicant is not trapped within the building during an outbreak of fire.

The principle of development is a material consideration in this case, and it should be given weight.

5.6 **Design consideration (fire safety)**

The proposal involves the installation of a fire exit door on the rear elevation of the dwelling. The existing dwelling was designed with only one main door which serves as an entrance and exit.

The kitchen located at the rear of the building which is a considerable distance from the only exit door.

The proposed door will be located close to the kitchen or cooking area to serve as a quicker and easier escape exit in the case of an outbreak of fire.

5.7 The applicant is an elderly person with a slow mobility and therefore, the perceived fear of fire entrapment is eminent.

While the onus of fire safety lies with the user, the London Plan Policy D12 emphasis that "In the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety".

The proposed installation of the rear fire exit would ensure that the dwelling has at least two fire escape routes; the front exit and rear exits which both have fire assembly points.



The photos show that the existing dwelling has only one front door



Existing Front Elevation
Scale 1:100



Existing Rear Elevation
Scale 1:100

The drawings show the existing front and rear elevations



Proposed Rear Elevation
Scale 1:100

The drawing shows the proposed rear elevation with a fire exit.

7.0 CONCLUSION

- 7.1 The proposed fire safety exit would ensure the safety of the applicant (building user), in the absence of any anticipated harm arising from the proposal, the proposed development will accord with the London Plan policies and therefore should be granted planning permission.

Under the provisions of S.38 (6) of the Planning and Compulsory Purchase Act 2004, the Local Planning Authority is required to determine planning applications in accordance with the policies of the Development Plan, provided they are up to date and relevant, unless material considerations indicate otherwise.

