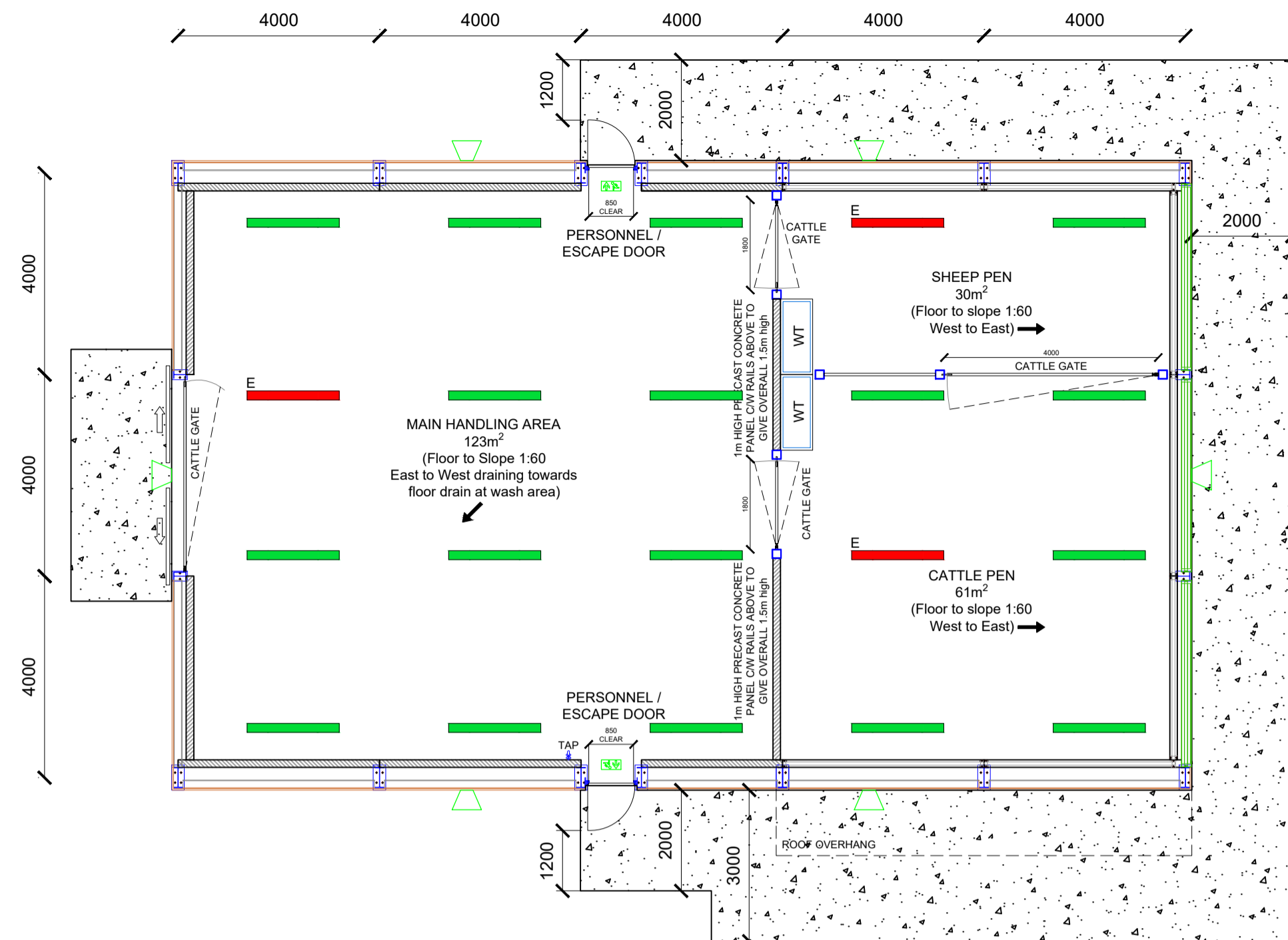
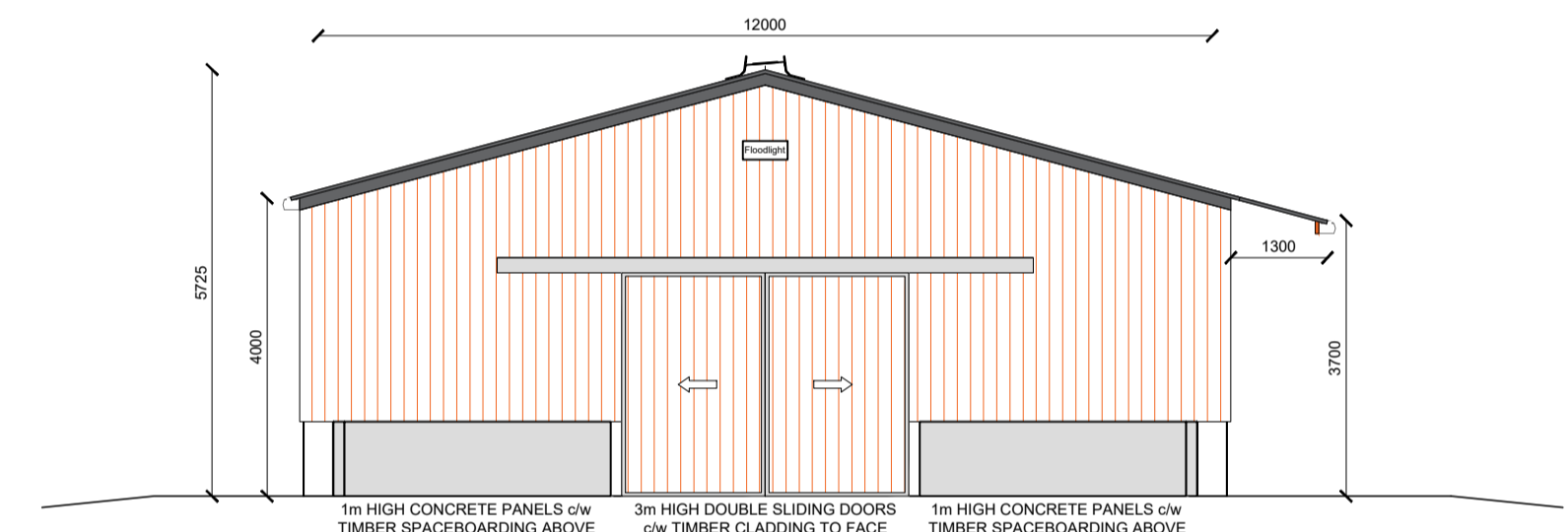


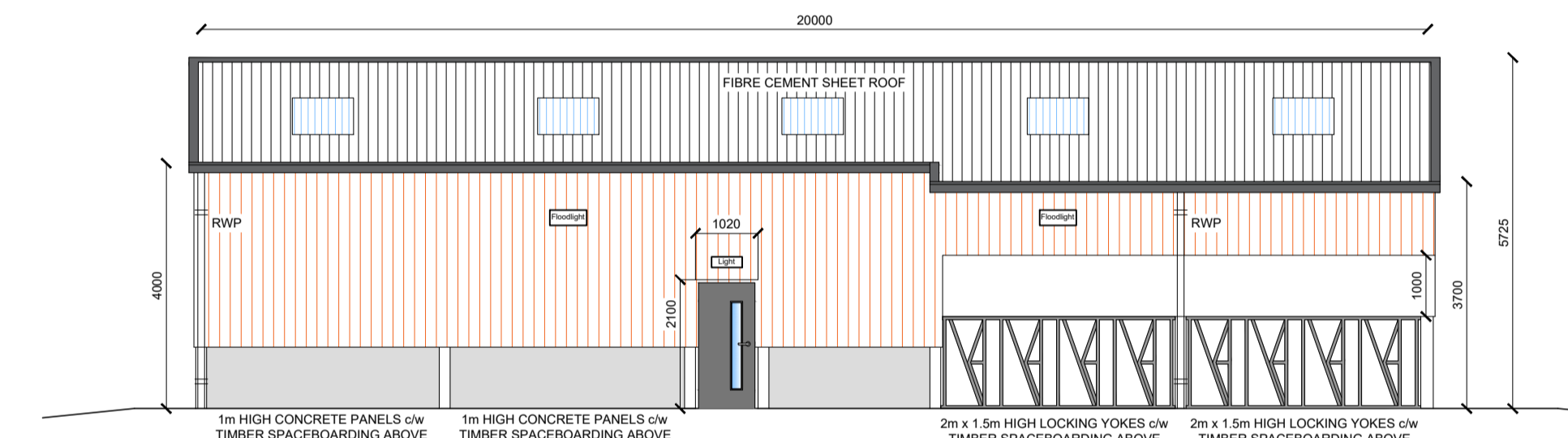
ROOF PLAN
SCALE: 1:100



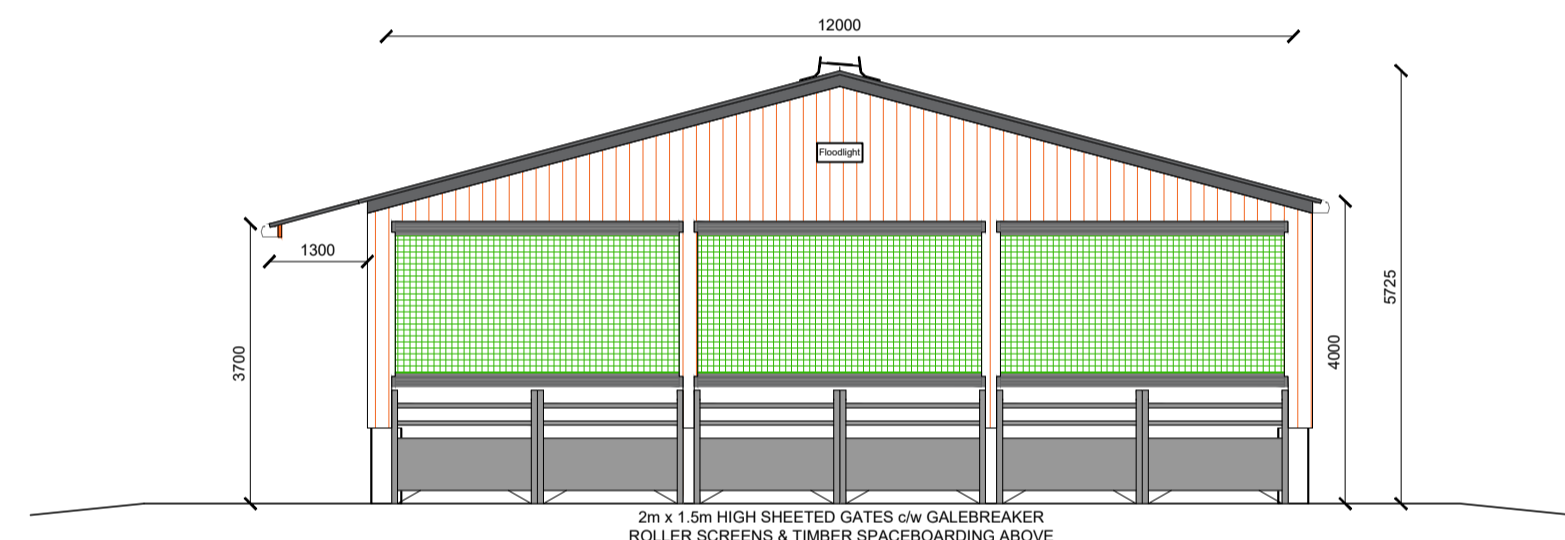
FLOOR PLAN
SCALE: 1:100



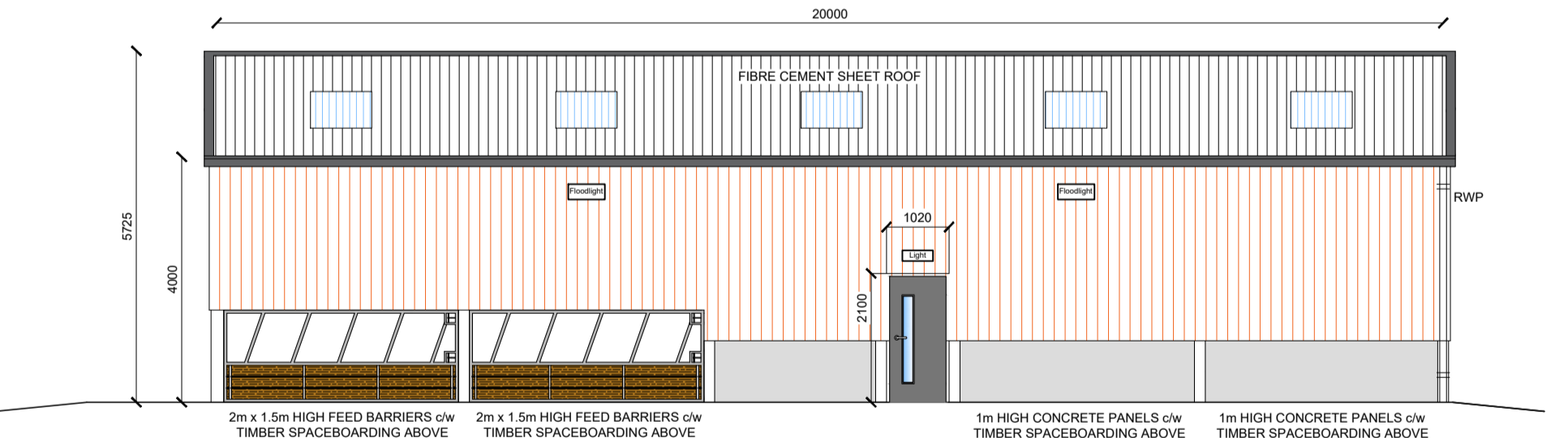
WEST ELEVATION
SCALE: 1:100



SOUTH ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100



NORTH ELEVATION
SCALE: 1:100

BUILDING STANDARD NOTES

BRITISH/EN STANDARDS
All works to be completed fully in accordance with The Building (Scotland) Regulations 2004, all current amendments, Technical Handbooks and approved Building Warrant drawings with the appropriate Local Authority; see also Construction Compliance and Notification Plan.

Works to be carried out in strict accordance with sections 0.12 of the non-domestic Technical Handbook.

CDM REGULATIONS/HEALTH & SAFETY
The client shall make themselves aware of their duties as described in the HSE guidance book 'managing health and safety in construction' ISBN 0-717602139-1 and shall only employ competent persons to execute the works.

HSE notification will not be required on this contract as works do not last 30 days and 500 person days. Contractors and Sub-contractors to works strictly in accordance with current CDM Regulations, Health & Safety at Work Act, Codes of Practice, British Standards and Manufacturers' Guidance.

All downtakings and removals to be carried out strictly in accordance with BS 6187 (2011) and The Health & Safety at Work Act.

No prohibited materials to be used

This drawing and specification is to show design intent only. The works are to be procured on a design and build basis, with the Contractor fully responsible for all aspects of the design.

Construction of new uninsulated, unheated and naturally ventilated agricultural shed at Sunnybrae Farm, Aberdeen to comprise the following:

1.0 Foundations
Refer to Structural Engineer's drawings for foundation design intent information. All foundation sizes to be confirmed by D&B contractor's Structural Engineer and included within SER certification.

2.0 Structural Frame
Refer to Structural Engineer's drawings for structural frame design intent and roof layout design intent information. Contractor designed agricultural galvanised steel portal framed shed. Steel and section sizes to be confirmed by D&B contractor's Structural Engineer and included within SER certification.

3.0 Floor
Refer to Structural Engineer's drawings for ground floor slab design intent information. Ground floor slab design to be confirmed by D&B contractor's Structural Engineer and included within SER certification. Floor to have brushed / grooved finish to provide non-slip finish.

4.0 Walls
Precast concrete panels to comprise 100mm thk, 1000mm high panels c/w tongue and grooved joints, bolted to face of steel columns with cleats and angles, all by Moore Concrete or equal and approved.

External timber space board wall cladding to comprise 22mm thk preservative treated softwood timber boards 150mm wide, secured to cladding rails.

5.0 Personnel & Fire Escape Doors
2No. 1020mm W x 2100mm H steel fire escape personnel doorsets Equality Act compliant with vision panel (200w x 1450h) and accessible threshold, all in compliance with BS6262 Part 4 2005. Ironmongery to be internal escape push bar with lever handle access externally. All fire escape personnel doors to open onto concrete handstanding providing a 1.2x1.2m minimum concrete plate with minimal crossfall to direct rainwater away from the building.

6.0 Sliding Door
1No. double sliding manually operated door between steel frame 3000mm high, c/w timber space board cladding infill to match elevations c/w protective hood over sliding door gear.

7.0 Roof
15° roof pitch and finished with Marley Eternit profile 6 fibre cement roof coverings, colour natural grey, c/w GRP translucent rooflights to provide natural daylight and covered open lightridge by Galebreaker to ridge. Include for all accessories, trims, barge boards, corner pieces etc to give a complete installation. All fixed to galvanised steel 'Z' section roof purlins spanning between portal frame members.

As per Section 4.8.7 of the Scottish Technical Standards, access to the roof will be on a very infrequent basis and that a suitable access platform would be used in accordance with the Work at Height Regulations. Suitable 'Fragile Roof' warning signs shall be displayed around the perimeter of the building on each elevation in accordance with BS5499:Part 5: 2002.

8.0 Rainwater Goods
Rainwater gutters to be 200mm box profile, discharging into 110mm dia Marley PVC downpipes, connected into existing below ground drainage system. Colour: Grey.

9.0 Electrical Generally
All electrical work must be carried out by either a NICEIC, SELECT or ECA registered approved contractor and shall comply with BS7671 'Requirements for Electrical Installations' complete with all up to date amendments. All test certification to be provided on completion of works.

All new electrical accessories and controls shall be accessible and located in accordance with Equality Act Regulations, BS8300 and Section 4.6 and 4.8.5 of the Scottish Technical Standards. Specifically installation to comply as follows:

Outlets and controls of electrical fixtures and systems shall be positioned at least 350mm from any internal corner, projecting wall or similar obstruction and not more than 1.2m above finished floor level. This would include fixtures such as sockets, switches, fire alarm call points and timer controls or programmers.

Outlets and controls of electrical fixtures and systems to be positioned at least 300mm from any sink units or water sources.

Light switches should be positioned at a height of between 900mm and 1.1m above finished floor level.

Standard switched or unswitched socket outlets and outlets for other services shall be positioned at least 400mm above finished floor level. Above an obstruction, such as a worktop, fixtures should be at least 150mm above the projecting surface.

All other controls and switches to be mounted at a height of no more than 1200mm above FFL including distribution boards.

10.0 Lighting & Emergency Lighting
Emergency Lighting in accordance with BS5266: Part 1: 2016 and BS EN 1838: 2013. All emergency lighting to be on a protected circuit. Luminaires and exit sign above escape door. New fittings to be self-contained luminaires and provide 3hrs in event of local and general electrical supply failure. Light positions and configuration illustrative only. Design and Build Contractor to undertake full design, including positioning and orientation of all fittings, all to ensure sufficient and correct lux levels.

11.0 Ventilation
Due to the nature of the building and it being used for agricultural purposes, natural ventilation will be provided via open spaces in the building envelope (i.e., covered open light ridge, spaceboard wall cladding, locking yokes etc.), resulting in more than sufficient natural ventilation to the building.

1. This drawing is the property of JC+P and must not be copied, reproduced or disclosed without written permission from JC+P.
2. Quality and quantity of work. Tenders must include for all works shown, described or apparent as being necessary for the complete and proper execution of the works.
3. Do not construct from scaled dimensions.
4. Contractor to check and verify all dimensions on site before proceeding with the works.
5. All works to comply with BS 8000: 1989.
6. All fixed metalwork, hot and cold water, gas & heating shall be earthed and cross bonded.
7. The electrical installation shall comply with BS7671:2008 '18th Edition, c/w all amendments.
8. The fire alarm system shall be installed in accordance with the recommendations contained within BS5839-1:2002 & A2:2008 'Fire Detection and Fire Alarm Systems for Buildings' c/w all up to date amendments.
9. If there is any doubt, please ASK!

Rev A (10.08.2023): Elevations added.
Rev B (15.08.2023): Orientation changed.
Rev C (02.10.2023): Cladding changed to space boarding.
Rev D (06.10.2023): Various amendments follow client review.
Rev E (15.01.2024): Cladding raised 1m above locking yokes on south elevation.

The following matters are risks associated with elements shown on this drawings. They are risks of which a competent contractor may not be aware.

1.



Property + Construction Consultants

216 ST VINCENT STREET, GLASGOW G2 5SG
T: 0141 221 6607 F: 0141 221 3031
E: email@jcandp.co.uk W: www.jcandp.co.uk

project
SRUC
Sunnybrae Farm
Craigstone Estate
Aberdeen
AB21 9TS

description

Ruminant Handling Facility
Floor Plan and Elevations

CLIENT	2686	DATE	201	VERSION	E
--------	------	------	-----	---------	---

DATE: Aug 2023

SCALE: 1:100 @ A1 / 1:200 @ A3

STATUS: MC

NOTICE: Prior Notification

PROJECT: SRUC