

2 Brook Close Aston Clinton

Proposed Certificate of Lawful Development

PERMITTED DEVELOPMENT - Loft conversion/ Roof alteration [CLASS B & C]

The addition or alteration to the roof does not exceed the height of the highest part of the existing roof

The addition or alteration to the roof does not extend beyond the plane of any existing roof slope, which forms the principal elevation of the dwellinghouse and fronts a highway

The cubic content of the resulting roof space does not exceed the original roof space by more than 40 cubic metres of a terrace house or 50 cubic metres in any other case

It does not consist of or include:

- (i) the construction or provision of a verandah, balcony or raised platform
- (ii) the installation, alteration or replacement of a chimney, flue or soil and vent pipe

The materials used in the exterior work are of similar appearance to those used in the construction of the existing dwelling house

The edge of the enlargement closest to the eaves of the original roof is more than 20 centimetres from the eaves of the original roof

Any upper floor window located in a wall or roof slope forming a side elevation of the dwellinghouse will be

- (i) obscure - glazed
- (ii) non-opening unless the parts of the window which can be opened are more than 1.7m above the floor of the room in which the window is installed

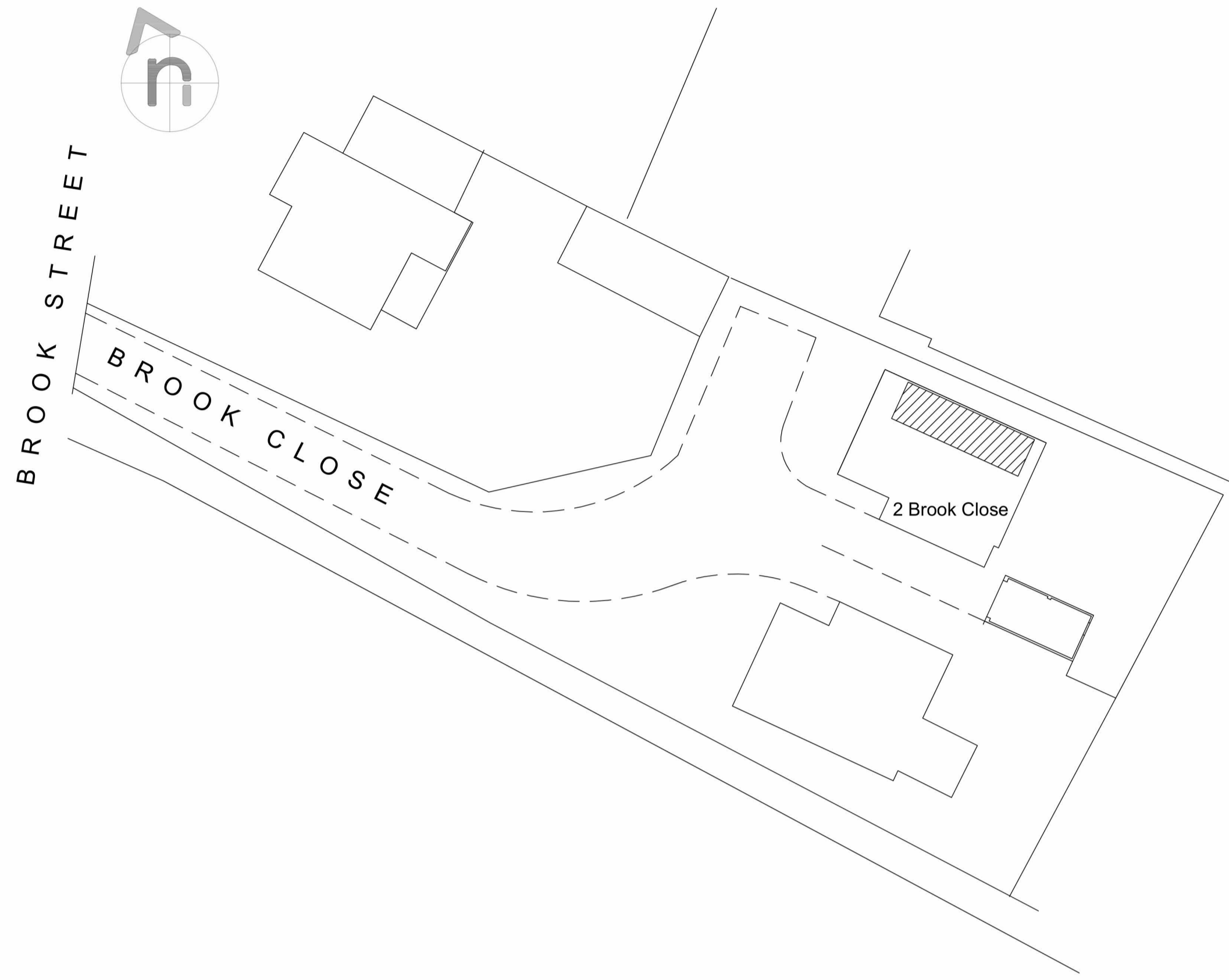
The alteration (rooflight) does not protrude more than 150mm beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof

Where the enlarged part of the dwellinghouse has more than one storey, the roof pitch of the enlarged part shall, so far as practicable, be the same as the roof pitch of the original dwellinghouse

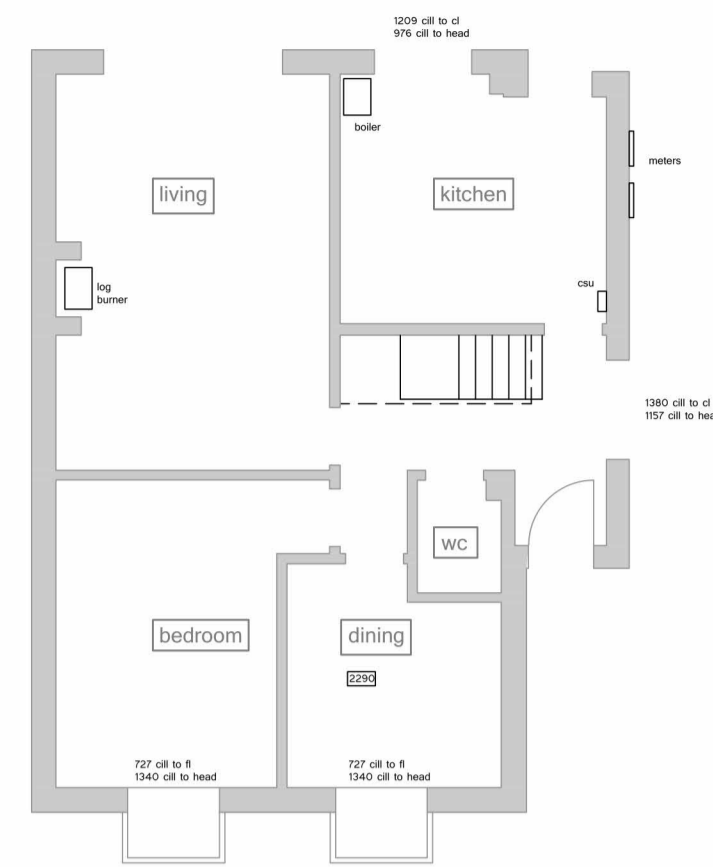
PERMITTED DEVELOPMENT - Chimneys, flues etc [CLASS G]

G.1 Development is not permitted by Class G if -

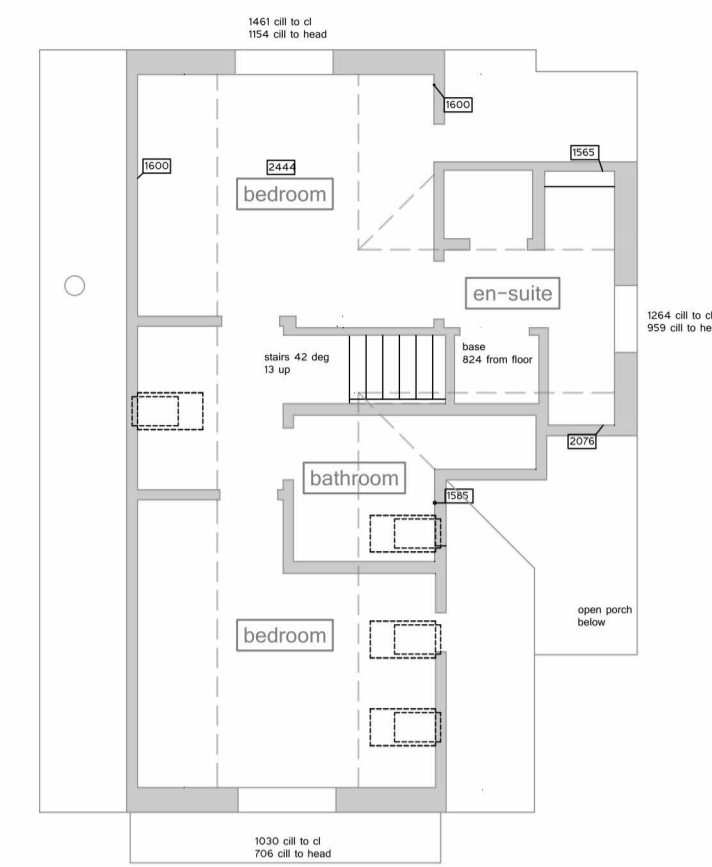
- a) permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class M, N, P, PA or Q of Part 2 of this Schedule (change of use)
- b) the height of the chimney, flue or soil and vent pipe would exceed the highest part of the roof by 1 metre or more or
- c) in the case of a dwellinghouse on article 2(3) land, the chimney, flue or soil and vent pipe would be installed on a wall or roof slope which:
 - (i) fronts a highway, and
 - (ii) forms either the principal elevation or a side elevation of the dwellinghouse.



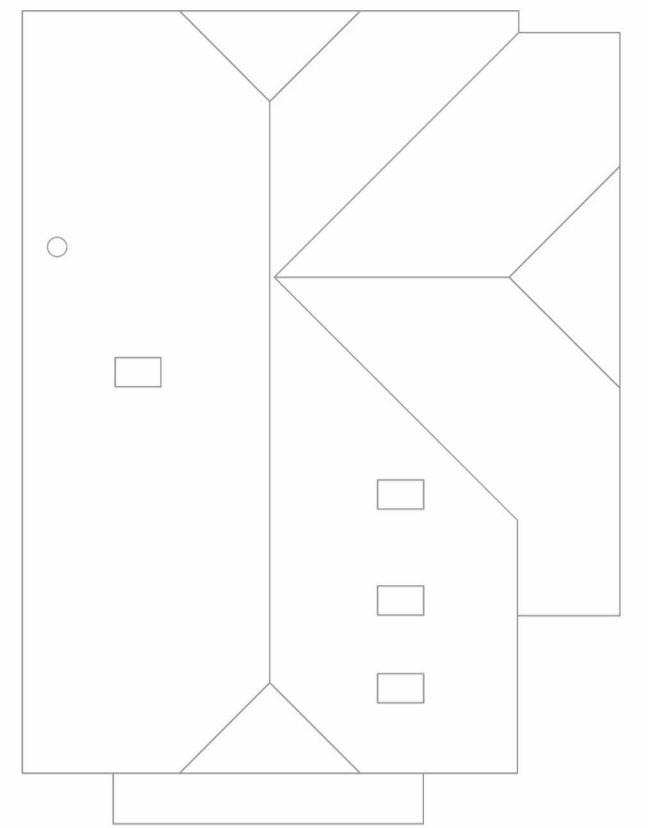
Block Plan
area of development
1:250



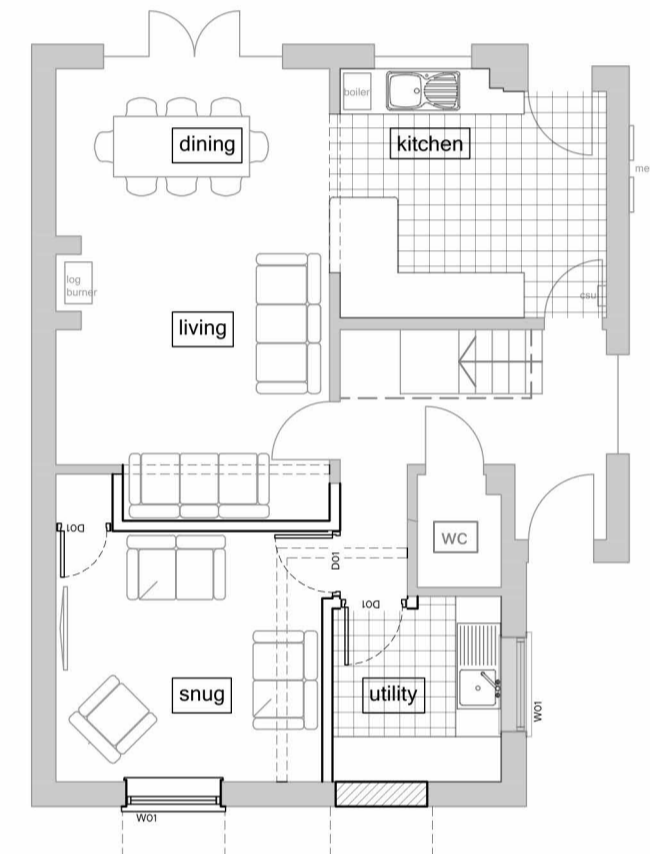
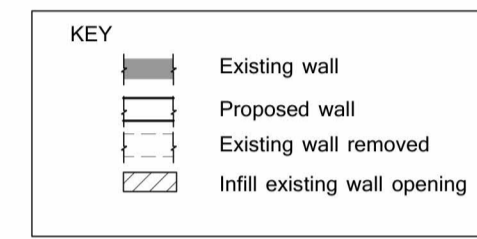
Existing Ground Floor Plan
1:100



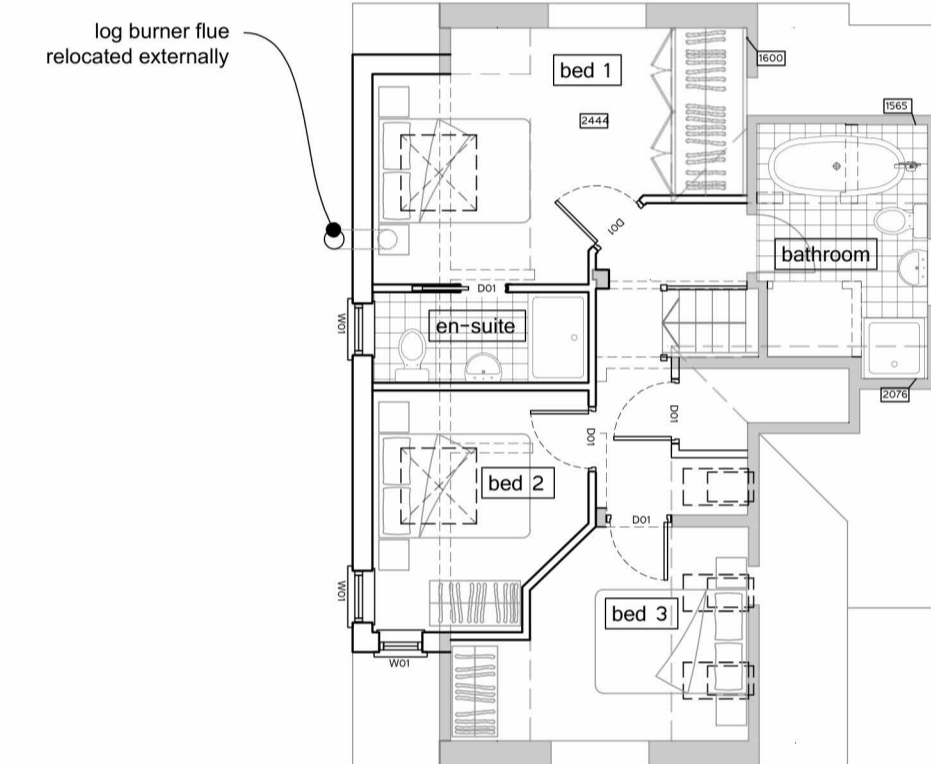
Existing First Floor Plan
1:100



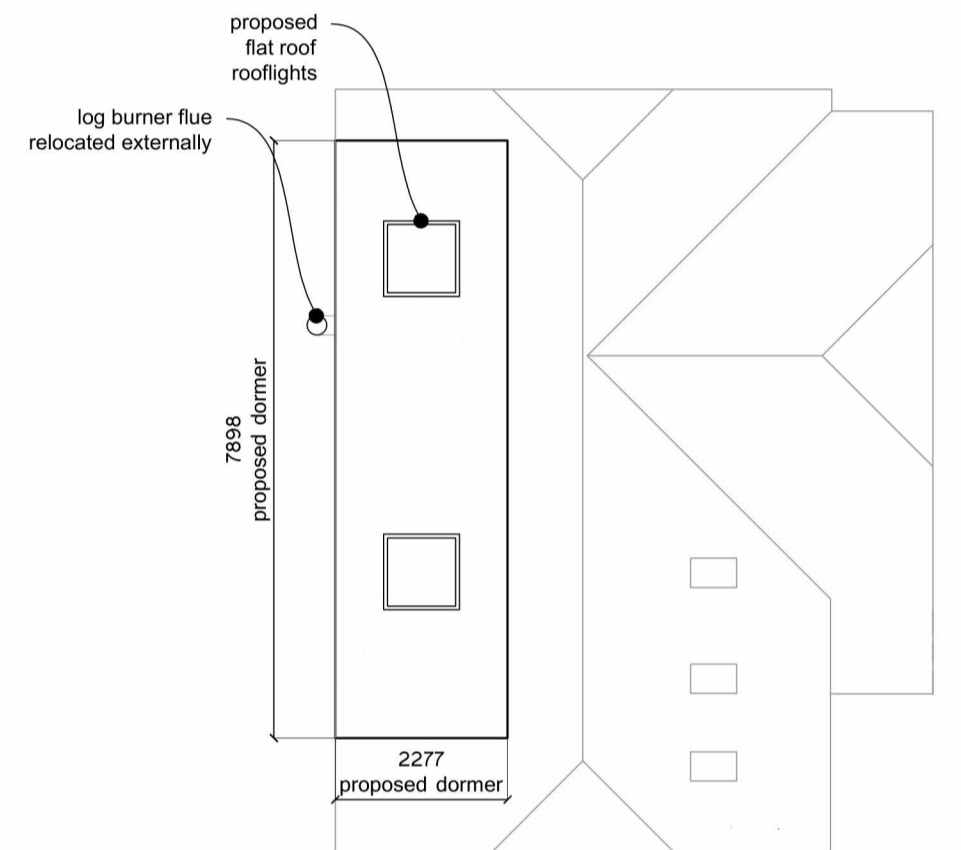
Existing Roof Plan
1:100



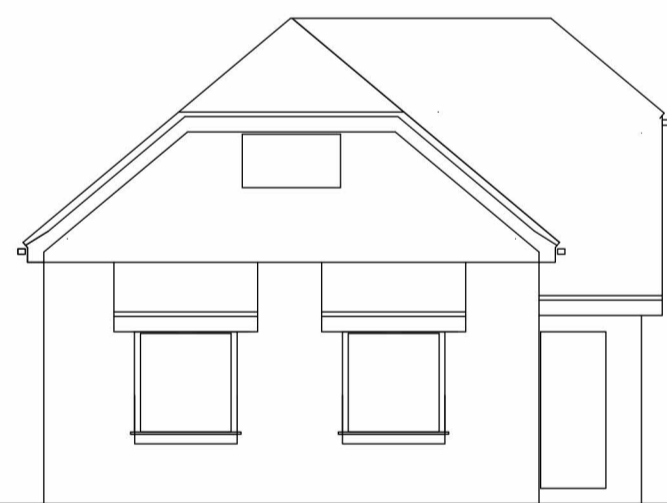
Proposed Ground Floor Plan
1:100



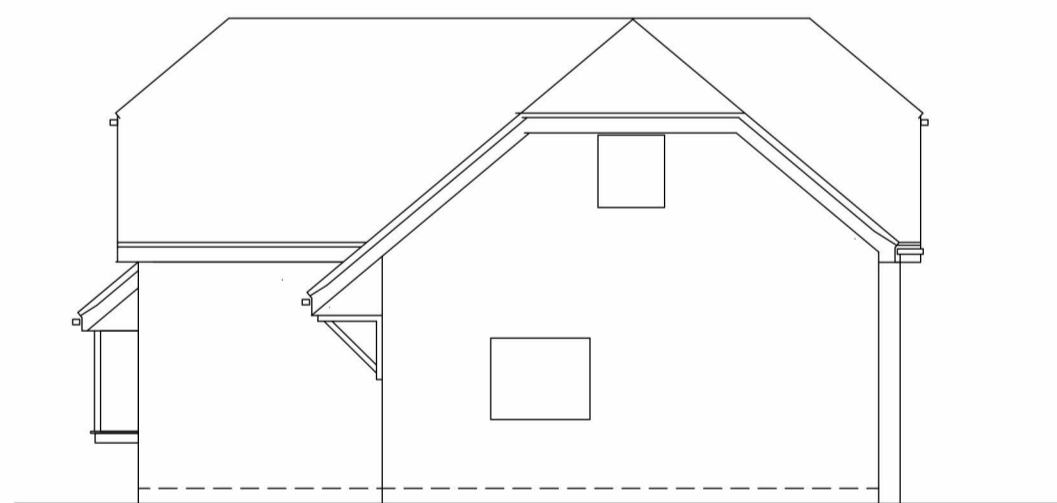
Proposed First Floor Plan
1:100



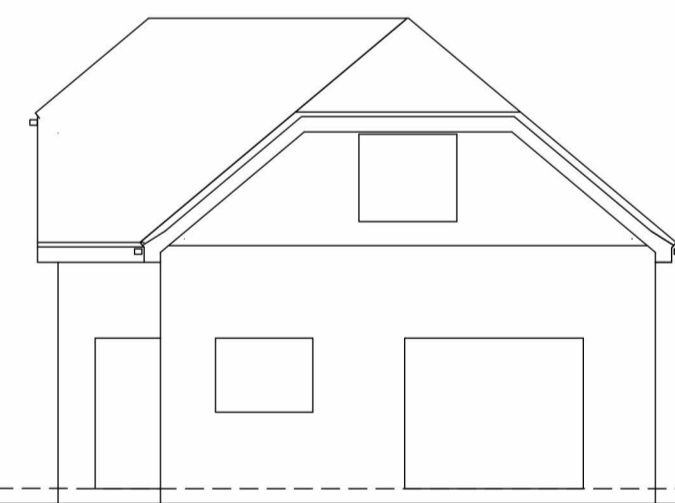
Proposed Roof Plan
1:100



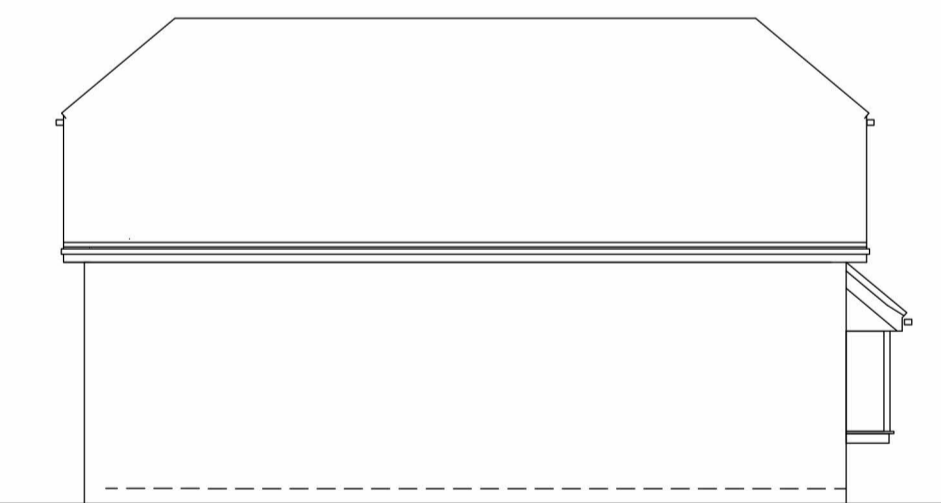
Existing Front Elevation
1:100



Existing Side Elevation
1:100



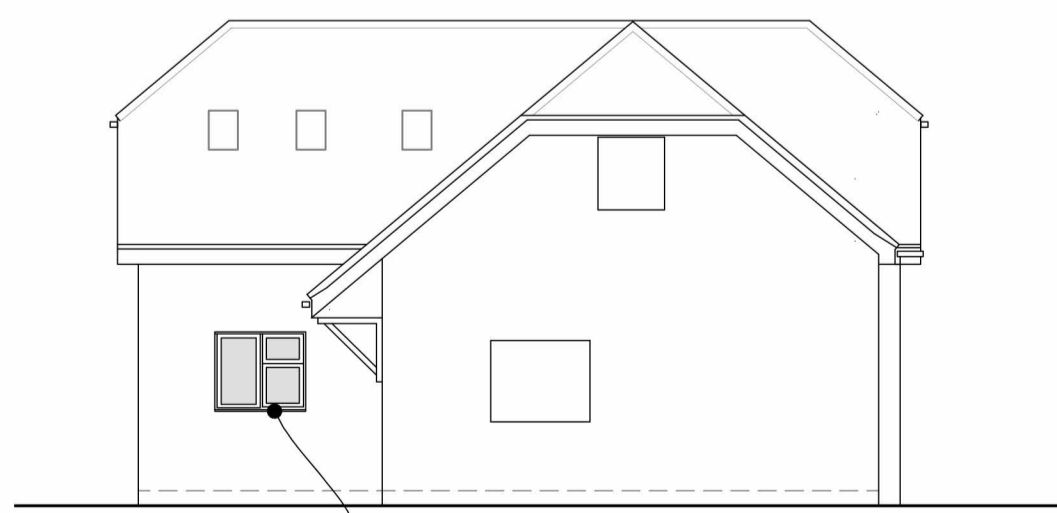
Existing Rear Elevation
1:100



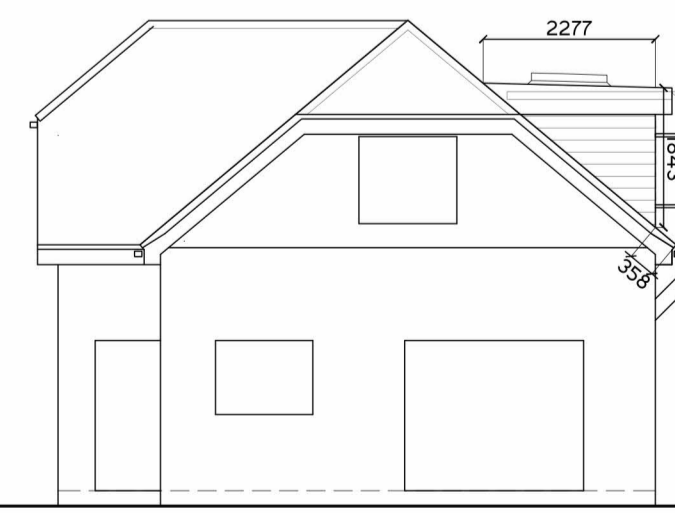
Existing Side Elevation
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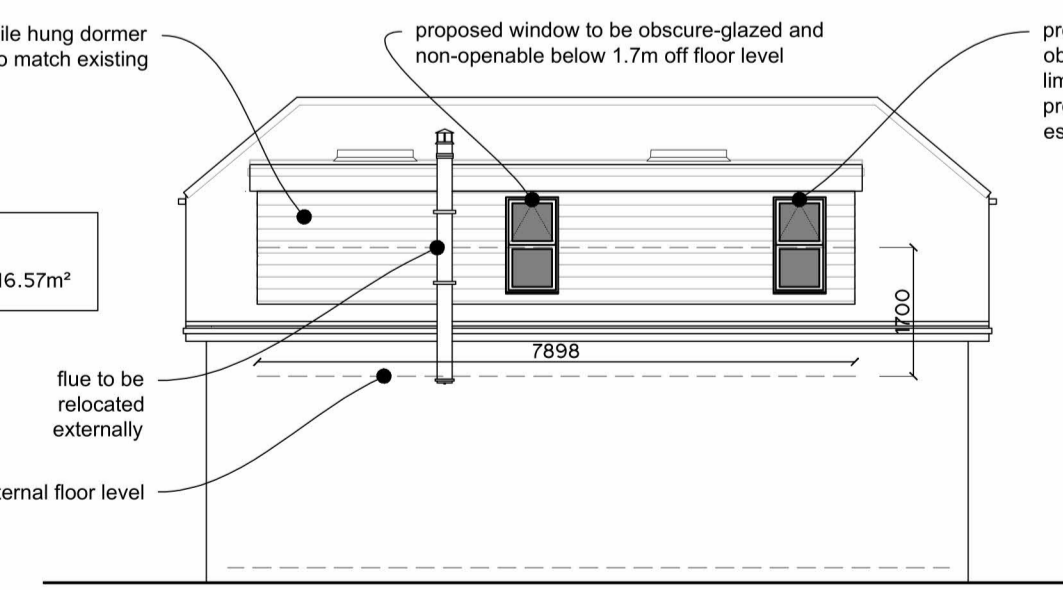
Proposed Front Elevation
1:100



Proposed Side Elevation
1:100



Proposed Rear Elevation
1:100



Proposed Side Elevation
1:100

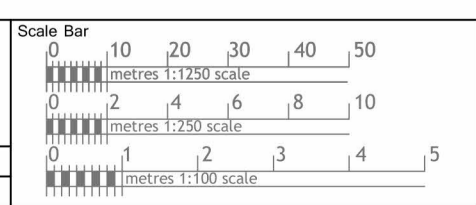
VOLUME OF DORMER
 $2.277 \times 1.843 / 2 \times 7.898 = 16.57m^3$



Photographs

- Net Assets retain the copyright of the design, scheme and ownership of the drawings.
- Drawings to be read in conjunction with structural engineers drawings.
- Any omissions to be reported to and clarified with client prior to commencement.
- Verify dimensions, levels and existing structure on site prior to commencement.
- All works to comply with current regulations, British standards etc.
- The Builder is responsible for serving party wall notices should they be necessary prior to commencement.
- Initial drawings submitted to building control are subject to additional information required by Building control which could have a significant cost/or additional works to be done on site.
- All works commenced prior to Building Regulation Approval are carried out at the client's risk.
- ALL DIMENSIONS TO BE DOUBLE CHECKED ON SITE PRIOR TO SETTING OUT.

Rev	Date	Comments
XX.XX.2023		



Address 2 Brook Close, Aston Clinton, HP22 5GD. Proposed Dormer & Alterations	Drawing Title Block Plan Existing & Proposed Plans & Elevations and photos
Nett Assets The Studio, 141 New Road, Coveley Green, Hemel Hempstead, Tel: 0962 293111, 07531 34428 Web: www.nettassets.co.uk	Dwg No. NA-23088-PD-100 Date January 2024 Scale 1:1250, 1:250, 1:100 @ A1