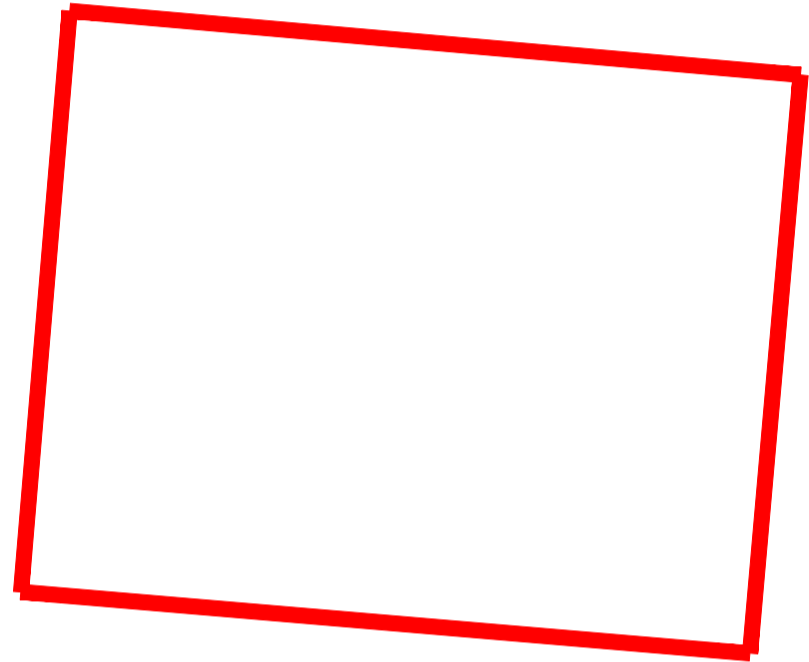


Field

10 0 10 20 30 40 50

metres



Sunnybrae Farm

Path

Field

- 1. This drawing is the property of JC+P and must not be copied, reproduced or disclosed without written permission from JC+P.
- 2. Quality and quantity of work. Tenders must include for all works shown, described or apparent as being necessary for the complete and proper execution of the works.
- 3. Do not construct from scaled dimensions.
- 4. Contractor to check and verify all dimensions on site before proceeding with the works.
- 5. All works to comply with BS 8000: 1989.
- 6. All fixed metalwork, hot and cold water, gas & heating shall be earthed and cross bonded.
- 7. The electrical installation shall comply with BS7671:2008 "18th Edition, c/w all amendments.
- 8. The fire alarm system shall be installed in accordance with the recommendations contained within BS5839-1:2002 & A2:2008 "Fire Detection and Fire Alarm Systems for Buildings" c/w all up to date amendments.
- 9. If there is any doubt, please ASK!

- Site Boundary (SRUC Owned Land)
- Red Line Boundary

The following matters are risks associated with elements shown on this drawings. They are risks of which a competent contractor may not be aware.

- 1. Sloping site.
- 2. Deep excavations.
- 3. Below ground services.
- 4. Overhead services.
- 5. Farm land with animals (horses) in fields.



Property + Construction Consultants

216 ST VINCENT STREET, GLASGOW G2 5SG
T: 0141 221 6607 F: 0141 221 3031
E: mail@jcandp.co.uk W: www.jcandp.co.uk

project
SRUC
Sunnybrae Farm
Craibstone Estate
Aberdeen
AB21 9TS

description

Site Plan
as Existing

number	2686	sheet	121	version	-
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date
January 2024

scale
1:250 @ A1 / 1:500 @A3

status
GR

notes
Prior Notification

client
SRUC