

DESIGN, ACCESS AND HERITAGE STATEMENT

for

Proposed Alterations at
3 Sharland Close, Sneyd Park, Bristol



prepared on behalf of

Mr R. Stansfield

prepared by

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1.0 Introduction

This application is for works to form a new garage space and associated alterations at 3 Sharland Close, Sneyd Park, Bristol (the 'Property').

The proposals seek to alter the existing property to infill a covered walk through beneath an existing roof to provide more functional and generous combined garage spaces with store and small workspace.

The property is not listed and is within the Sneyd Park Conservation Area.

Richard Pedlar Architects (RPA) has been appointed by the applicant to prepare proposals showing the new proposals set out above. The proposals will be shown to improve the use of the building to suit the requirements of the owner and improve the Conservation Area.

2.0 Description of the Building and Setting

Please also see the accompanying architect's drawings and photographs (Appendix A) submitted as part of the Planning application.

2.1 3 Sharland Close - External

3 Sharland Close is a 4-bedroom detached property built in the mid 1970's as part of a group of 4 houses. The property has rendered and horizontal timber boarded walls and concrete tiled roofs with modern uPVC double glazed windows and doors.

The living space was extended by the previous owners with sliding glazed doors that open to the SW towards the attractive garden.

To the side of the main house is a single garage, covered walkthrough and workshop with a pitched concrete tiled roof to the front and rear, and first floor terrace with an inset flat roof overlaid with paving.

2.2 3 Sharland Close - Internal

The living accommodation is set over two floors with a garage and covered walkthrough beneath a single storey roof to the northeast side of the main house.

The existing ground floor contains the main living accommodation, with kitchen / utility areas, GF WC and the extended living room. Main circulation is from the hallway to the staircase which provides access to the first floor bedrooms and bathrooms. At first floor level there is an external terrace over the garage and covered walkthrough accessed from the bedroom in the NE corner.

2.3.1 History and Setting

The property is not listed, it is within the Sneyd Park Conservation Area.

An analysis of historic maps indicates the development and evolution of the site, figure 1 shows the site (outlined in red) in the late 19C within the grounds of plot 739 Sharland House (no.6 and 6a Church Road):

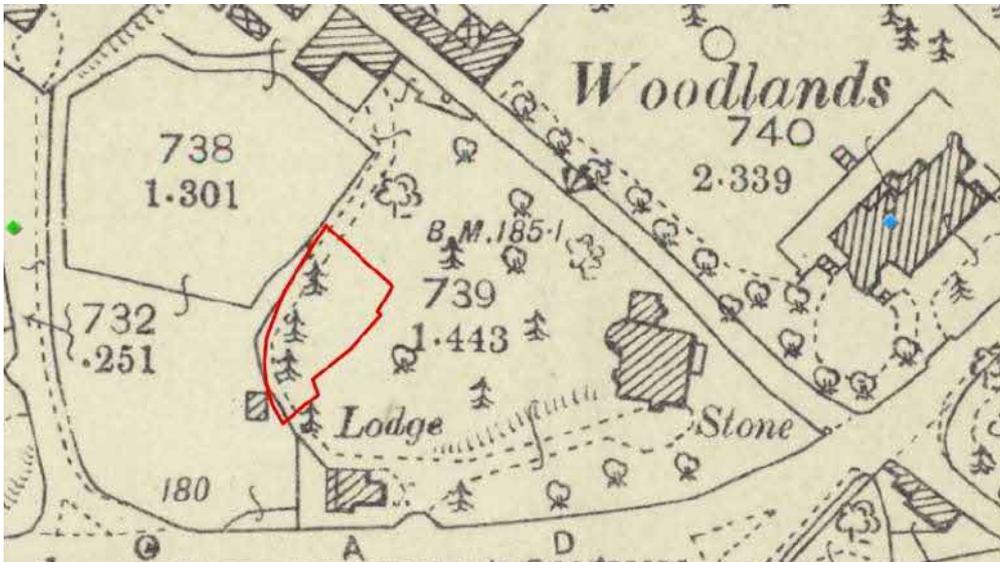


Figure 1: 1894 – 1903 OS 25" 2nd Edition – Source: 'Bristol Know Your Place website'

Figure 2 shows a map from 1949 with the site (outlined in red) and further development and subdivision of plot 739:

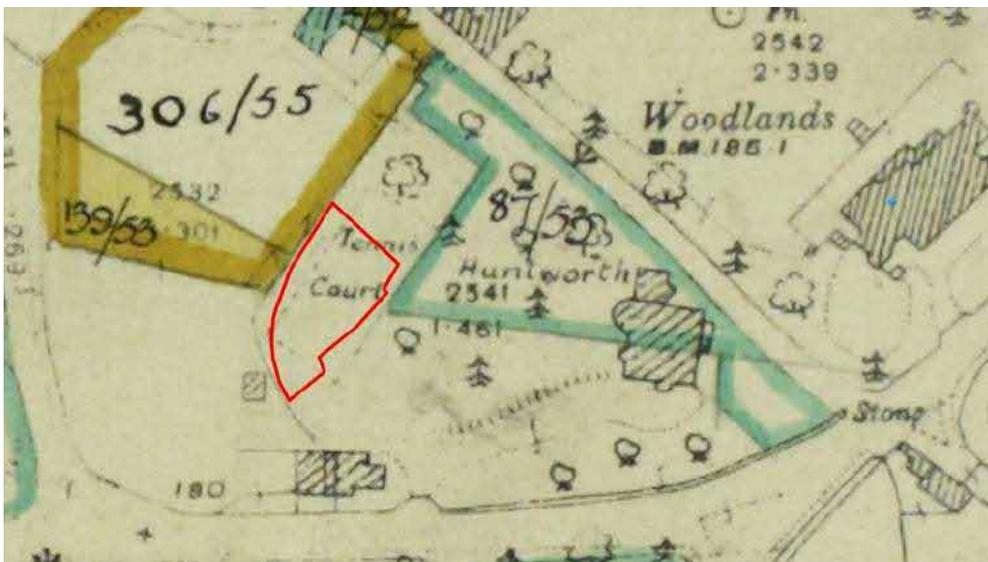


Figure 2: 1949 Map – Source: 'Bristol Know Your Place website'

The Property is located within the Sneyd Park Conservation Area. The qualities of the area are summarized as follows:

Description of the Area:

The following extracts are taken from the "Sneyd Park Conservation Area Enhancement Statement":

“A gently undulating area located just to the north of Durdham Down and bounded by the Avon Gorge and Valley to the east is the setting for the Sneyd Park Conservation Area, a verdant residential suburb of north Bristol.”

“Larger than average semi-detached and detached houses were constructed. Many were influenced by the ‘Arts and Crafts’ style and were typical in style to many of the speculative suburban buildings in north-west Bristol although the density of development was somewhat lower than in other areas.”

“The demand for housing in the post-war period created an intensive period of development. Initially many of the large houses were either converted into flats or redeveloped at a higher density with new blocks of flats. Then properties with large gardens sold off plots for smaller housing.”

2.3 Relevant Planning History

Information taken from the Bristol City Council Planning website relating to the site:

Convert House into Two Dwelling Houses.
Ref. No: 50/06420/U_U | Status: GRANTED

Extension
Ref. No: 51/07269/U_U | Status: GRANTED

Alterations
Ref. No: 51/07306/U_U | Status: GRANTED

Erect additional bedroom, garage and provide Parking Bay
Ref. No: 53/00865/U_U | Status: GRANTED subject to condition(s)

Outline application for the use of land edged red on plan for the erection of one detached dwelling.
Ref. No: 61/01703/P_U | Status: GRANTED subject to condition(s)

Two detached residences and pair of garages
Ref. No: 69/00881/P_U | Status: GRANTED subject to condition(s)

Erection of eight dwellings in single block of three storeys with garages on ground floor
Ref. No: 72/02576/P_U | Status: Application REFUSED

Erection of eight dwellings in single block of two storeys with separate garages
Ref. No: 72/02577/P_U | Status: Application REFUSED

Erect Four Detached Patio Houses with separate Garages
Ref. No: 72/05251/P_U | Status: GRANTED subject to condition(s)

Erection of four houses - amended access.
Ref. No: 73/04594/P_U | Status: GRANTED subject to condition(s)

Extension of existing house to form integral breakfast room.
Ref. No: 73/06302/U_U | Status: GRANTED subject to condition(s)

40% reduction of may tree
Ref. No: 86/02606/V | Status: TREEA

Fell Cupressus tree
Ref. No: 94/00359/V | Status: TREEA

Single storey rear extension
Ref. No: 13/04664/H | Status: GRANTED subject to condition(s)

3.0 An Assessment of Significance

3.1 Significance within the Area

3 Sharland is a modern house constructed in the mid 1970's within the former grounds of a large Victorian house. Whilst part of the Conservation area, it is not a significant asset.

3.2 Architectural Significance

3 Sharland Close is not architecturally significant.

4.0 Description of Proposals

The proposals seek to convert the existing covered walkway space beneath an existing single storey roof to create a new garage and new store / workspace.

4.1 Use

There is no change proposed to the existing use as a private dwelling.

4.2 Amount

The gross internal floor area of the existing dwelling is not changed. The gross internal area of the new garage and store / workspace is 22m².

The proposals create one additional parking space.

4.3 Layout

The internal layout of the dwelling is not changed.

The existing covered walkway space is converted to form a new garage and store / workspace. The existing store at the rear is removed to provide a front to back depth of 6000mm for the new garage.

New structural openings are formed in the existing dividing wall separating the garages to provide more functional and generous combined garage spaces.

4.4 Scale & Appearance

The existing garage door will be removed, new garage doors are provided to the existing and new garage space, with horizontal slats, the colour is anthracite.

New windows are added to the northwest elevation to match the existing detail. An existing vertical boarded timber door will be reused on the southwest elevation.

New walls are rendered to match the existing, the existing concrete tiled roof is retained.

4.5 Sustainability

The proposals make better use of an existing covered walkway space to provide new a new garage and store / workspace.

4.6 Landscaping

The existing garden and front driveway is not changed.

4.7 Access

The approach route to the building is sloping from Church Road, access into the building is not changed. The addition of a car parking space improves access.

5.0 Impact of the Proposed Development

5.1 Impact of the proposals on the Conservation Area

The property is set back and not visible from Church Road, the proposals are in keeping with the 1970's development and would not impact on the Conservation Area.

5.2 Impact of the proposals on the Historical Significance

The proposals do not have a detrimental effect on the historical significance.

5.3 Impact of the proposals on the Architectural Significance

The property does not have architectural significance.

5.4 Impact of the proposals on the public

The property is one of group of four buildings built in the 1970's that all have a similar appearance. The proposals are in keeping with the existing character of the buildings and would improve the use of the property, thus improving the Conservation Area.

6.0 Conclusion

We believe that appropriate proposals for the Property and Conservation Area are being put forward, based on sensitive design and good urban design principles. We therefore request that this application is put forward with a recommendation for approval.

7.0 Appendices

Appendix A - Photographs



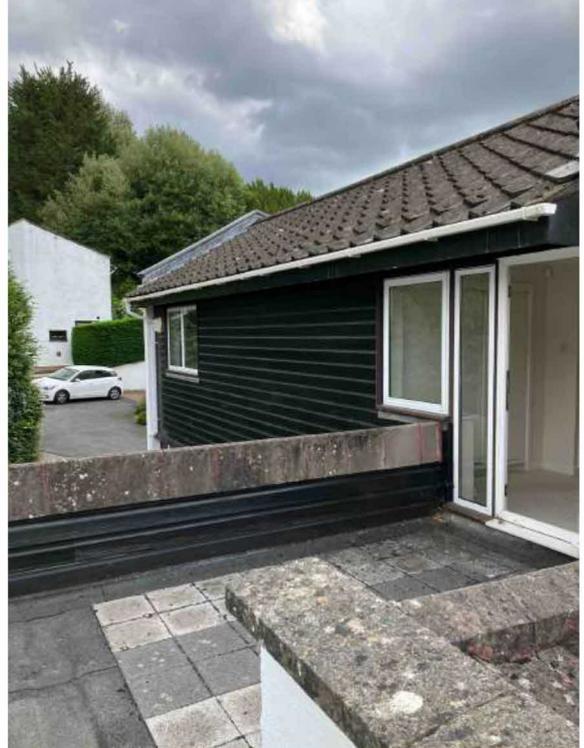
Northeast elevation showing the existing covered walk through



Southeast elevation showing rendered side wall and garden



Southeast elevation – front driveway and existing garage / covered walk through



Northeast elevation from first floor terrace



Southwest elevation LH side



Southwest elevation RH side



Garden to the west of the house



Southwest elevation glazed living room extension



Covered walk through from southwest side



Northwest elevation existing window



Existing door to store room to be reused in proposed scheme